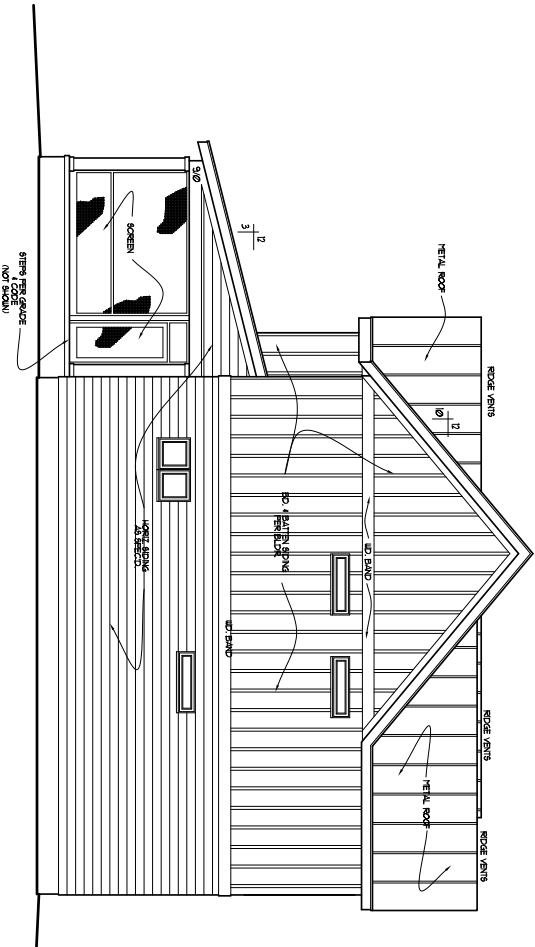


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE!
MURPHY GARNOW DESIGN GROUP, INC. HAS THE SOLE DESIGN AND COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE TO BE USED FOR THE CONSTRUCTION OF ONE RESIDENCE ONLY. ANY OTHER USE, CHANGE OR REPRODUCTION IN ANY FORM WILL RENDER THESE PLANS INVALID.

ALL MEASUREMENTS ARE TO BE TAKEN FROM THE EXTERIOR UNLESS OTHERWISE SPECIFIED. SEE THE GENERAL NOTES FOR A COMPLETE LIST OF CONDITIONS. SEE THE GENERAL NOTES FOR A COMPLETE LIST OF CONDITIONS.

MARANAH HOMES
JONES RESIDENCE

MURPHY GARNOW DESIGN GROUP, INC.
1140-500 KILDARE FARM ROAD
CARY, NORTH CAROLINA 27511
(919) 481-9115 FAX: (919) 481-6970
www.murphygarnowdesign.com

DESIGNED BY: TMS
DATE: 12-21-20
FILE NAME: MH-2-3441
RESIDENCE: 200'00'00" TYPIC PLAN

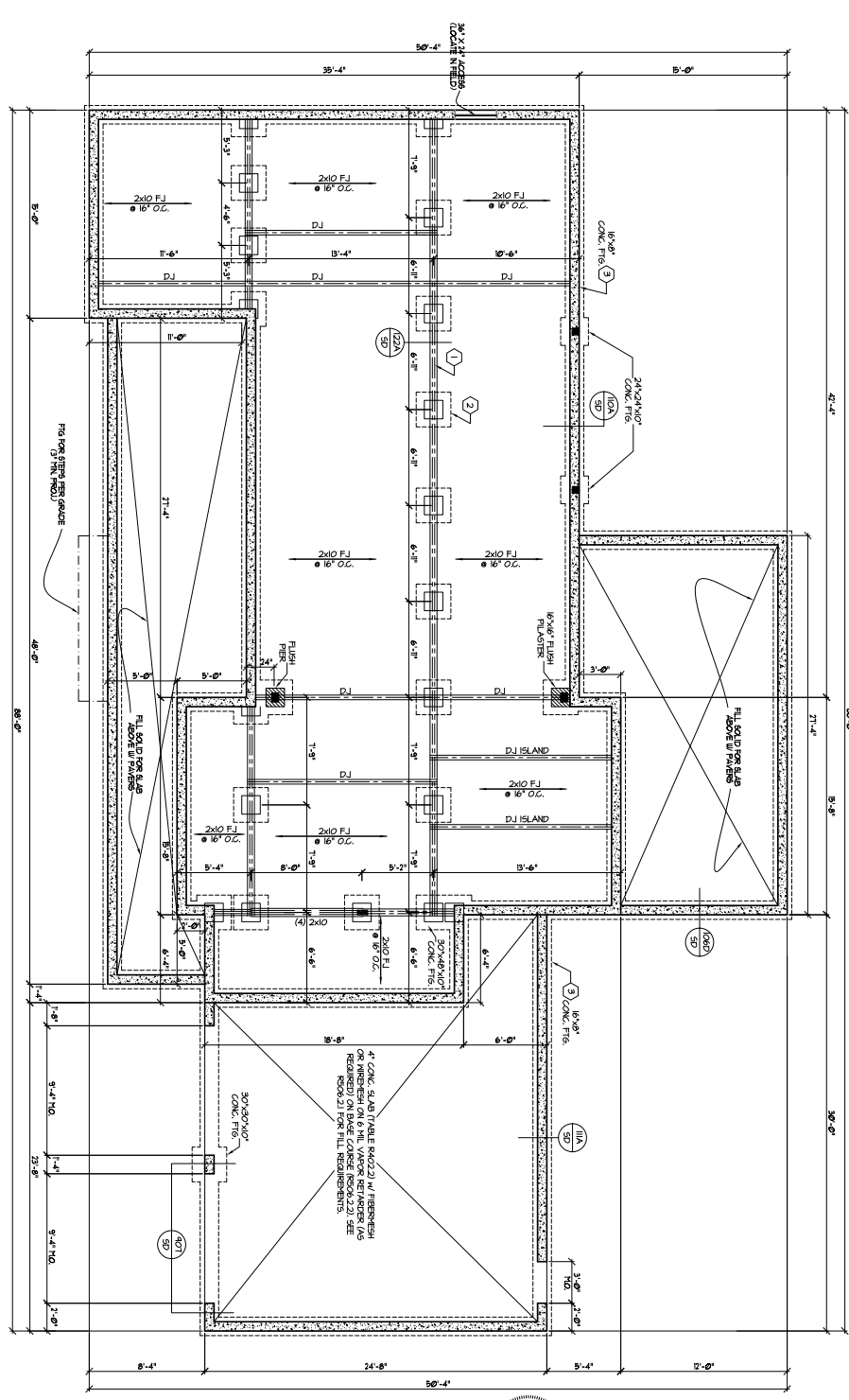
© COPYRIGHT 2020
MURPHY GARNOW DESIGN GROUP, INC.
ALL RIGHTS RESERVED

HOUSE NAME:
JONES

HOUSE NUMBER

PAGE NUMBER
2 of 8

THESE PLANS MEET THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2009 AND THE NORTH CAROLINA RESIDENTIAL CODE 2009 EDITION.



NOTES

1. ALL PREPARATION, SITE CONDITIONS & CONDITIONS ARE TO BE VERIFIED BY THE ENGINEER BEFORE CONSTRUCTION. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES.

FOUNDATION NOTES

1) PROVIDE FILL SAND & EXTERIOR WALLS
 2) FLOOR JOISTS
 3) PROVIDE 1/2" ANCHOR BOLTS & EXT. WALLS
 4) ALL WALLS TO BE A REINFORCED CONCRETE
 SEE BUILDER FOR REQUIREMENTS.



STRUCTURAL DESIGN BY:
 SOUTHERN ENGINEERS, P.A.
 21804 SOUTHERN DRIVE, RALEIGH, NC 27604
 PRO. E.C.T. # 200-2053

Engineers seal applies only to structural components on the document. Seal does not include construction or material specifications. Engineer's seal shall be required to be immediately adjacent to the signature of the Engineer. Engineer's seal shall be required to be immediately adjacent to the signature of the Engineer. Engineer's seal shall be required to be immediately adjacent to the signature of the Engineer.

- FOUNDATION STRUCTURAL NOTES**
- 1) (B)240 SFRM OR SFRM GIBBER, TYPICAL, 120.0
 - 2) CONCRETE BLOCK THICKNESS SHALL BE:
 12" - 12" TO 12"
 12" - 12" TO 12"
 12" - 12" TO 12"
 12" - 12" TO 12"
 - 3) HALL FOOTING AS FOLLOWS:
 12" - 12" TO 2 STORIES
 12" - 12" TO 2 STORIES
 12" - 12" TO 2 STORIES
 12" - 12" TO 2 STORIES

- FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO CODE TABLE R401.1 (1) THROUGH (4) NOTE: ASSIGNED SOIL BEARING CAPACITY = 2.00 TONS PER SQUARE FOOT. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE.
- 1. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE.
- 2. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE.
- 3. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE.
- 4. ALL FOUNDATION WALLS SHALL BE REINFORCED CONCRETE.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

THESE PLANS MEET THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2009 AND THE NORTH CAROLINA RESIDENTIAL CODE 2009 EDITION.

ALL PREPARATION, SITE CONDITIONS & CONDITIONS ARE TO BE VERIFIED BY THE ENGINEER BEFORE CONSTRUCTION. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES.

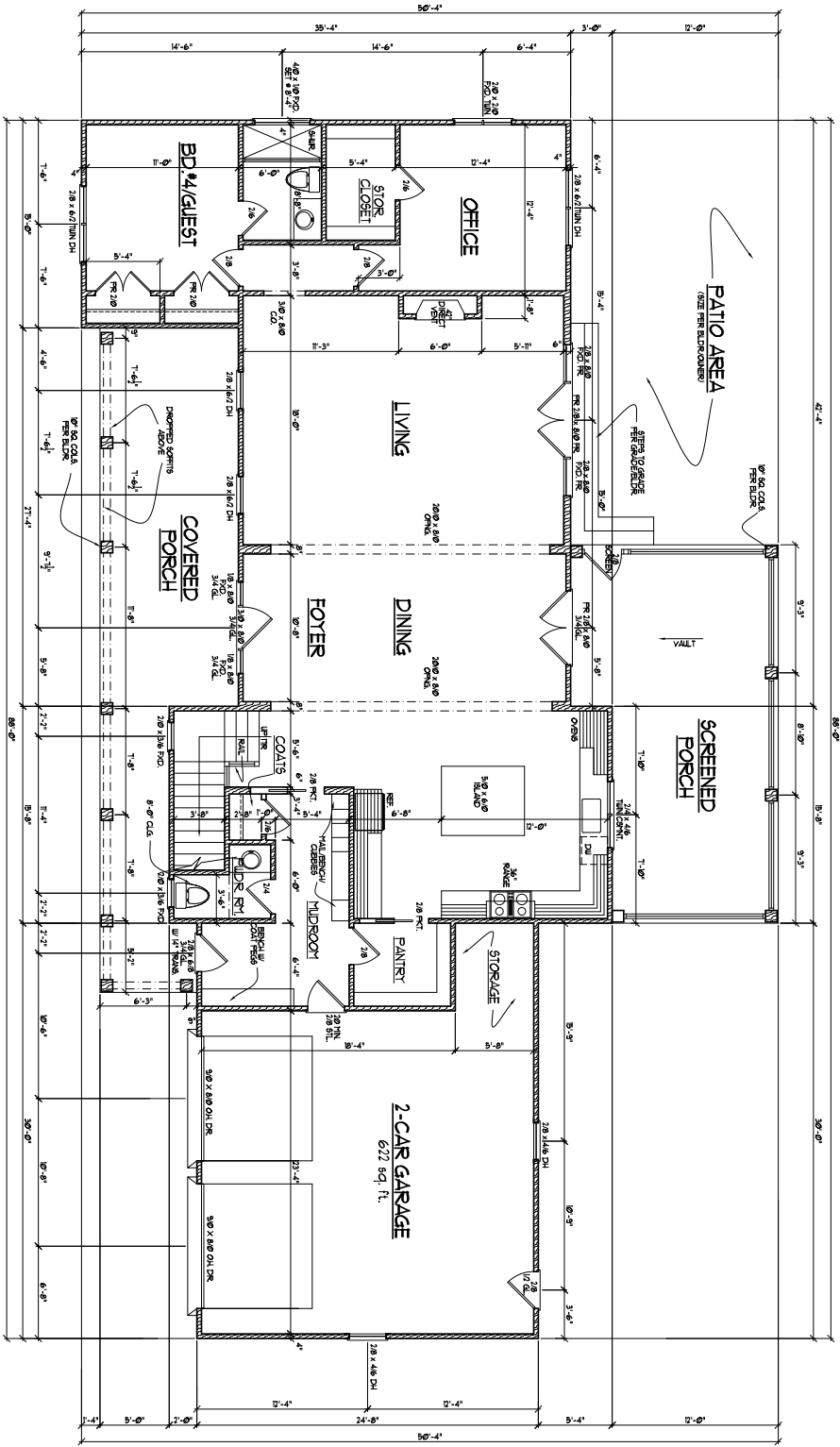
MURPHY GARNOW DESIGN GROUP, INC.
 1140-300 KILBARE FARM ROAD
 CARY, NORTH CAROLINA 27513
 (919) 481-9115 FAX: (919) 481-6970
 www.murphygarnowdesign.com

MARANAH HOMES
JONES RESIDENCE

DESIGNED BY: TMS
 DATE: 12-21-20
 FILE NAME: 141-3-3441

© COPYRIGHT 2020
 MURPHY GARNOW DESIGN GROUP, INC.
 ALL RIGHTS RESERVED

PAGE NUMBER: 3 of 8
 HOME NAME: JONES
 HOUSE NUMBER:



NOTES:

MURPHY GARNOW DESIGN GROUP, INC. HAS PREPARED THESE PLANS FOR THE PURPOSE OF OBTAINING PERMITS AND OTHER NECESSARY PERMITS TO THESE PLANS. THESE PLANS ARE TO BE USED FOR THE CONSTRUCTION OF ONE RESIDENCE ONLY. ANY OTHER USE, CHANGE OR MODIFICATION TO ANY PART WILL RENDER THESE PLANS INVALID.

- FIRST FLOOR NOTES:**
- 1) 8'-0" C.D. HGT. (TYP) LINDO
 - 2) SET WINDOWS & 8'-0" AFF. (TYP) LINDO (VERIFY)
 - 3) BRICKS UP TO FINISH & 1/2" (1" TYP)
 - 4) REMOVE PART OF THE "X" GUTTER & GUTTER CEILING ADJACENT TO HUB ROOMS
 - 5) ALL WALLS FINISHED AT 4" ABOVE FLOOR (TYP) UNLESS NOTED OTHERWISE
 - 6) VERIFY ROOFING CONTRACTOR'S SPECIFICATIONS FOR CODE
 - 7) 1/2" x 2" BRICKS
 - 8) INT. DOORS TO BE 6'-0" H. (VERIFY W/ BLDGR)

SQUARE FOOTAGE - W/O BRICK

DESCRIPTION	LIMIT	LIMIT
BASMT	1000	622
FIRST FLOOR	841	511
ATTIC (2nd FLOOR)	1074	1059
TOTAL	3415	1692

THIS IS FOR COVERED PORCH 361 AND SCREENED PORCH 343

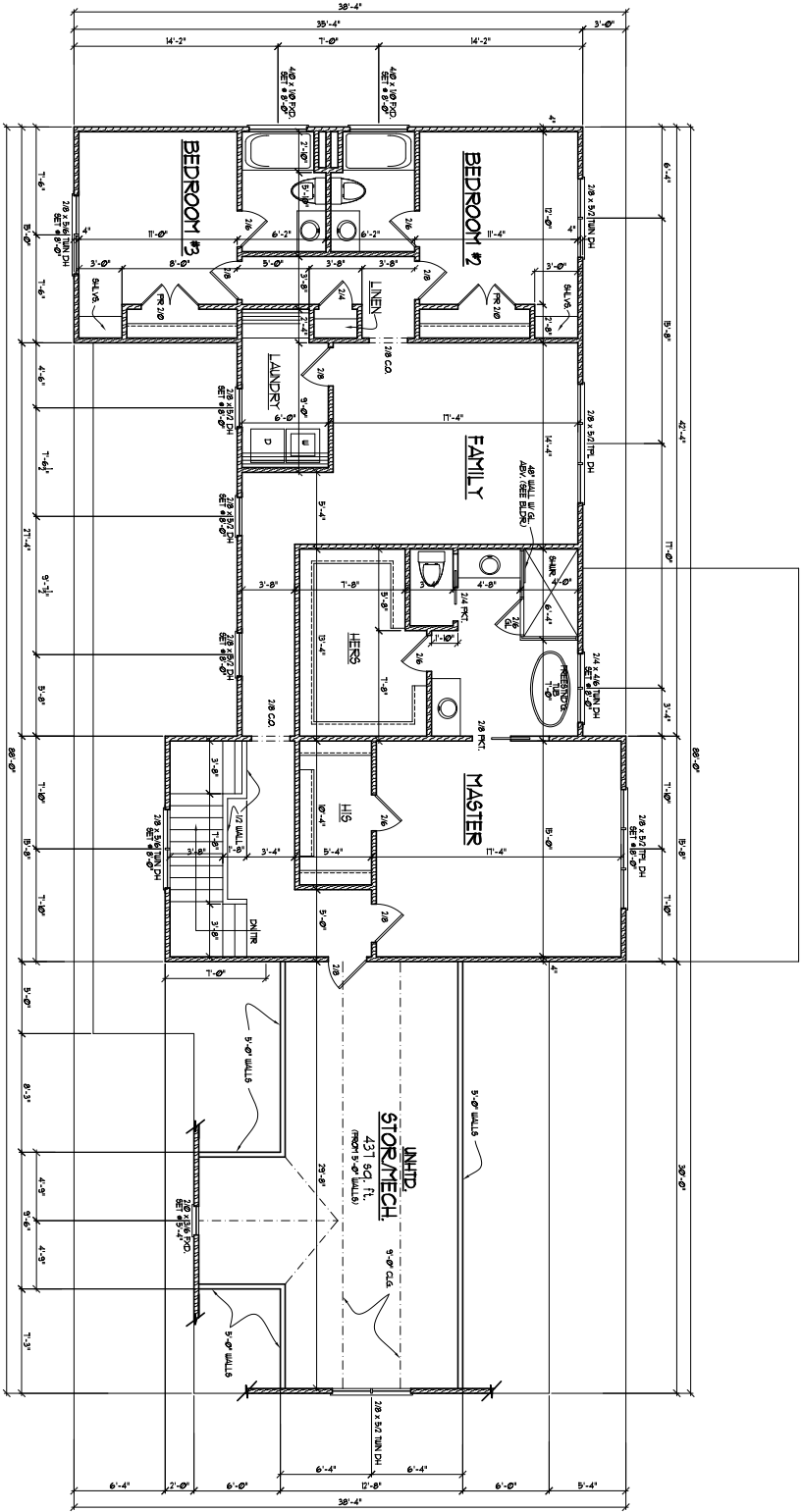
INDOOR FALL PROTECTION NOTES:

SEE CODE SECTIONS THAT APPLY TO ALL FALL PROTECTION DEVICES REQUIREMENTS FOR WINDOW AND DOOR OPENINGS. PROVIDE FALL PROTECTION FOR ALL FALL PROTECTION DEVICES AND BEHIND THE WINDOW.

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

<p>ALL PERMITS ARE TO BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE PLANS ARE TO BE USED FOR THE CONSTRUCTION OF ONE RESIDENCE ONLY. ANY OTHER USE, CHANGE OR MODIFICATION TO ANY PART WILL RENDER THESE PLANS INVALID.</p>	<p>MURPHY GARNOW DESIGN GROUP, INC. 1140-300 KILDARE FARM ROAD CARY, NORTH CAROLINA 27511 (919) 468-9115 FAX: (919) 619-481-6970 www.murphygarnowdesign.com</p>	<p>MARANAH HOMES JONES RESIDENCE</p>	<p>DESIGNED BY: TMS DATE: 12-21-20 FILE NAME: 194-1-3441</p>	<p>© COPYRIGHT 2020 MURPHY GARNOW DESIGN GROUP, INC. ALL RIGHTS RESERVED</p>	<p>HOISE NUMBER JONES</p>	<p>PAGE NUMBER 4 of 8</p>
--	---	--	--	--	--------------------------------------	--------------------------------------



NOTES:

- 1) ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 3) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 4) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 5) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 6) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 7) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 8) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 9) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.
- 10) ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD.

SECOND FLOOR NOTES:

- 1) 9'-0" DIA. 141" TYP. JACO
- 2) 8'-0" DIA. 141" TYP. JACO
- 3) 8'-0" DIA. 141" TYP. JACO
- 4) 8'-0" DIA. 141" TYP. JACO
- 5) 8'-0" DIA. 141" TYP. JACO
- 6) 8'-0" DIA. 141" TYP. JACO
- 7) 8'-0" DIA. 141" TYP. JACO
- 8) 8'-0" DIA. 141" TYP. JACO
- 9) 8'-0" DIA. 141" TYP. JACO
- 10) 8'-0" DIA. 141" TYP. JACO

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. THESE PLANS ARE TO BE USED FOR THE CONSTRUCTION OF THE RESIDENCE ONLY. ANY OTHER USE CHANGE OR REPRODUCTION IN ANY FORM WILL BE CONSIDERED VIOLATION OF THE COPYRIGHT.

MURPHY GARNOW DESIGN GROUP, INC.
 1140-500 KILDARE FARM ROAD
 CARY, NORTH CAROLINA 27511
 (919) 481-9115 FAX: (919) 481-6970
 www.murphygarnowdesign.com

MARANAH HOMES
 JONES RESIDENCE

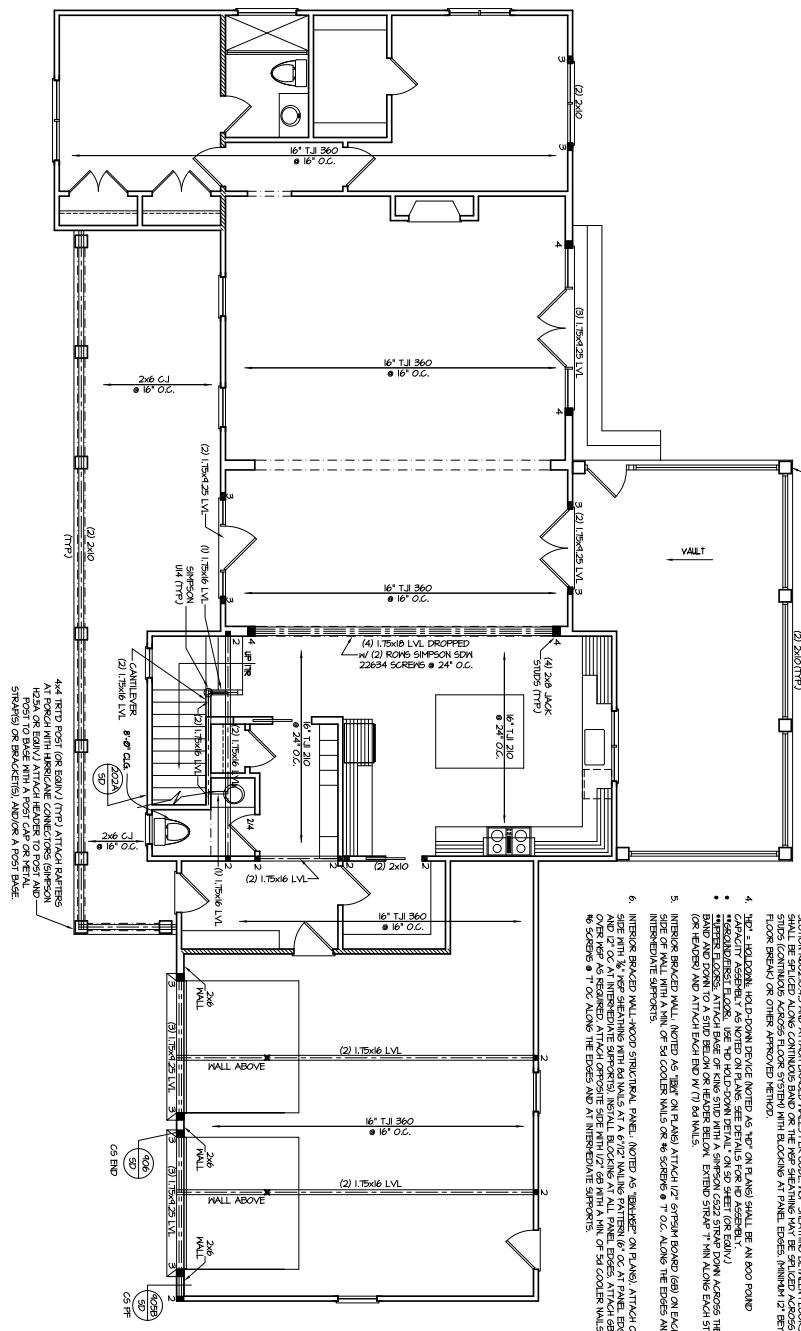
DESIGNED BY: TMS
 DATE: 12-21-20
 FILE NAME: MH-2-3441

© COPYRIGHT 2020
 MURPHY GARNOW DESIGN GROUP, INC.
 ALL RIGHTS RESERVED

HOUSE NAME: JONES
 HOUSE NUMBER: 5 of 8

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

THESE PLANS MEET THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2009 AND THE NORTH CAROLINA RESIDENTIAL CODE 2009 EDITION.



- FRAMING NOTES**
- BRACKLE METHOD AND THE CONTINUOUSLY SHEARED NAIL (CS-NAIL) NOTE THAT THE WALL BRACKLE AMOUNT PROVIDED ON THE FRAMING DETAILS AND SPECIFICATIONS IS GREATER THAN THE AMOUNT OF BRACKLES REQUIRED FOR WALL BRACKLING AND WALL FRAMING. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACKLING AND WALL FRAMING.
 - EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACKED BY SHEATHING WALLS ON ALL SIDES WITH MOIST RESISTANT SHEATHING (MRS) EXPOSED TO WEATHER. EXPOSED G, (5/8") SHEATHING SHALL BE ATTACHED WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. INTERNAL BRACKLING AT ALL PANEL EDGES.
 - WALL BRACKLING SHALL BE TO THE PERMISSIBLE DOUBLE BRACKLING PLATE BLOCK AT ROOF PER BRACKLING DETAIL. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS.
 - WALL BRACKLING SHALL BE TO THE PERMISSIBLE DOUBLE BRACKLING PLATE BLOCK AT ROOF PER BRACKLING DETAIL. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS.
 - INTERIOR BRACKED WALL: NOTED AS 2X6 ON PLAN ATTACHED TO STUDS (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS) WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS.
 - INTERIOR BRACKED WALL: NOTED AS 2X6 ON PLAN ATTACHED TO STUDS (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS) WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS. BRACKLING SHALL BE ATTACHED TO THE ROOF WITH BRACKETS AT 6" O.C. WALLS WITH 16" O.C. AT INTERMEDIATE SUPPORTS.



NOTICE

THIS DOCUMENT IS THE PROPERTY OF MURPHY GARNOW DESIGN GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MURPHY GARNOW DESIGN GROUP, INC. ANY OTHER USE OF THIS DOCUMENT IS PROHIBITED.

STRUCTURAL DESIGN BY:
 SOUTHERN ENGINEERS, P.A.
 3716 BERSON DRIVE, RALEIGH, NC 27604
 PROJECT # 20038 (11-19-18)

Engineer's seal applies only to structural components on this document. Seal does not include construction of steel structures, mechanical, electrical, plumbing, or other trades. Engineer's liability to do so will void system seal is valid for a project permitted within one year from date of seal. Conditions approval of terms and conditions as defined in the customer agreement.

REFER TO SPEC SHEETS FOR STANDARD DETAILS BRACKLING DETAILS AND STRUCTURAL NOTES.

WOOD 1" JOISTS

SHALL BE ONE OF THE FOLLOWING:

- L1 20 FLB BY LP
- BX 500CS 18 BT BY BC
- ALL WOOD 1" JOISTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- INTERNAL GROUND BOLTS AND CONNECTORS, ETC. AS REQUIRED BY AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INSTALLATION.
- NUMBERS FOR 1" JOISTS ARE THE RESPONSIBILITY OF THE SEVER SUPPLIER.

HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LONG BEAMS, HEADERS SHALL BE MIN. (2)2X10 (4" WALL) OR (2)2X10 (6" WALL) WITH (1) SUPPORT STUD UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT THE END OF EACH STUD IS THE NUMBER OF STUDS REQUIRED IN STANDARD COLUMN. THE NUMBER SHOWN IN THE END OF EACH STUD IS THE NUMBER OF STUDS REQUIRED IN THE END OF EACH STUD. THE NUMBER SHOWN IN THE END OF EACH STUD IS THE NUMBER OF STUDS REQUIRED IN THE END OF EACH STUD. THE NUMBER SHOWN IN THE END OF EACH STUD IS THE NUMBER OF STUDS REQUIRED IN THE END OF EACH STUD.
- OVER 12" UP TO 12" SPAN (1) END STUD
- OVER 12" UP TO 12" SPAN (2) END STUDS
- OVER 12" UP TO 12" SPAN (3) END STUDS
- OVER 12" UP TO 12" SPAN (4) END STUDS
- OVER 12" UP TO 12" SPAN (5) END STUDS
- OVER 12" UP TO 12" SPAN (6) END STUDS
- OVER 12" UP TO 12" SPAN (7) END STUDS
- OVER 12" UP TO 12" SPAN (8) END STUDS
- OVER 12" UP TO 12" SPAN (9) END STUDS
- OVER 12" UP TO 12" SPAN (10) END STUDS
- OVER 12" UP TO 12" SPAN (11) END STUDS
- OVER 12" UP TO 12" SPAN (12) END STUDS
- OVER 12" UP TO 12" SPAN (13) END STUDS
- OVER 12" UP TO 12" SPAN (14) END STUDS
- OVER 12" UP TO 12" SPAN (15) END STUDS
- OVER 12" UP TO 12" SPAN (16) END STUDS
- OVER 12" UP TO 12" SPAN (17) END STUDS
- OVER 12" UP TO 12" SPAN (18) END STUDS
- OVER 12" UP TO 12" SPAN (19) END STUDS
- OVER 12" UP TO 12" SPAN (20) END STUDS
- OVER 12" UP TO 12" SPAN (21) END STUDS
- OVER 12" UP TO 12" SPAN (22) END STUDS
- OVER 12" UP TO 12" SPAN (23) END STUDS
- OVER 12" UP TO 12" SPAN (24) END STUDS
- OVER 12" UP TO 12" SPAN (25) END STUDS
- OVER 12" UP TO 12" SPAN (26) END STUDS
- OVER 12" UP TO 12" SPAN (27) END STUDS
- OVER 12" UP TO 12" SPAN (28) END STUDS
- OVER 12" UP TO 12" SPAN (29) END STUDS
- OVER 12" UP TO 12" SPAN (30) END STUDS
- OVER 12" UP TO 12" SPAN (31) END STUDS
- OVER 12" UP TO 12" SPAN (32) END STUDS
- OVER 12" UP TO 12" SPAN (33) END STUDS
- OVER 12" UP TO 12" SPAN (34) END STUDS
- OVER 12" UP TO 12" SPAN (35) END STUDS
- OVER 12" UP TO 12" SPAN (36) END STUDS
- OVER 12" UP TO 12" SPAN (37) END STUDS
- OVER 12" UP TO 12" SPAN (38) END STUDS
- OVER 12" UP TO 12" SPAN (39) END STUDS
- OVER 12" UP TO 12" SPAN (40) END STUDS
- OVER 12" UP TO 12" SPAN (41) END STUDS
- OVER 12" UP TO 12" SPAN (42) END STUDS
- OVER 12" UP TO 12" SPAN (43) END STUDS
- OVER 12" UP TO 12" SPAN (44) END STUDS
- OVER 12" UP TO 12" SPAN (45) END STUDS
- OVER 12" UP TO 12" SPAN (46) END STUDS
- OVER 12" UP TO 12" SPAN (47) END STUDS
- OVER 12" UP TO 12" SPAN (48) END STUDS
- OVER 12" UP TO 12" SPAN (49) END STUDS
- OVER 12" UP TO 12" SPAN (50) END STUDS

WHOLE HOUSE BRACKLING SUMMARY

TOTAL REQUIRED BRACKLING: 109

TOTAL PROVIDED BRACKLING: 230

(IN FEET)

FIRST FLOOR CEILING STRUCTURAL PLAN

SCALE: 1/8" = 1'-0"

THESE PLANS MEET THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2009 AND THE NORTH CAROLINA RESIDENTIAL CODE 2009 EDITION.

ALL dimensions are in feet and inches unless otherwise noted. Dimensions are to the center of members unless otherwise noted.	MURPHY GARNOW DESIGN GROUP, INC. 1140-300 KILDARE FARM ROAD CARY, NORTH CAROLINA 27511 (919) 481-9115 FAX: (919) 481-6970 www.murphygarnowdesign.com	MARANAH HOMES JONES RESIDENCE	DRAIN BY: TMS DATE: 12-1-20 FILE NAME: 14-1-3441 DESIGNER: [Signature] CHECKER: [Signature]	© COPYRIGHT 2020 MURPHY GARNOW DESIGN GROUP, INC. ALL RIGHTS RESERVED.	HOUSE NUMBER: [Blank] JONES	PAGE NUMBER: 6 of 8
---	--	--	---	--	--------------------------------	---------------------

