



DEED REFERENCE: DEED BOOK 4021, PAGE 894
 MAP REFERENCE: MAP PLAT BOOK 2021, PAGE 355
 NOTE: NO NEW SURVEY WAS DONE BY
 BENNETT SURVEY TO PREPARE THIS PLAT.
 ALL INFORMATION TAKEN FROM RECORDED
 DEEDS AND MAPS AND OTHER PUBLIC INFORMATION.

NORTH CAROLINA HARNETT COUNTY
 Mickey R. Bennett, P.L.S. do hereby certify that this plat was drawn under
 my supervision and description recorded in Book 4021, Page 355
 Page 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



Mickey R. Bennett PLS
 L-1514
 Mickey R. Bennett PLS CERTIFY
 That the survey is of an existing survey or parcel
 or of a new or existing easement, and does
 not create a new street or change an existing street.

ROBERT V BENNETT
 DB:4021, PG:894
 (75)
 PB:16, PG:32

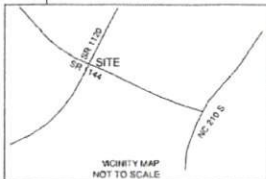
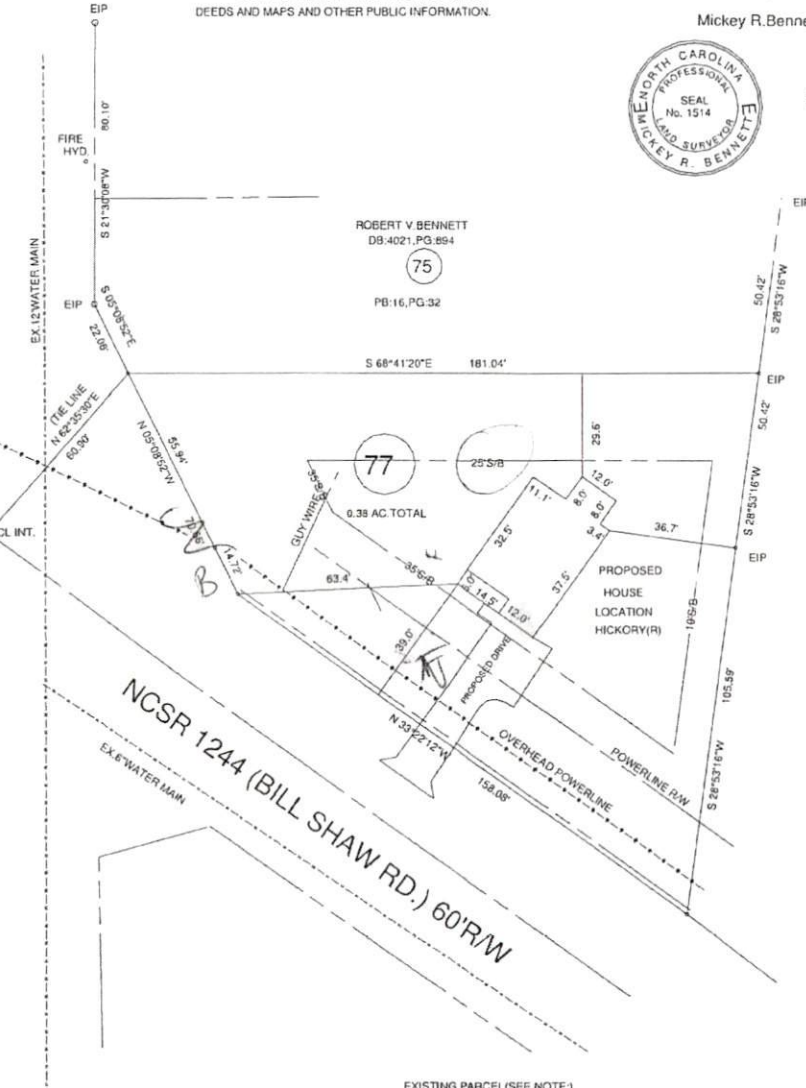
- MINIMUM BUILTUP SETBACKS
- FRONT YARD — 35'
 - REAR YARD — 25'
 - SIDE YARD — 10'
 - CORNER LOT SIDE YARD — 30'
 - MAXIMUM HEIGHT — 35'

WILLIAM & JOANNA WINFRED
 DB:3613, PG:981
 PB:16, PG:32

OWNER: ROBERT V. BENNETT
 1704 CLARK ROAD
 LILLINGTON, NC 27546

NCSR 1120 (OVERHILLS RD.) 60'R/W

NCSR 1244 (BILL SHAW RD.) 60'R/W



TOWNSHIP ANDERSON CREEK		COUNTY HARNETT	
STATE: NORTH CAROLINA		DATE: AUGUST 19, 2021	
ZONED RA-20R	WATERSHED DISTRICT N/A	PID #	SEE MAP

BENNETT SURVEYS		F-1304
1662 CLARK RD, LILLINGTON, N.C. 27546		
(910) 893-5252		
SURVEYED BY: MRB		FIELD BOOK
DRAWN BY: MRB		DRAWING NO.
CHECKED & CLOSURE BY:		21523



Property Description:

1 LOT #77 ANDERSON CREEK 86X127

Harnett County GIS

PID: 010525 0261

PIN: 0525-13-1165.000

REID: 0024287

Subdivision:

Taxable Acreage: 1.000 LT ac

Caclulated Acreage: 0.19 ac

Account Number: 1306814000

Owners: BENNETT ROBERT V

Owner Address : 1704 CLARK ROAD LILLINGTON, NC 27546-0000

Property Address: BILL SHAW RD NC

City, State, Zip: , NC,

Building Count: 0

Township Code: 01

Fire Tax District: Anderson Creek

Parcel Building Value: \$0

Parcel Outbuilding Value : \$0

Parcel Land Value : \$3500

Parcel Special Land Value : \$0

Total Value : \$3500

Parcel Deferred Value : \$0

Total Assessed Value : \$3500

Neighborhood: 00143

Actual Year Built:

TotalAcutalAreaHeated: Sq/Ft

Sale Month and Year: 7 / 2021

Sale Price: \$65000

Deed Book & Page: 4021-0894

Deed Date: 1627603200000

Plat Book & Page: 16-32

Instrument Type: WD

Vacant or Improved:

QualifiedCode: A

Transfer or Split: T

Within 1mi of Agriculture District: No

Prior Building Value: \$0

Prior Outbuilding Value : \$0

Prior Land Value : \$3500

Prior Special Land Value : \$0

Prior Deferred Value : \$0

Prior Assessed Value : \$3500



DEED REFERENCE: DEED BOOK 4021,PAGE 894
 MAP REFERENCE: MAP PLAT BOOK 16,PAGE 32
 NOTE:NO NEW SURVEY WAS DONE BY
 BENNETT SURVEY TO PREPARE THIS PLAT,
 ALL INFORMATION TAKEN FROM RECORDED
 DEEDS AND MAPS AND OTHER PUBLIC INFORMATION.

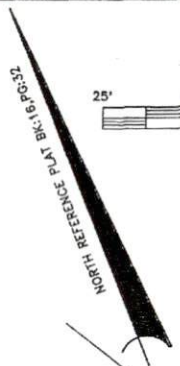
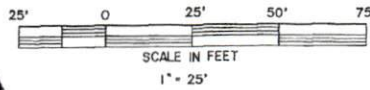
NORTH CAROLINA HARNETT COUNTY
 I, Mickey R. Bennett, PLS do certify that this plat was drawn under
 my supervision deed description recorded in Book SEE,
 Page REF, etc) that the boundaries not surveyed are clearly
 indicated as drawn from information found in Book SEE, Page REF,
 that the ratio of precision as calculated is 1:10000; that this plat
 was prepared in accordance with G.S. 47-30 as amended; Witness
 my original signature, registration number and seal this 9TH
 day of AUGUST, A.D. 2021.

Mickey R. Bennett
 MICKEY R. BENNETT
 L - 1514



I, MICKEY R. BENNETT, PLS, CERTIFY
 That this survey is of one existing parcel or parcels
 of land or one or more existing easements and does
 not create a new street or change an existing street.

MINIMUM BUILDING SETBACKS
 FRONT YARD ----- 35'
 REAR YARD ----- 25'
 SIDE YARD ----- 10'
 CORNER LOT SIDE YARD -- 20'
 MAXIMUM HEIGHT ----- 35'



THE UNDERSIGNED HEREBY ACKNOWLEDGES THAT THE LAND SHOWN ON
 THIS PLAT IS WITHIN THE ZONING JURISDICTION OF HARNETT COUNTY
 AND THAT THIS PLAT AND ALLOTMENT IS (MY OR OUR) W/VE ACT
 AND DEED, FOREVER ALL AREAS SHOWN OR INDICATED ON SAID PLAT.

Robert V. Bennett
 DATE _____ OWNER/AGENT SIGNATURE

I HEREBY CERTIFY THAT THIS RECORD PLAT COMPLIES WITH
 THE SUBDIVISION REGULATIONS OF HARNETT COUNTY, N.C.
 AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING
 IN THE REGISTER OF DEEDS HARNETT COUNTY.

9/9/21 *Samuel A. Nibbel*
 DATE _____ PLANNING DIRECTOR

STATE OF NORTH CAROLINA
 COUNTY OF HARNETT
 I, *Joanna Winslow*, REVIEW OFFICER OF
 HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAT TO
 WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
 STATUTORY REQUIREMENTS FOR RECORDING
 9/9/2021 *Joanna Winslow*
 DATE _____ REVIEW OFFICER

- LEGEND**
- LINE NOT SURVEYED
 EP --- EXISTING IRON PIPE
 ECM --- EXISTING CONCRETE MONUMENT
 EX --- EXISTING IRON STAKE
 EP/EN --- EXISTING P.L.M.A.H. SET
 ELS --- EXISTING LIGHTWOOD STAKE
 NIS --- NEW IRON STAKE NIP --- NEW IRON PIPE
 PINS --- P.L.M.A.H. SET
 ERSS --- EXISTING RAILROAD SPIKE
 NRS --- NEW RAILROAD SPIKE
 EMN --- EXISTING MAGNETIC NAIL
 MN --- NEW MAGNETIC NAIL
 ECS --- EXISTING COTTON SPINDLE
 NCS --- NEW COTTON SPINDLE
 EP/ES --- CONTROL CORNERS
 ECM/EN/ECN (CONTROL CORNERS)
 C/L --- CENTER LINE N/W --- NOW OR FORMALLY
 CP --- CALCULATED POINT
 CBND --- CHORD BEARING AND DISTANCE
 S.E.L --- DRAINAGE EASEMENT R/W --- RIGHT OF WAY
 EA --- EXISTING ACRES --- TOTAL

NCSR 1120 (OVERHILLS RD.) 60'R/W

NCSR 1244 (BILL SHAW RD.) 60'R/W

ROBERT V. BENNETT
 DB:4021,PG:894
 (75)
 PB:16,PG:32

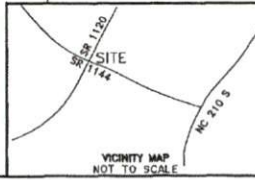
PIN 0525-13-1262.000
 PID 010525 0260
 0.19 AC. DB:4021,PG:894
 PB:16,PG:32

(76)
 0.19 AC.
 +0.19 AC.
 0.38 AC. TOTAL

PIN 0525-13-1165.000
 PID 010525 0261
 0.19 AC. DB:4021,PG:894
 PB:16,PG:32

WILLIAM & JOANNA WINFRED
 DB:3613,PG:981
 PB:16,PG:32

FOR REGISTRATION
 PLAT BOOK 16, PAGE 32
 REGISTER OF DEEDS
 HARNETT COUNTY, NC
 282101444
 INSTRUMENT N 282101444



SURVEY FOR:
 ROBERT V. BENNETT
 1704 CLARK RD, ULLINGTON N.C. 27546

TOWNSHIP	ANDERSON CREEK	COUNTY	HARNETT
STATE	NORTH CAROLINA		
DATE	AUGUST 9, 2021		
ZONED	RA-20R	WATERSHED DISTRICT	N/A
PID #	SEE MAP	PIN #	SEE MAP

BENNETT SURVEYS F-1304 1662 CLARK RD., ULLINGTON, N.C. 27546 (910) 893-5252	
SURVEYED BY: MRB	FIELD BOOK
DRAWN BY: MRB	DRAWING NO
CHECKED & CLOSURE BY: MRB	21511

NORTH CAROLINA
 HARNETT COUNTY
 This Map/Plat was presented for registration and
 recorded in this office at Map Number 2021 -
 9th day of August 2021.
 at 11:57 a'clock A.M.
 Matthew S. Willis Register of Deeds
 by *Kayla B. Core*
 Deputy Register of Deeds