

# JORDAN

NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED  
Limited building only review  
Permit holder responsible for full compliance with the code

08/16/2021





COVER SHEET

Inventory, Marked

H&H HOMES  
JORDAN

WMF 000031

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

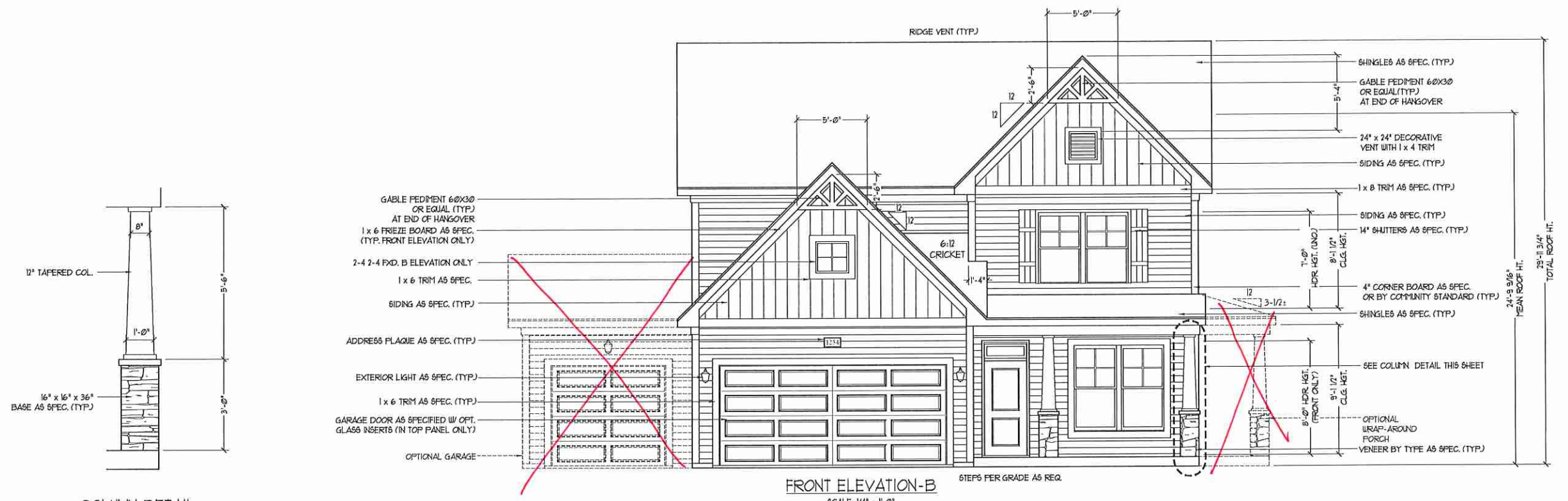
CS

## JORDAN REVISION LIST - STRUCTURAL:

- 1.) CODE UPDATE TO SCRC 2018 (1-20)
- 2.) CHANGE 2X6 EXTERIOR WALLS TO 2X4 EXTERIOR WALLS. (3-5-20)
- 3.) ADDED BASEMENT PLAN WHICH EXTENDS GARAGE FRONT 2'-0". (5-1-20)

## JORDAN REVISION LIST - ARCHITECTURAL:

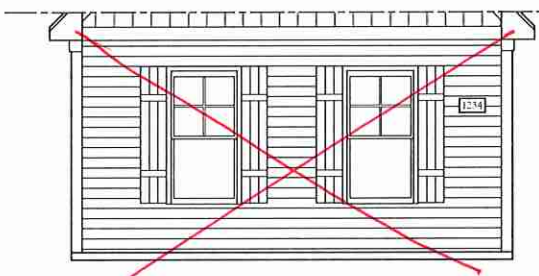
- 1.) UPDATED PLANS; 7'-0" HDR HGT. ADDED 2 HOSE BIBB LOC'NS, CHANGE MASTERS TO OWNERS, CHANGE SOFFITS TO C.O., CHANGE MASTERS BATH TO OWNER'S BATH 1, CHANGED POWDER TO PDR 1, AND CHANGED BATH TO BATH 2. (11-4-19)
- 2.) ADDED ROOF VENT CALCULATIONS FOR ELEV. A AND B. (12-2-19)
- 3.) UPDATED CUTSHEETS FOR THE GARAGE RIGHT. (12-13-19)
- 4.) CHANGED FIREPLACE FROM STANDARD TO OPTIONAL. (5-1-20)
- 5.) REMOVE GLASS INSERTS FROM GARAGE WINDOWS AND REMOVE METAL ACCESSORIES. (5-1-20)
- 6.) UPDATED CUTSHEETS TO MEET H&H STANDARDS. (5-1-20)
- 7.) ADDED OPTIONAL GLASS INSERTS TO TOP WINDOWS ONLY TO GARAGE DOORS. (5-1-20)
- 8.) CHANGED THE CORNERBOARDS FROM 6" TO 4". (5-1-20)
- 9.) REMOVED OPTIONAL KITCHEN CAN AND REPLACED WITH FLUORSCENT LIGHT IN THE KITCHEN. (5-1-20)
- 10.) CHANGE LOCATION OF THE HOSE BIBBS. (5-1-20)
- 11.) ADDED OPTIONAL GAS LINE NOTE AT PATIO. (5-1-20)
- 12.) CHANGED REFRIGERATOR, WASHER, AND DRYER TO OPTIONAL COMPONENTS. (5-1-20)
- 13.) CHANGE COFFERED CEILING IN DINING TO OPTIONAL WITH DETAIL. (5-1-20)
- 14.) ADDED WEATHERING STRIPPING AT 2-0 X 4-0 SOLID DOOR. (5-1-20)
- 15.) ADDED NOTE TO REMOVE (1)-3-0 5-0 WINDOW FOR BEDROOM #5 OPTION. (5-1-20)
- 16.) REMOVED GRIDS FROM SIDE AND REAR WINDOWS. (5-1-20)
- 17.) CHANGED 3-0 5-0 WINDOW IN LOFT TO STANDARD. (5-1-20)
- 18.) UPDATED STONE HATCH ON ELEVATIONS. (5-1-20)
- 19.) REMOVED ALL TV OUTLETS, PHONE OUTLETS, AND ELECTRICAL OUTLETS EXCEPT FLOOR OUTLETS. (5-1-20)
- 20.) ADDED CO<sub>2</sub> DETECTORS PER LOCATE CODE. (5-1-20)
- 21.) CHANGED CEILING FANS TO OPTIONAL AND CHANGE THE LIGHTS TO PRE-WIRE. (5-1-20)
- 22.) ADDED CRICKETS TO FRONT ELEVATIONS. (5-1-20)
- 23.) UPDATED THE ELEVATION COACH LIGHTS TO MATCH THE ELECTRICAL PLANS. (5-1-20)
- 24.) CREATED ADDITIONAL SHEETS FOR FIRST FLOOR AND SECOND FLOOR OPTIONS (A4.1, A5.1, A6.1, A7.1, E-3, AND E-4) AND REMOVED OPTIONS FROM BASE SHEETS. (5-1-20)
- 25.) ADDED DIMENSION FOR WATER TABLE TO FINISH FLOOR ON ELEVATION. (5-1-20)
- 26.) ADDED INSULATION DETAIL TO FIRST AND SECOND FLOOR SHEETS. (5-1-20)
- 27.) ADDED OPTIONAL (3) RECESS LIGHTING AND SWITCHES IN FAMILY ROOM. (5-1-20)
- 28.) ADDED SHEET 7.0 FOR FLOOR PLAN EXTERIOR SURFACES LAYOUTS. (5-1-20)
- 28.) CREATED OWNER'S BATH 2 AND OWNER'S BATH 3. (5-1-20)
- 28.) ADDED SHOWER DETAIL FOR OPTIONAL OWNER'S BATH 3. (5-1-20)
- 29.) UPDATED CUTSHEETS. (5-1-20)
- 30.) CHANGED OWNER'S BATH #3 WINDOW FROM 2-0 2-0 WINDOW TO 2-0 4-0 TEMP. (5-1-20)
- 31.) ADDED PATIO W/ EXTENDED PATIO OPTION. (5-1-20)
- 32.) ADDED OPTIONAL BASEMENT PLAN. (5-1-20)
- 33.) ADDED CHANGES TO OPTIONS WHEN BASEMENT OPTION SELECTED. (5-1-20)
- 34.) REVISED SHUTTERS ON ELEVATIONS B TO BE B&B (5-1-20)
- 35.) REMOVED HARDWARE FROM SHUTTERS ON ELEVATION C (5-1-20)
- 36.) REMOVED LIGHT OVER KITCHEN SINK (7-8-20)
- 37.) REMOVED NOTE "KEYLESS" FROM GARAGE CHANGED TO STANDARD CEILING MOUNTED LIGHT (7-8-20)
- 38.) CHANGED STANDARD LIGHT IN KITCHEN FROM 2-BULB FLUORESCENT TO 3 BULB CEILING MOUNT (7-8-20)
- 39.) CHANGED SWING OF SERVICE DOOR IN GARAGE TO OUT SWING (SEE SHEET A6.1) (7-8-20)
- 40.) REMOVED LIGHT IN SECONDARY BATH OVER TUB/SHOWER COMBO (7-8-20)
- 41.) REMOVED "RECESSED ENTERTAINMENT BOX" OVER FIREPLACE (7-8-20)
- 42.) CHANGED WINDOW TO OWNER'S BATH 1 TO 4'0"x1'0" TRANSOM WINDOW (7-8-20)
- 43.) ADDED GABLE PEDIMENT DETAIL TO B ELEVATIONS



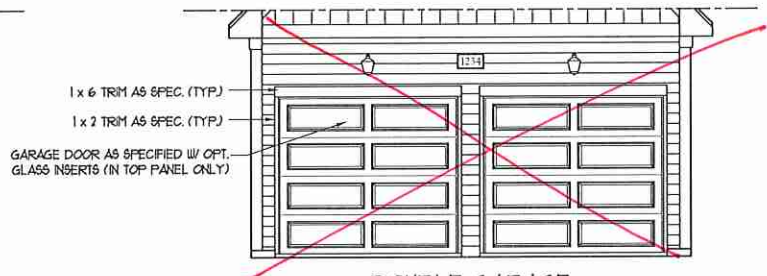
COLUMN DETAIL

FRONT ELEVATION-B  
SCALE: 1/4" = 1'-0"

**NOTE:**  
SEE SHEET A-2.1 FOR BRICK FRONT ELEVATIONS  
SEE SHEET A-2.2 FOR STONE FRONT ELEVATIONS  
SEE SHEET A-2.3 (ALL BRICK) ELEVATIONS

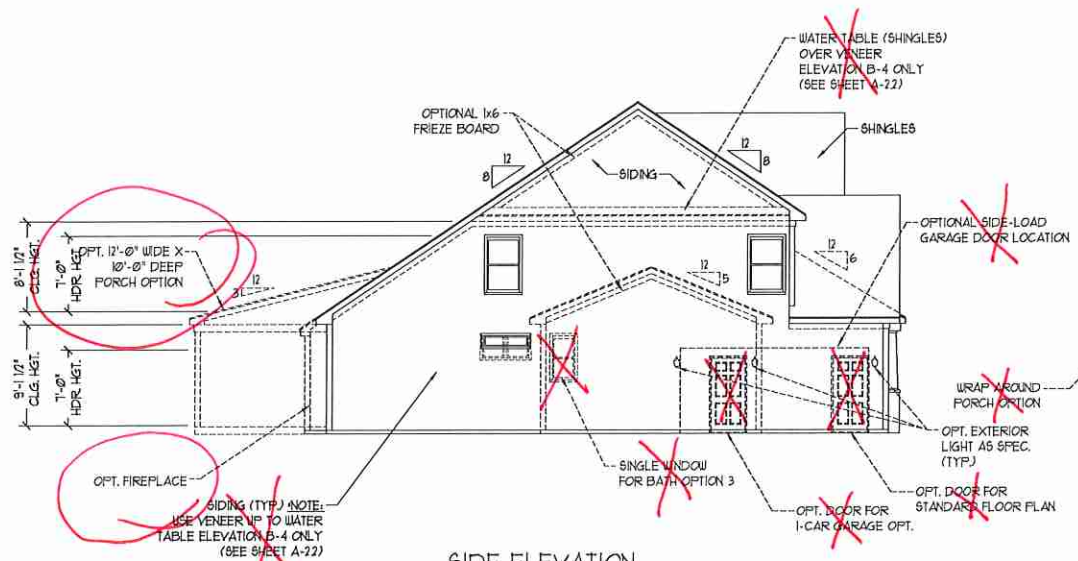


~~SIDE LOAD GARAGE OPTION  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)  
SCALE: 1/4" = 1'-0"~~

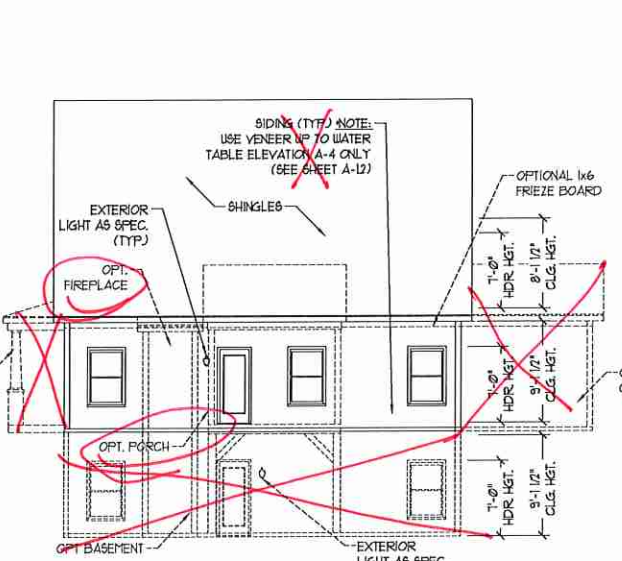


~~DOUBLE GARAGE DOOR OPTION  
SCALE: 1/4" = 1'-0"~~

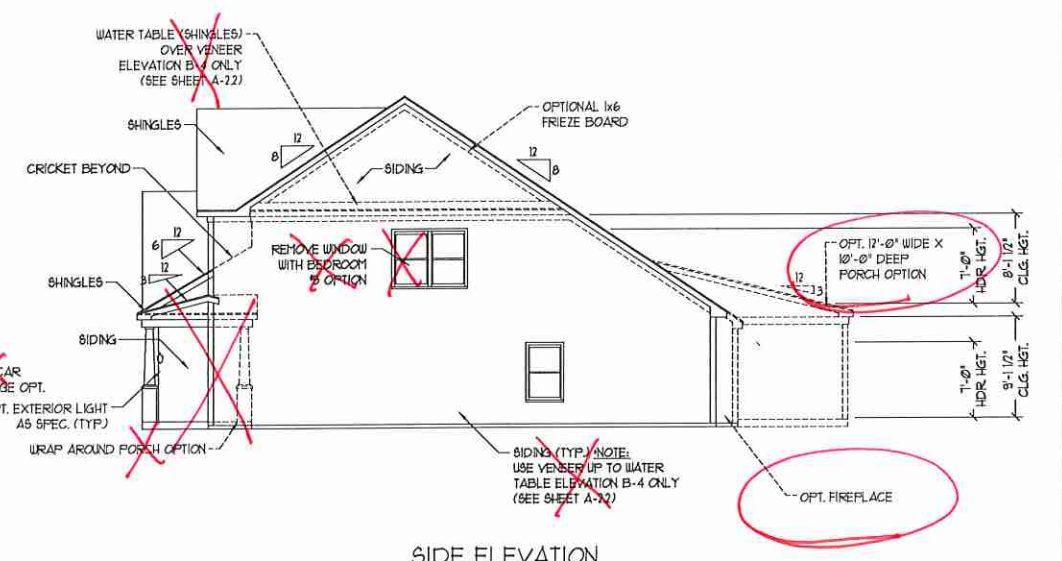
FYPON GPF66X33 OR EQUAL  
GABLE PEDIMENT DETAIL  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

**J.S. THOMPSON ENGINEERING, INC.**  
600 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9921  
N.C. LICENSE NO. G1133



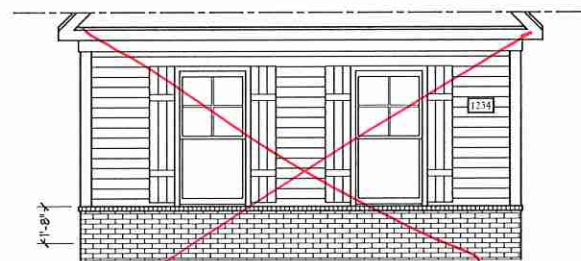
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS, FINISHES, DIMENSIONS AND DIMENSIONS WITHIN THESE SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS, ELEVATIONS, AND OTHER DOCUMENTS, INCLUDING FLOOR PLANS, ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED. SEE NEW-HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

**H&H HOMES, INC.**  
JORDAN

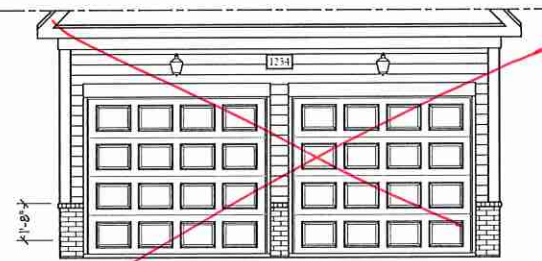
DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: AS NOTED  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:



FRONT ELEVATION-B-2 (W/ BRICK)  
SCALE: 1/4" = 1'-0"



SIDE LOAD GARAGE OPTION  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)  
SCALE: 1/4" = 1'-0"



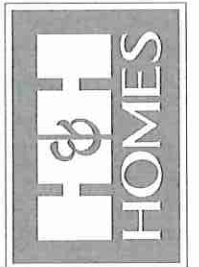
DOUBLE GARAGE DOOR OPTION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-B-3 (W/ BRICK)  
SCALE: 1/4" = 1'-0"

BRICK OR STONE LEDGE AS SPEC.

J.S. THOMPSON  
ENGINEERING, INC.  
600 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 780-9919  
FAX: (919) 780-9921  
N.C. LICENSE NO. C-1133



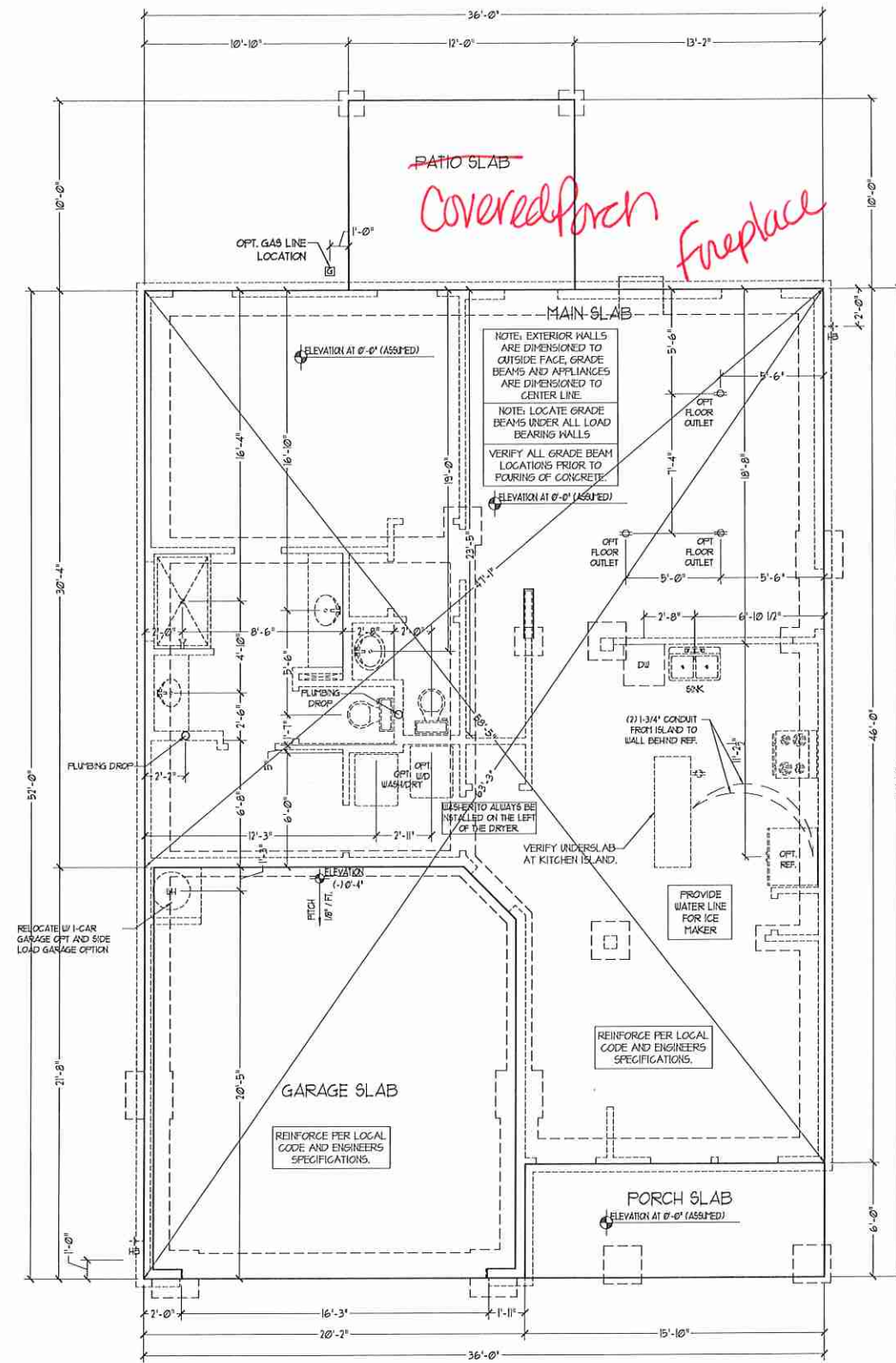
PRICES, PROMOTIONS, INCENTIVES, FEATURES, FINISHES, MATERIALS, AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY SURVEY AND LOCAL REGULATIONS. ELEVATIONS AND EXTERIOR FINISHES ARE THE LATEST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED. USE THESE PLANS AS CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: AS NOTED  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

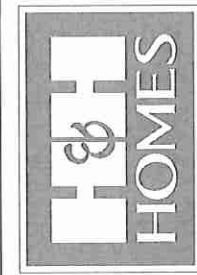
B - 2 & B - 3  
ELEVATIONS  
WITH BRICK

A-2.2



FOUNDATION PLAN  
A-1

**J.S. THOMPSON**  
ENGINEERING, INC.  
688 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 780-9919  
FAX: (919) 780-9921  
N.C. LICENSE NO. C1133

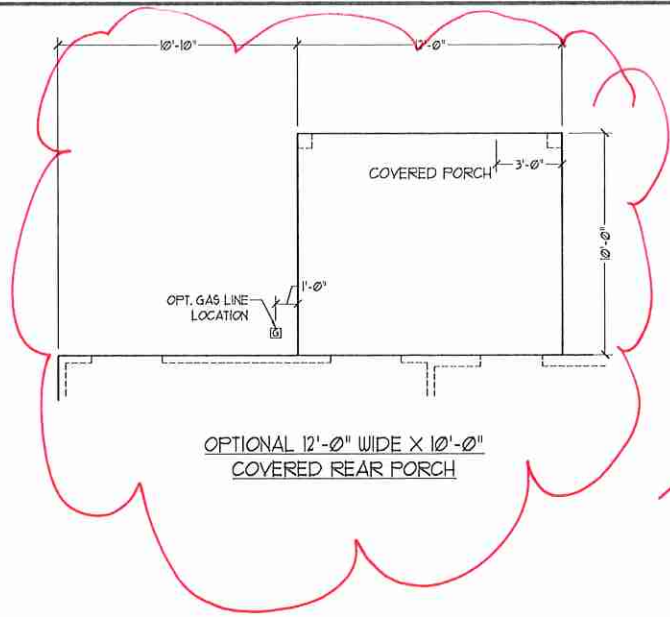


PRICES, PROMOTIONS, INCENTIVES, FEATURES, FINANCING OFFERS AND OTHER INFORMATION ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND THE LATEST CONCEPTS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SUES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

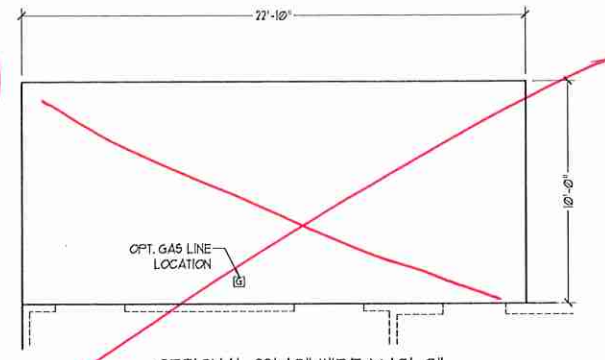
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

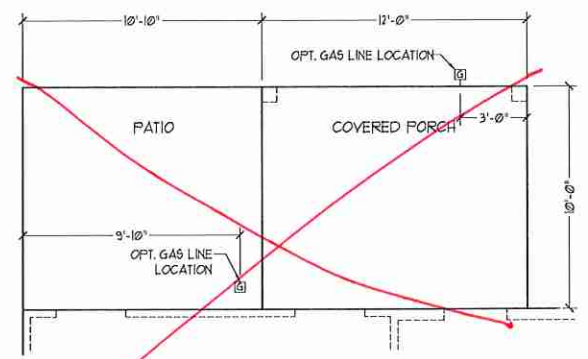
SLAB INTERFACE  
PLAN  
A-4



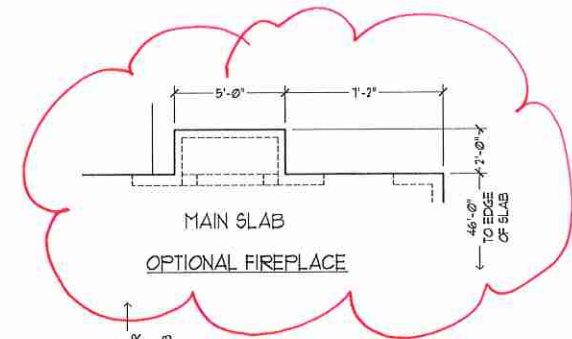
OPTIONAL 12'-0" WIDE X 10'-0" COVERED REAR PORCH



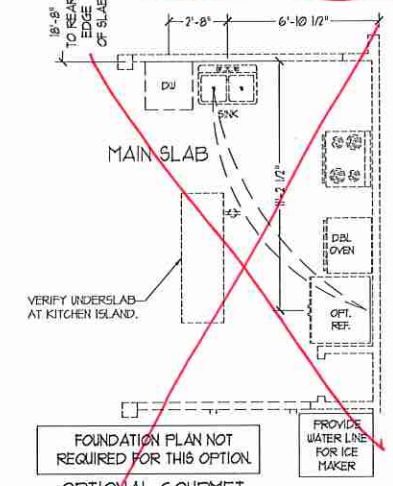
OPTIONAL 22'-10" WIDE X 10'-0" EXTENDED PATIO



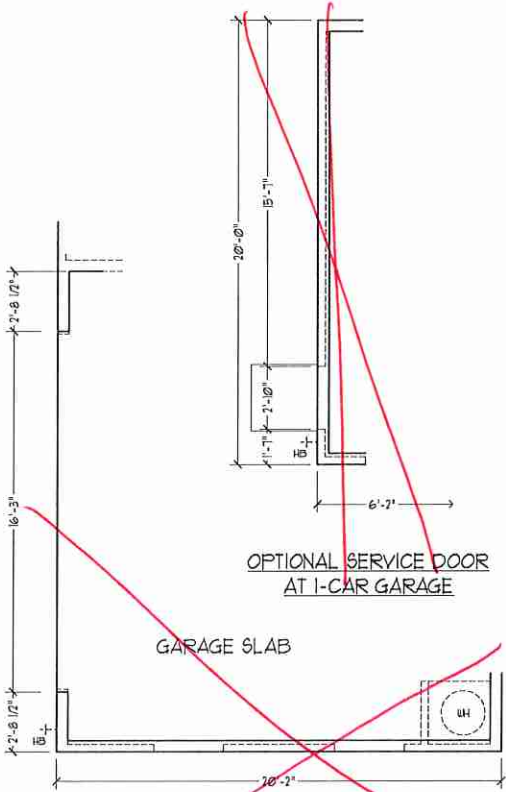
OPTIONAL PATIO w/ COVERED PORCH



MAIN SLAB  
OPTIONAL FIREPLACE

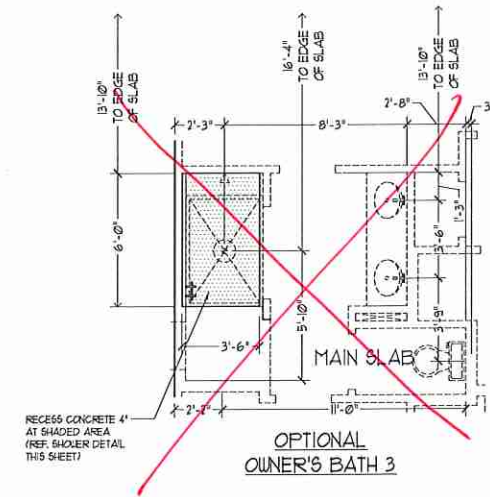


OPTIONAL GOURMET KITCHEN

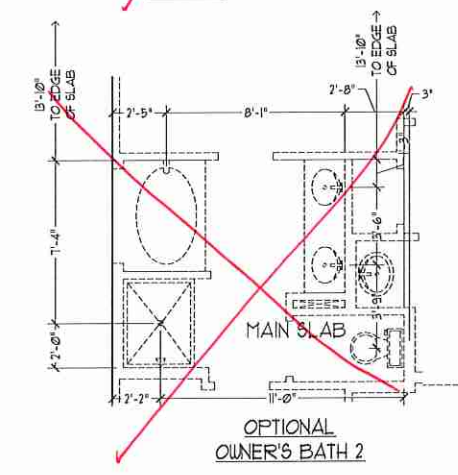


OPTIONAL SERVICE DOOR AT 1-CAR GARAGE

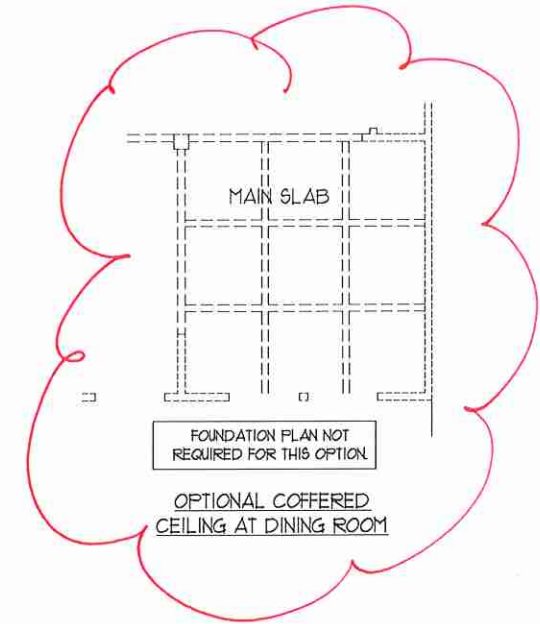
SIDE-LOAD GARAGE OPTION  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



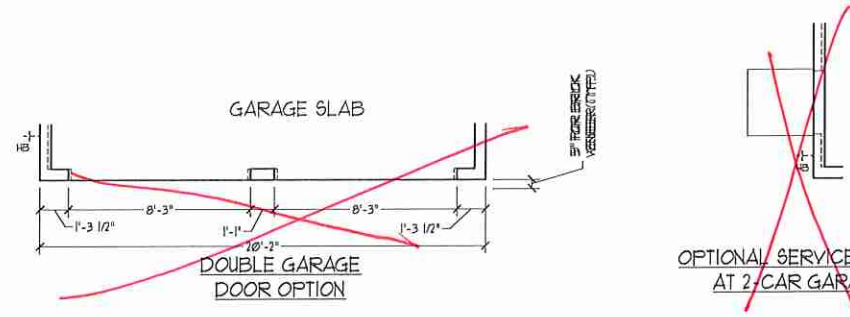
OPTIONAL OWNER'S BATH 3



OPTIONAL OWNER'S BATH 2



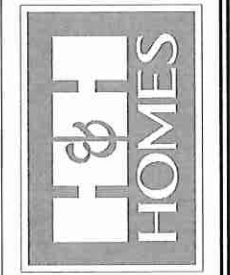
FOUNDATION PLAN NOT REQUIRED FOR THIS OPTION  
OPTIONAL COFFERED CEILING AT DINING ROOM



DOUBLE GARAGE DOOR OPTION

OPTIONAL SERVICE DOOR AT 2-CAR GARAGE

J.S. THOMPSON  
ENGINEERING, INC.  
688 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9211  
N.C. LICENSE NO. G1133

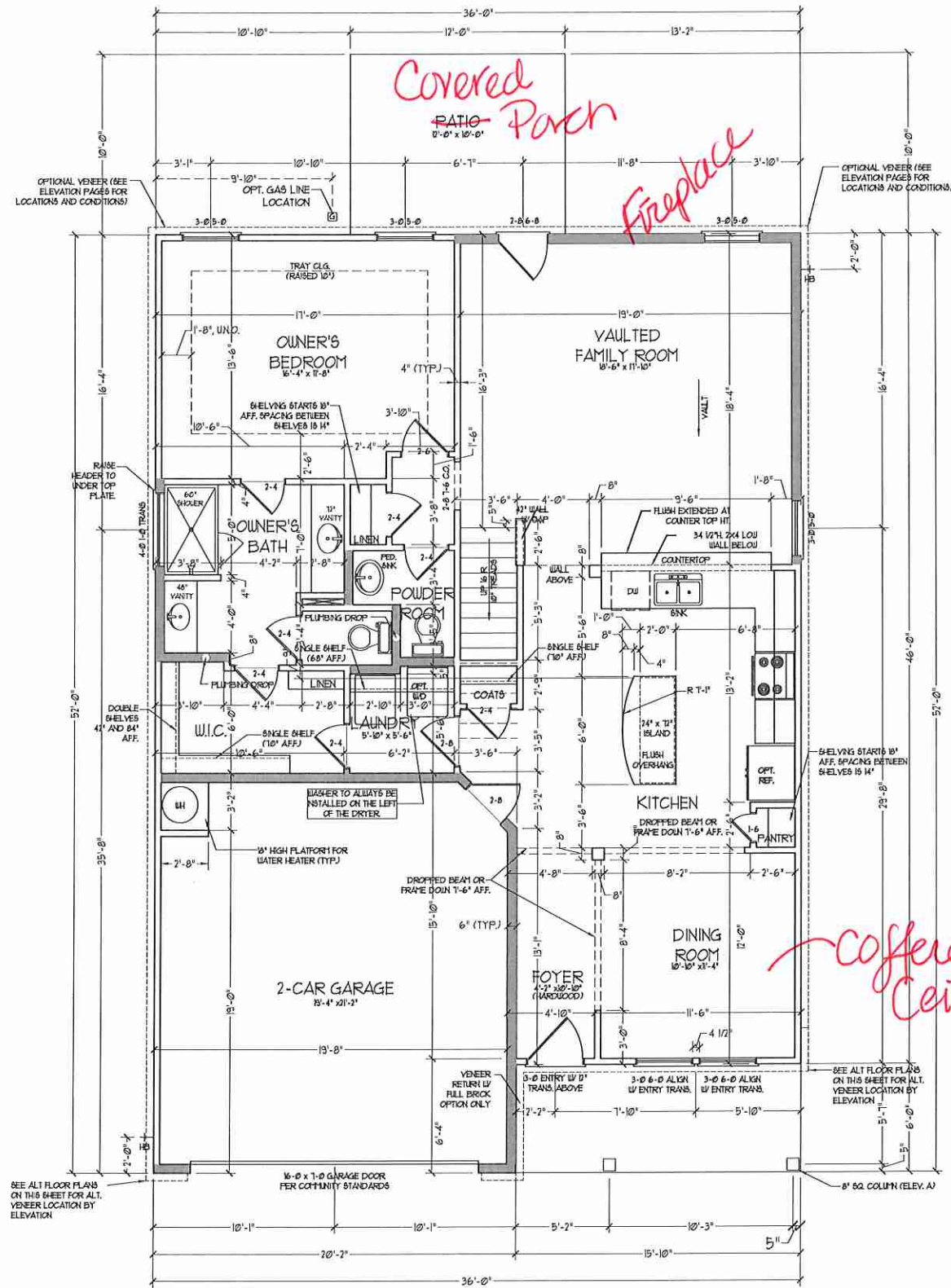


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATION DESIGNS, MATERIALS, FINISHES, AND DIMENSIONS WITHOUT NOTICE SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND FOOT PLAN. FLOOR PLANS AND ELEVATION DESIGNS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES, INC. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW-HOME SLABS CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SLAB INTERFACE OPTIONS  
A-4.1



FIRST FLOOR PLAN  
(A-1, B-1, AND C-1)

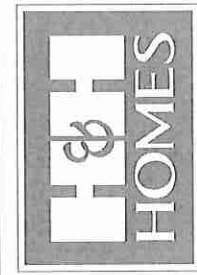
SEE PARTIAL FLOOR PLANS ON SHEET A-34 FOR CHANGES TO THE EXTERIOR VENEER FOR ALL ELEVATIONS.

SQUARE FOOTAGE	
1st FLOOR	1581 SQ. FT.
2nd FLOOR	1051 SQ. FT.
TOTAL	2632 SQ. FT.
GARAGE	425 SQ. FT.
FRONT PORCH	55 SQ. FT.
STD. REAR PATIO	00 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE	10 SQ. FT.
2nd FLOOR OPTIONS	
OPT. LINDOU BOX AT BEDROOM 1	9 SQ. FT.
UNHEATED OPTIONS	
OPT. BASEMENT	010 SQ. FT.
OPT. 1-CAR GARAGE	210 SQ. FT.
OPT. REAR COVERED PORCH	100 SQ. FT.
OPT. 0'-0\"/>	100 SQ. FT.

SQUARE FOOTAGE (W/ FULL BRICK)	
1st FLOOR	1469 SQ. FT.
2nd FLOOR	1054 SQ. FT.
TOTAL	2523 SQ. FT.
GARAGE	445 SQ. FT.
FRONT PORCH	55 SQ. FT.
STD. REAR PATIO	00 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE	14 SQ. FT.
2nd FLOOR OPTIONS	
WINDOW BOX AT BEDROOM 1 (ELEV. C ONLY)	9 SQ. FT.
UNHEATED OPTIONS	
OPT. BASEMENT	010 SQ. FT.
OPT. 1-CAR GARAGE	225 SQ. FT.
OPT. REAR COVERED PORCH	100 SQ. FT.
OPT. 0'-0\"/>	100 SQ. FT.

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16\"/>

J.S. THOMPSON  
ENGINEERING, INC.  
600 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9921  
N.C. LICENSE NO. C4133

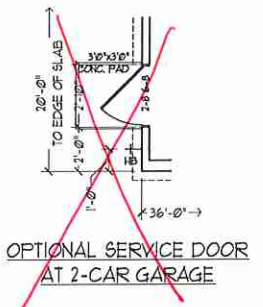
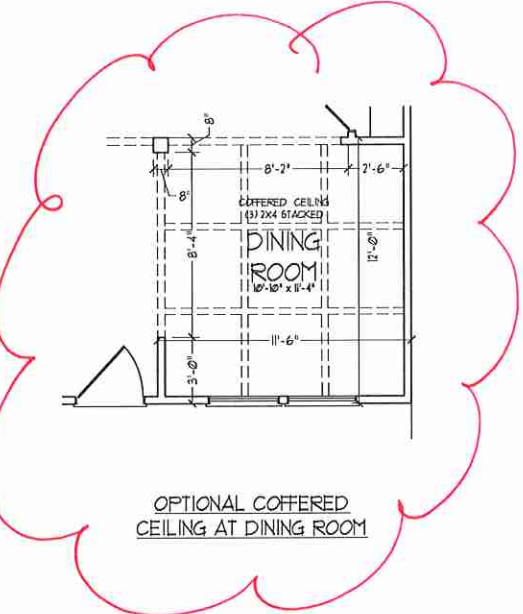
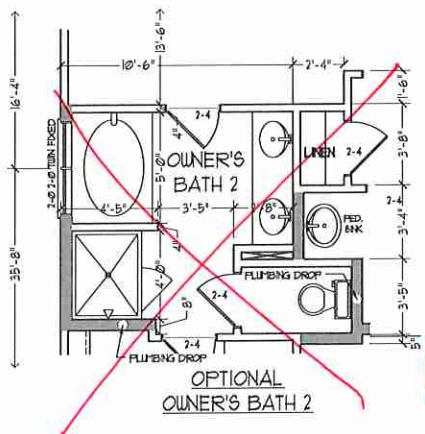
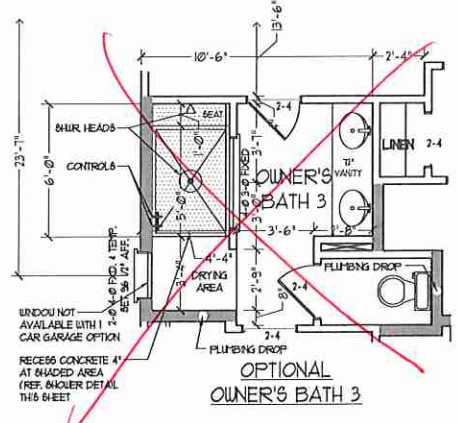
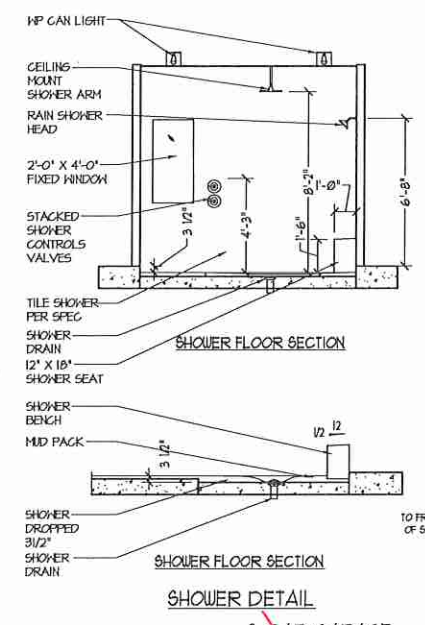
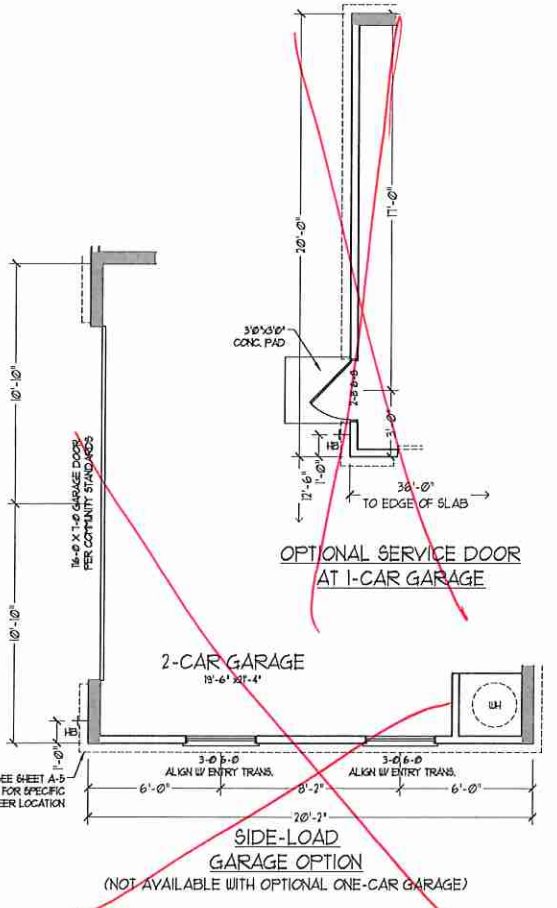
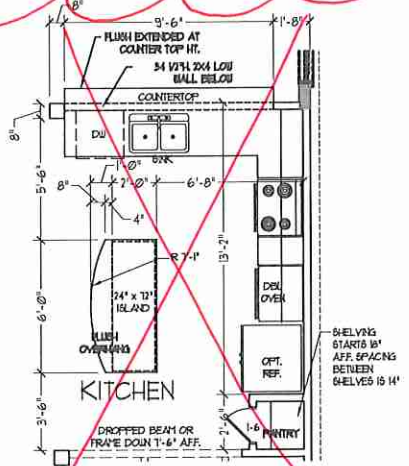
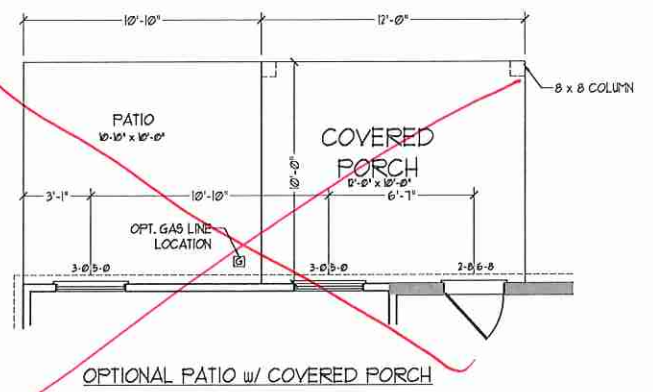
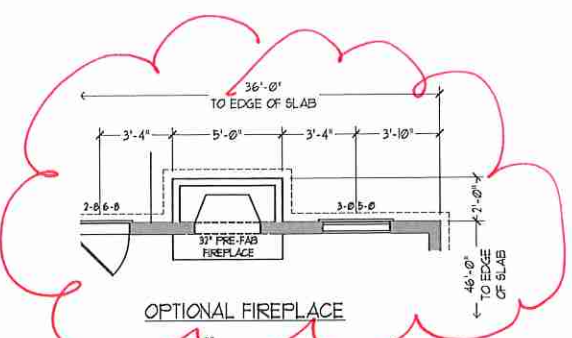
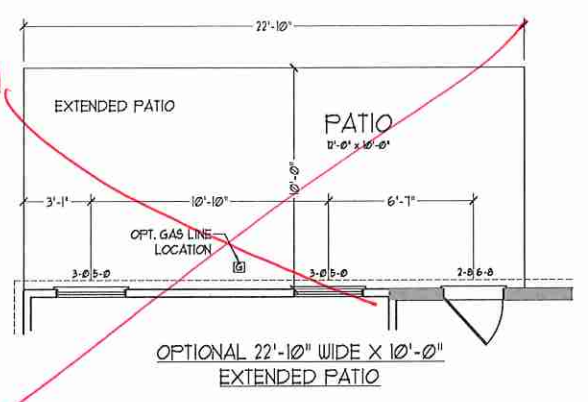
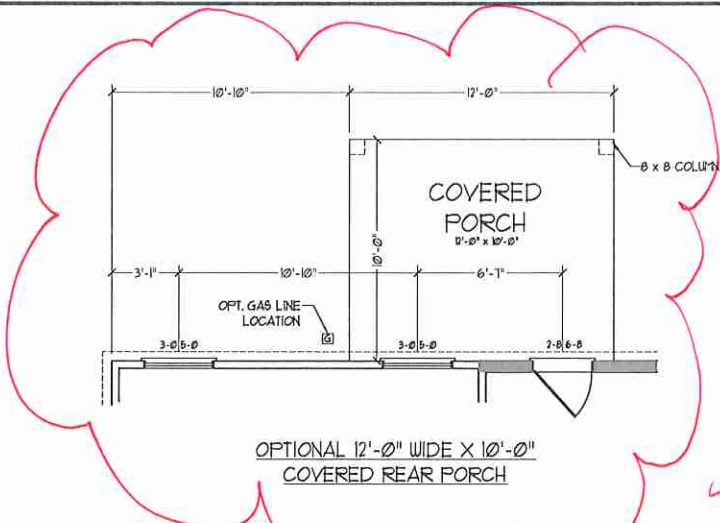


PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY SURVEY. ELEVATIONS ARE THE PROPERTY OF H&H HOMES, INC. ANY REPRODUCTION, ADAPTATION OR DISPLAY OF THIS PLAN IS STRICTLY PROHIBITED. SEE H&H HOMES CONSULTANT FOR CURRENT DETAIL COPYRIGHT © 2019 H&H HOMES

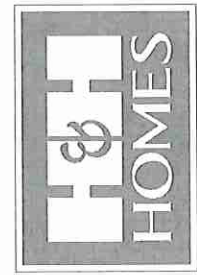
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

FIRST FLOOR PLAN  
A-6



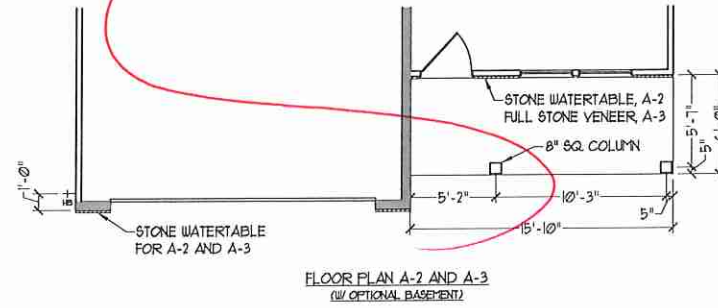
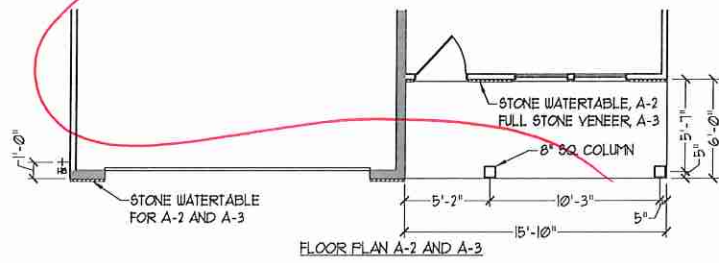
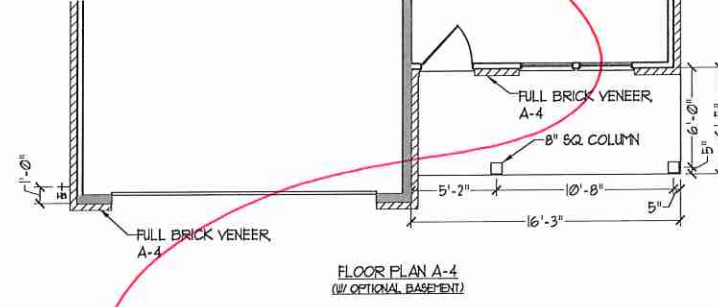
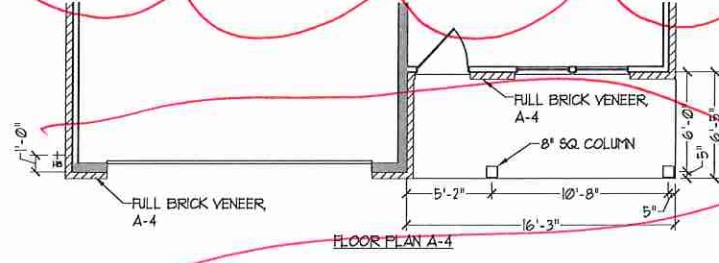
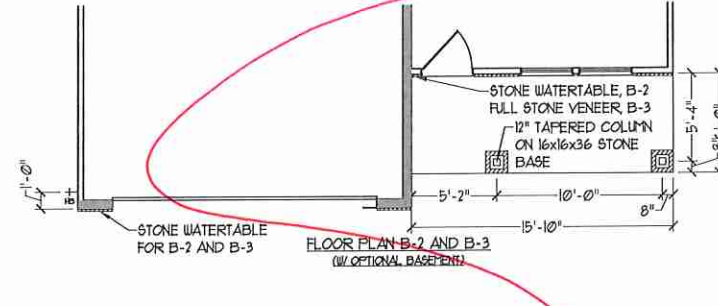
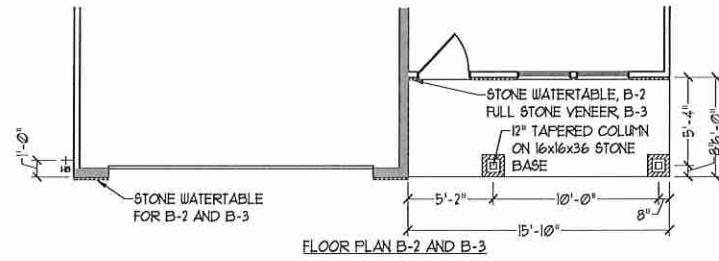
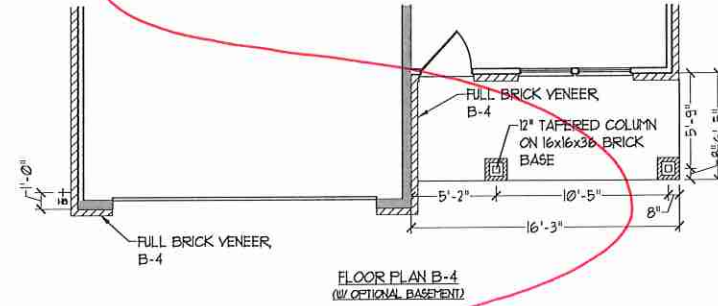
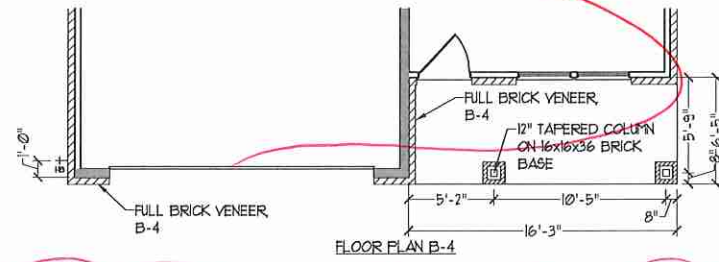
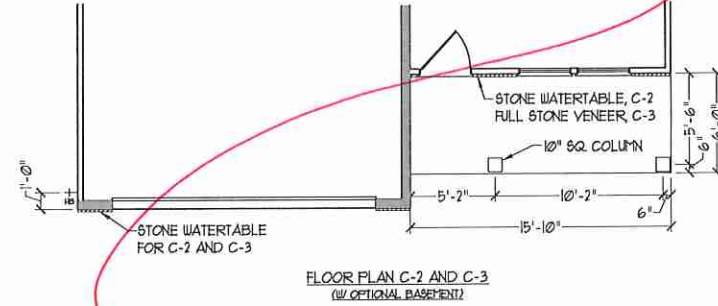
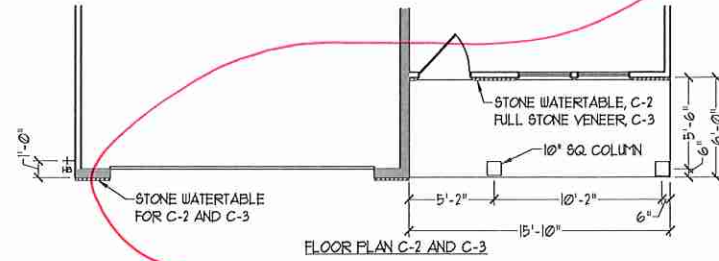
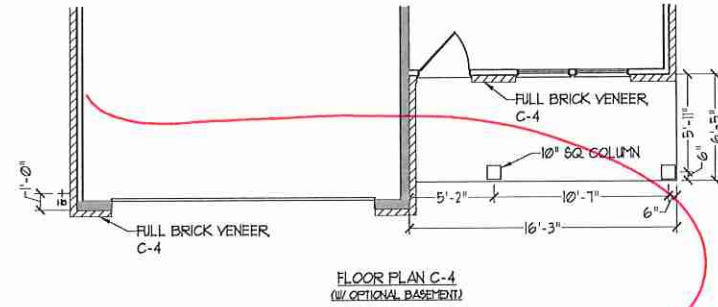
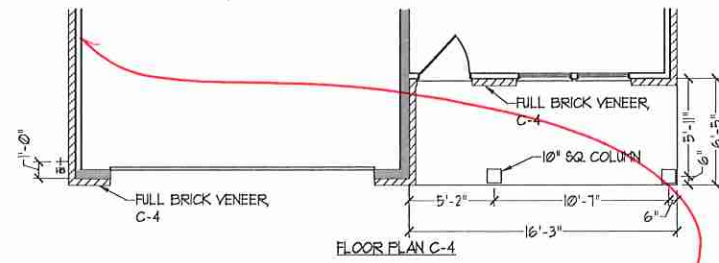
**J.S. THOMPSON ENGINEERING, INC.**  
600 WAREHOUSES, SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 280-9119  
FAX: (919) 280-9921  
N.C. LICENSE NO. C-1113



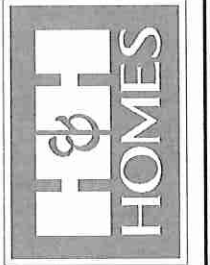
FINISH, INSURANCE, INSURANCE FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF WALLS, CEILING, FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED. CURRENT DETAILS, COPYRIGHT © 2019 H&H HOMES.

**H&H HOMES, INC.**  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:  
FIRST FLOOR  
OPTIONS w/ OR  
w/o BASEMENT



J.S. THOMPSON  
ENGINEERING, INC.  
600 WADE AVE, SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 289-9919  
FAX: (919) 289-9921  
N.C. LICENSE NO. C1133

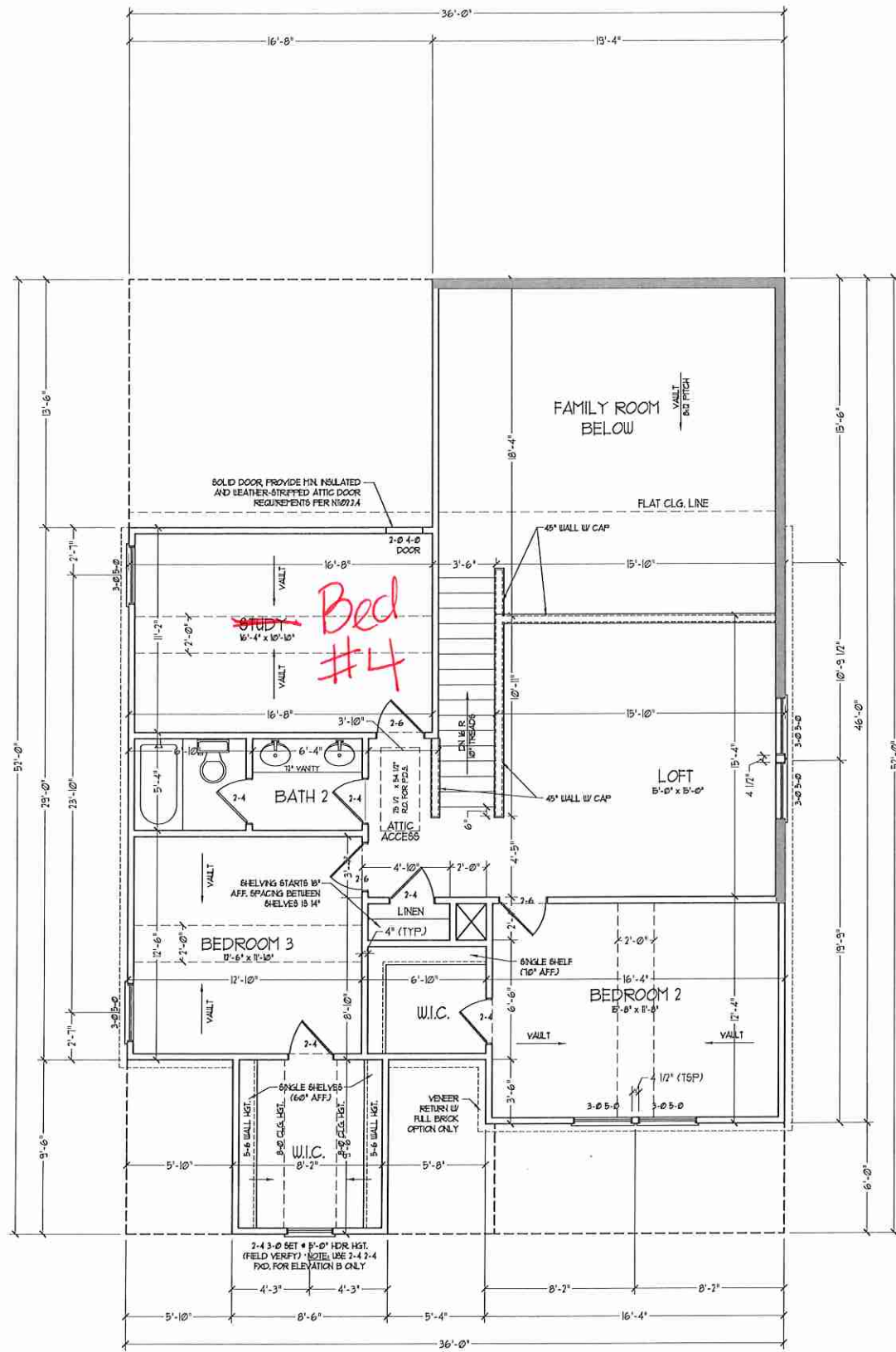


PRICES, PROMOTIONS, INCENTIVES, FEATURES,  
MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE  
WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS  
ARE ESTIMATED AND MAY VARY IN ACTUAL  
CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT  
MAY VARY FROM SHOWN. ALL DIMENSIONS ARE TO  
FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST  
CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED  
PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION,  
ADAPTATION OR DISPLAY OF THESE PLANS IS STRICTLY  
PROHIBITED. USE NEW HOUSES CONSULTANT FOR  
CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

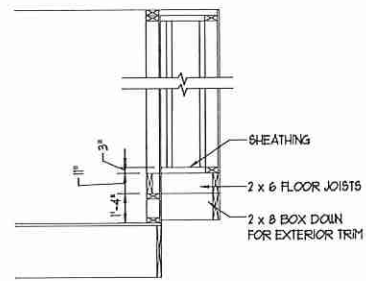
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:  
FIRST FLOOR  
PARTIAL PLANS  
W/ & W/O  
BASEMENT  
A-6.3

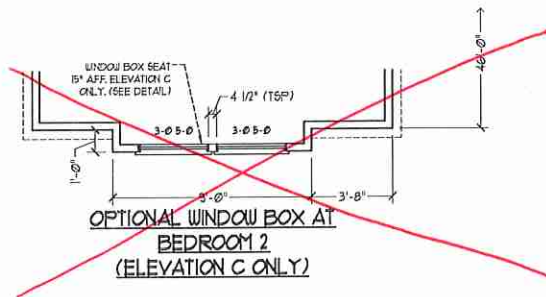




SECOND FLOOR PLAN  
(A-1, B-1, AND C-1)



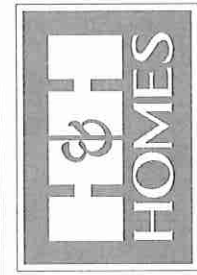
WINDOW BOX DETAIL  
(ELEVATION C ONLY)  
SCALE: 1/4" = 1'-0"



OPTIONAL WINDOW BOX AT  
BEDROOM 2  
(ELEVATION C ONLY)

- ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16" O.C. (AND) ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (AND) NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (AND)
- UNCEID WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION
- PROVIDE MINIMUM INSULATION IN CEILING AND WALLS PER SECTION N 1102J
- SEE PARTIAL FLOOR PLANS ON SHEET A-6.2 FOR CHANGES TO THE EXTERIOR VENEER FOR ALL ELEVATIONS.

**J.S. THOMPSON ENGINEERING, INC.**  
650 W. MAIN ST., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 286-9119  
FAX: (919) 286-9221  
N.C. LICENSE NO. C11733

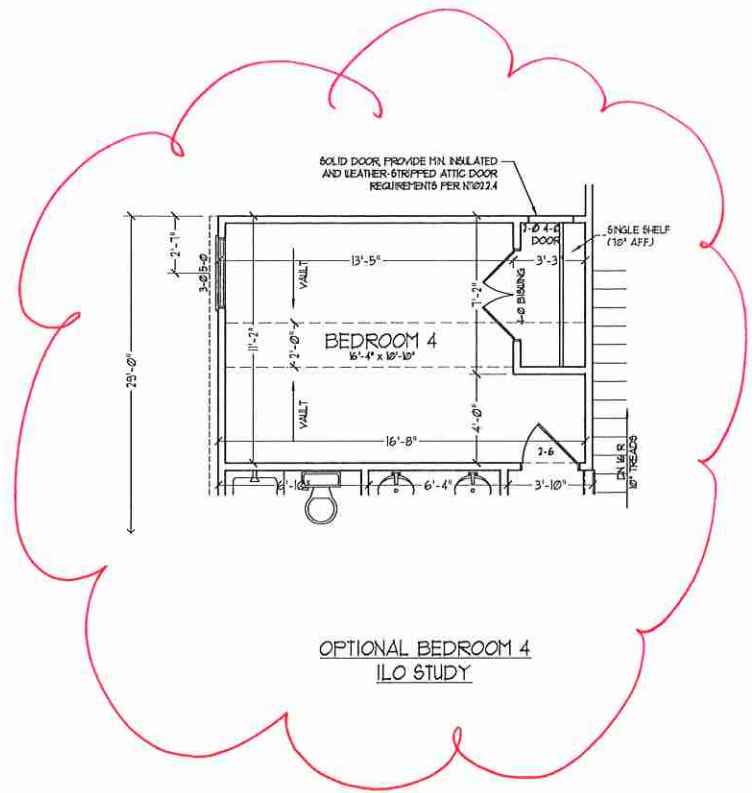


PRICES, PROMOTIONS, INVENTORIES, FEATURES, OR CONDITIONS OF SALE ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF ROSE ON PLAN IS FOR INFORMATION ONLY. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. © 2019 H&H HOMES. CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES.

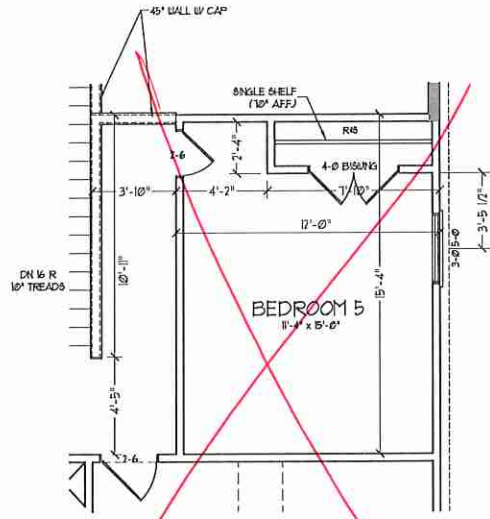
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

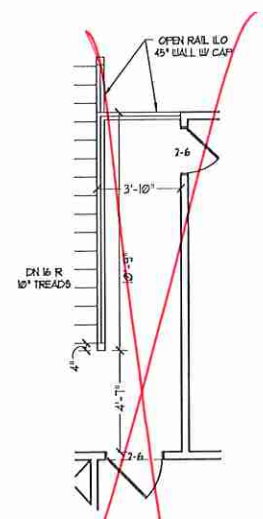
SECOND FLOOR PLAN  
A-7



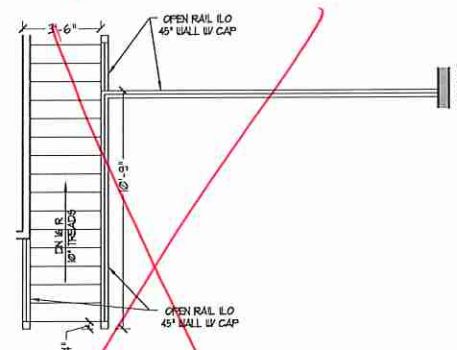
OPTIONAL BEDROOM 4  
ILO STUDY



OPTIONAL BEDROOM 5  
ILO LOFT

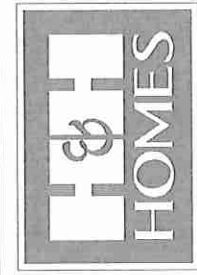


OPTIONAL OPEN RAIL ILO  
45" WALL W/ CAP W/  
BEDROOM 5 ILO LOFT



OPEN RAIL ILO 45" WALL  
W/ CAP

**J.S. THOMPSON**  
ENGINEERING, INC.  
608 WADE AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: 919 7899919  
FAX: 919 7899921  
N.C. LICENSE NO. G1133

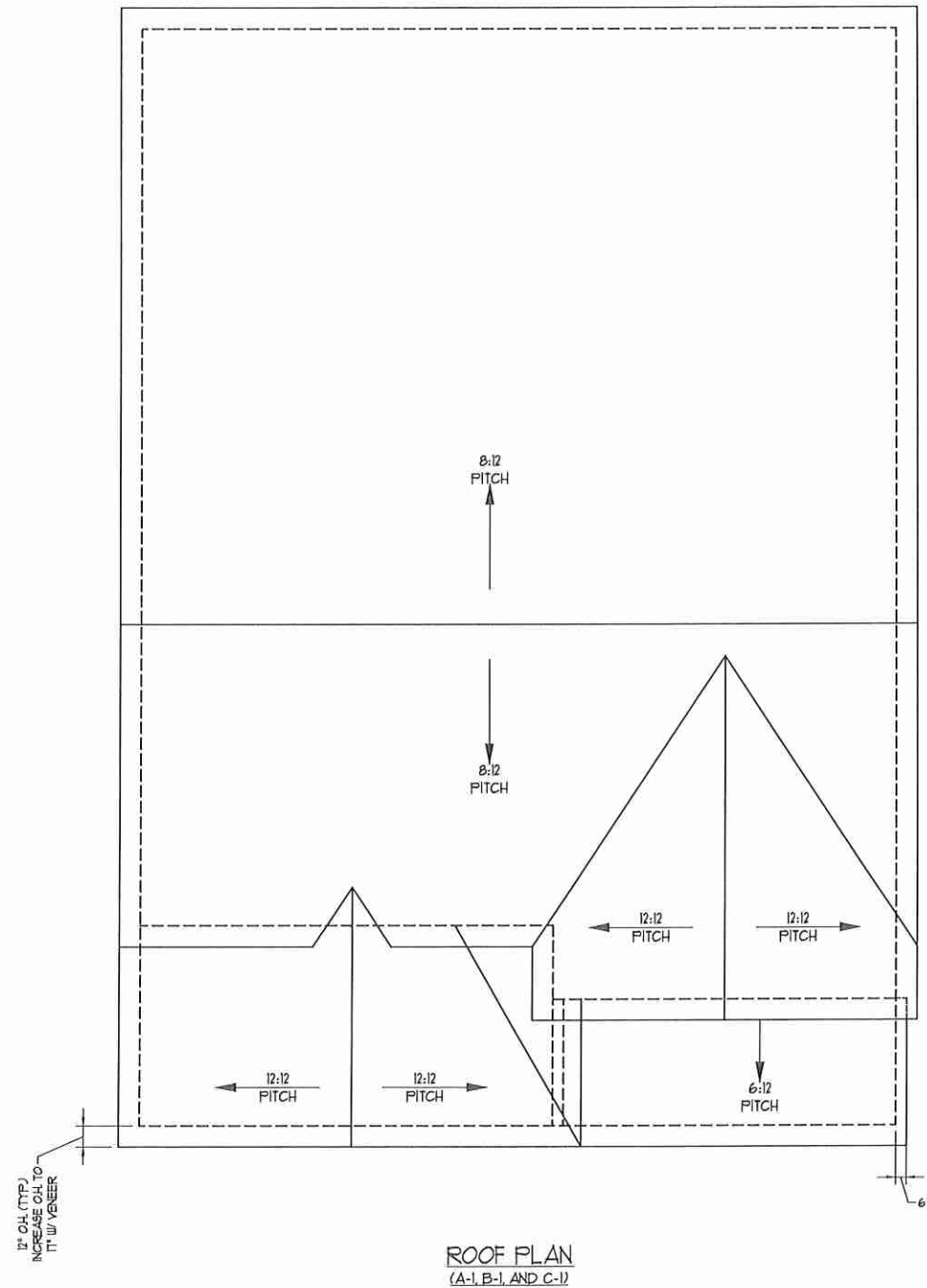


PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOLES ON LOT, FLOOR PLANS AND ELEVATION REQUIREMENTS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF H&H HOMES. CURRENT DETAILS, COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SECOND FLOOR  
OPTIONS  
A-7.1



TOTAL UNDER ROOF AREA:	1667	SQ. FT.		
VENTING AREA REQUIRED:	1667	SQ. FT. / 300 = 5.55		
TOTAL REQUIREMENTS:	LOWER: 2.28	UPPER: 2.78		
<b>LOWER AREA VENTING</b>				
EXHAUST VENT	SIZE	PER UNIT	# UNITS	PROVIDED
	10" S/D	100"	4.2	-
LOWER AREA VENTING PROVIDED: -				
<b>UPPER AREA VENTING</b>				
EDGE VENT	SIZE	PER UNIT	# UNITS	PROVIDED
	125 S/D	32"	4.0	-
UPPER AREA VENTING PROVIDED: -				
TOTAL AREA PROVIDED				8.2
EXHAUST AND EDGE VENT				8.2

**J.S. THOMPSON**  
**ENGINEERING, INC.**  
600 WALTON AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9921  
N.C. LICENSE NO. C-1733



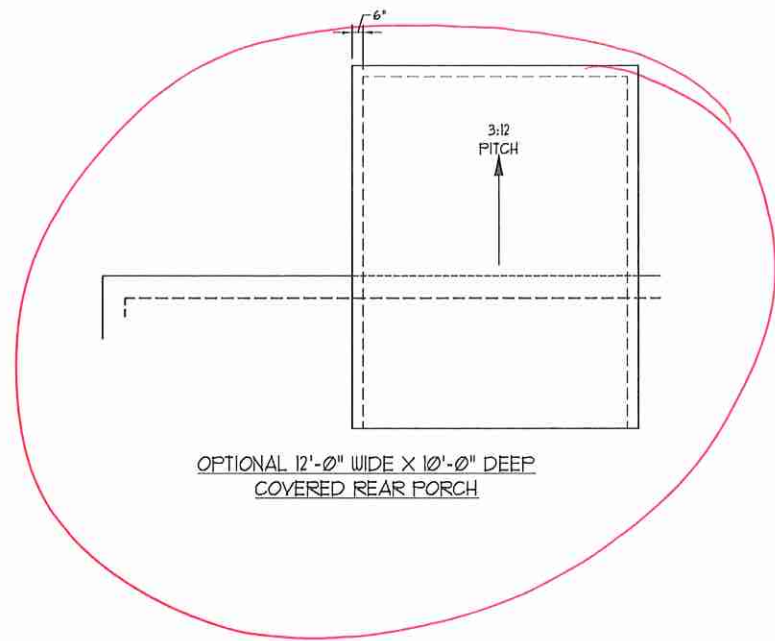
PRICES, PROMOTIONS, INCENTIVES, FEAT. USES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS WILL BE DETERMINED BY THE SITE PLAN AND LOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, OR MODIFICATION OF THIS DOCUMENT IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

**H&H HOMES, INC.**  
**JORDAN**

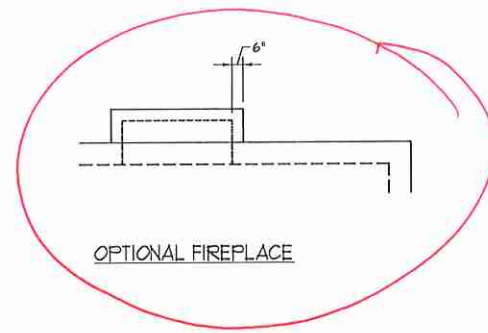
DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

ROOF PLAN  
ELEVATIONS  
A&B

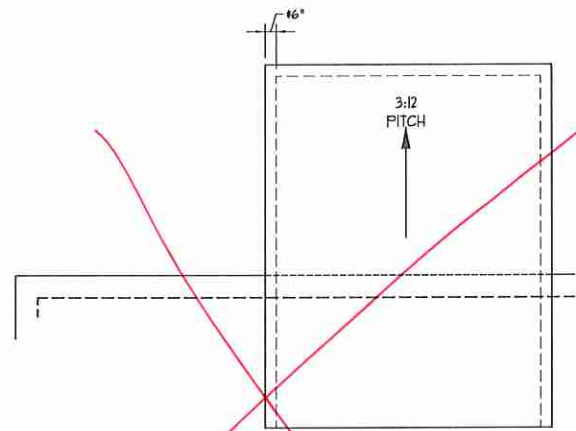
A-8



OPTIONAL 12'-0" WIDE X 10'-0" DEEP  
COVERED REAR PORCH

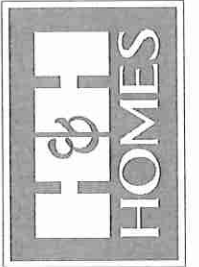


OPTIONAL FIREPLACE



~~OPTIONAL 12'-0" WIDE X 10'-0" DEEP  
COVERED REAR PORCH W/ PATIO~~

**J.S. THOMPSON  
ENGINEERING, INC.**  
450 W. WALDEMAN, SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 780-9919  
FAX: (919) 780-9921  
N.C. LICENSE NO. C4133

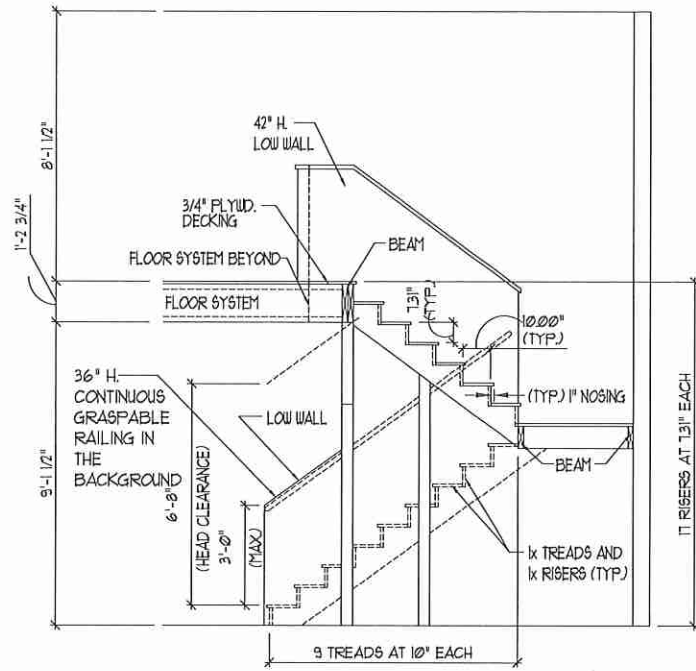


PRICES, PROMOTIONS, INCENTIVES, FEATURES,  
FINISHES, MATERIALS, AND DIMENSIONS ARE SUBJECT TO CHANGE  
WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS  
ARE ESTIMATED AND MAY VARY IN ACTUAL  
CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT  
MAY VARY FROM SHOWN. ELEVATIONS AND  
FLOOR PLANS AND ELEVATION HEADINGS ARE ARTIST  
CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED  
PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION,  
ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY  
PROHIBITED WITHOUT THE WRITTEN PERMISSION OF  
H&H HOMES. © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:  
ROOF PLAN  
ELEVATION - A/B  
& C

A-8.2



TYPICAL STAIR DETAIL  
(NTS)

**STAIR NOTES:**

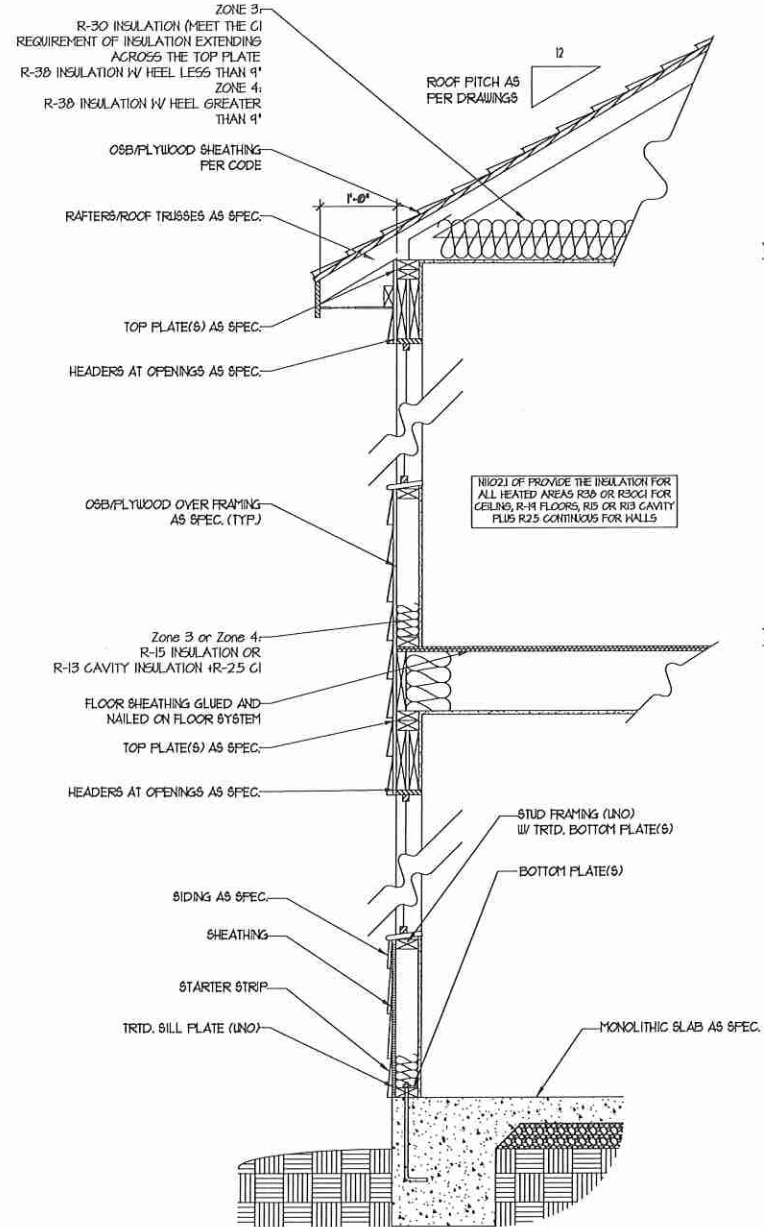
**RAILING**  
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.

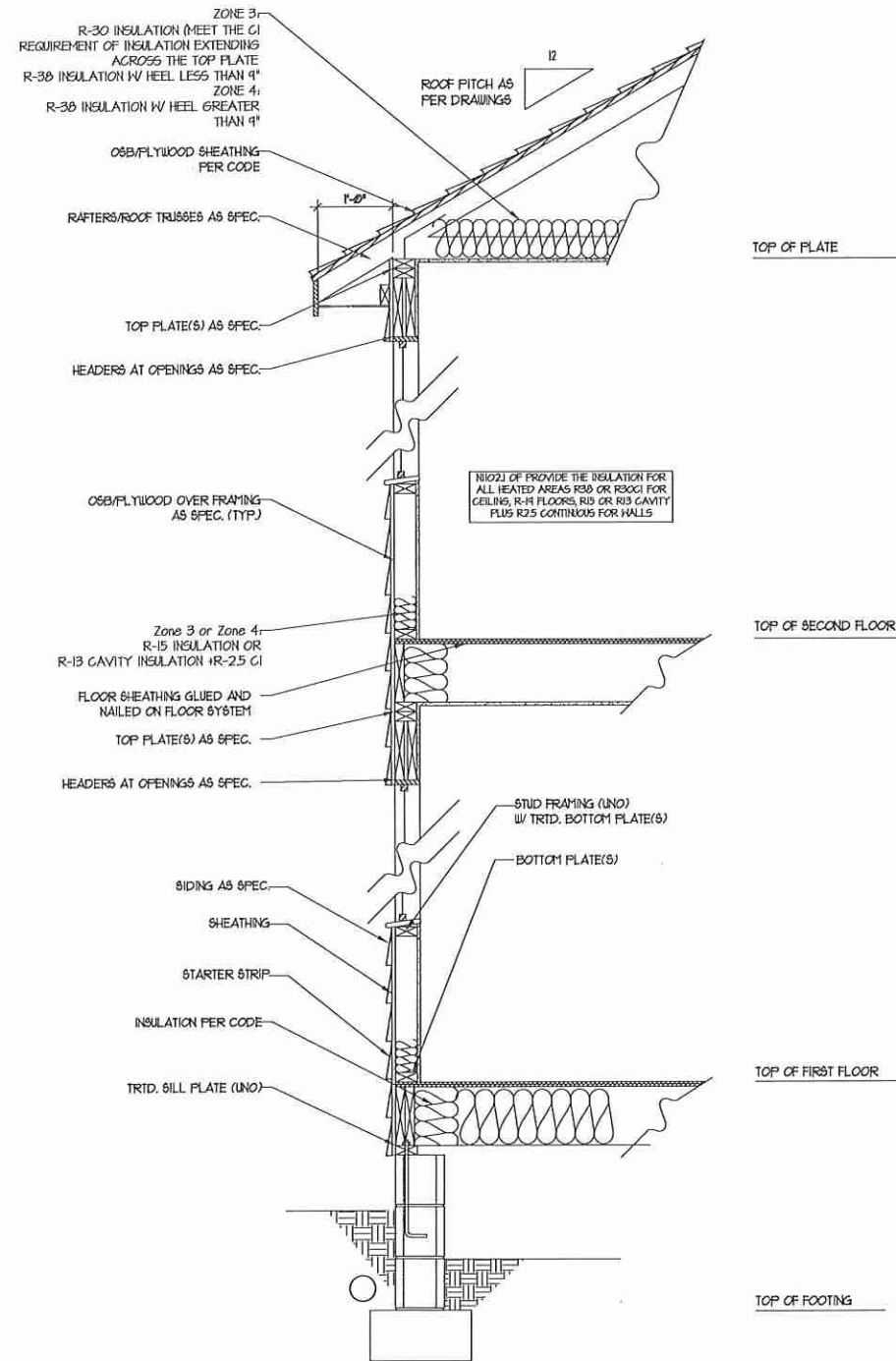
OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.

**HANDRAILS:**  
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA

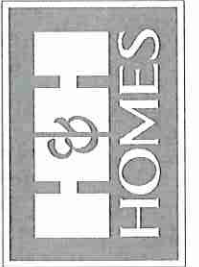


WALL SECTION W/ SLAB  
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE  
W/ STD. SIDING SHOWN (NTS)

J.S. THOMPSON  
ENGINEERING, INC.  
655 WADE AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9921  
N.C. LICENSE NO. C1133



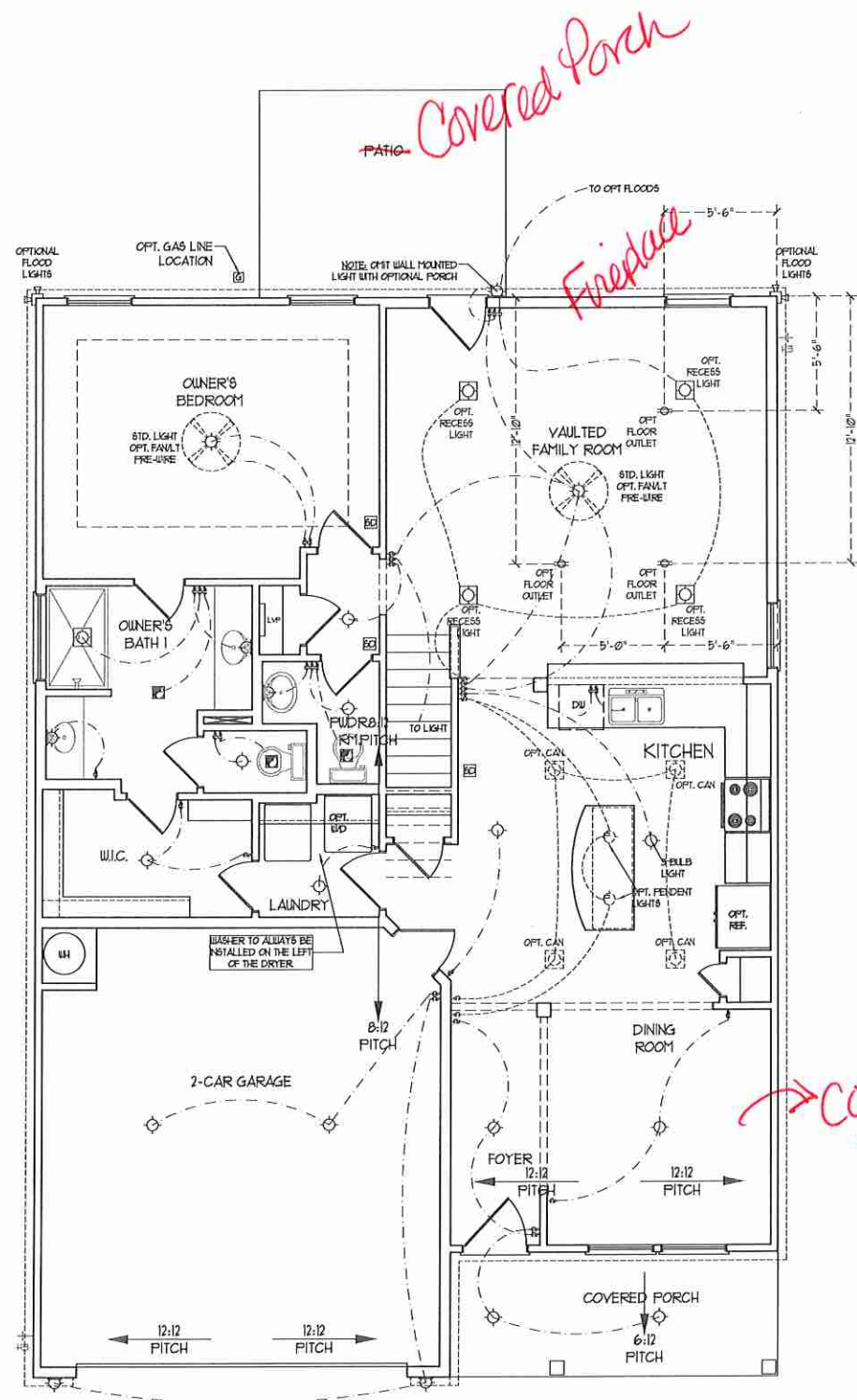
PRICES, PROMOTIONS, INCENTIVES, FEATURES, COUPONS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOLES ON LOT, WALLS, FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

WALL SECTIONS  
AND STAIR  
DETAIL

AD-1



FIRST FLOOR PLAN  
(A-1, B-1, AND C-1)

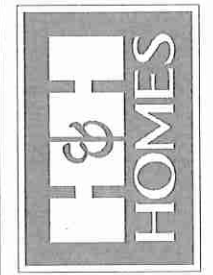
**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VANTY LIGHTS TO BE SET # 30" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
- 4) PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.

**ELECTRICAL LEGEND**

	120 V. OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR CONDUIT BUSING
	SPEAKER
	DOORBELL CHIME
	120 V. SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

**J.S. THOMPSON ENGINEERING, INC.**  
600 YARBRO AVE., SUITE 104  
SALEIGH, NC 27605  
PHONE: (919) 789-0919  
FAX: (919) 789-0921  
N.C. LICENSE NO. C113



PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT, NUMBER OF WINDOWS, DOORS, ROOF PITCHES, FLOOR PLANS AND ELEVATION HEADINGS ARE LATEST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES, INC. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE H&H HOMES SALES CONSULTANT FOR CURRENT OR PAST COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN  
E-1

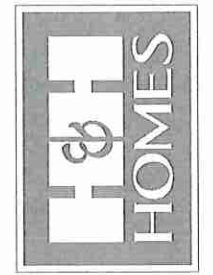
**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2) VANITY LIGHTS TO BE SET # 90° AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
- 4) PLACE SWITCHES 6" MIN FROM ROUGH OPENINGS.

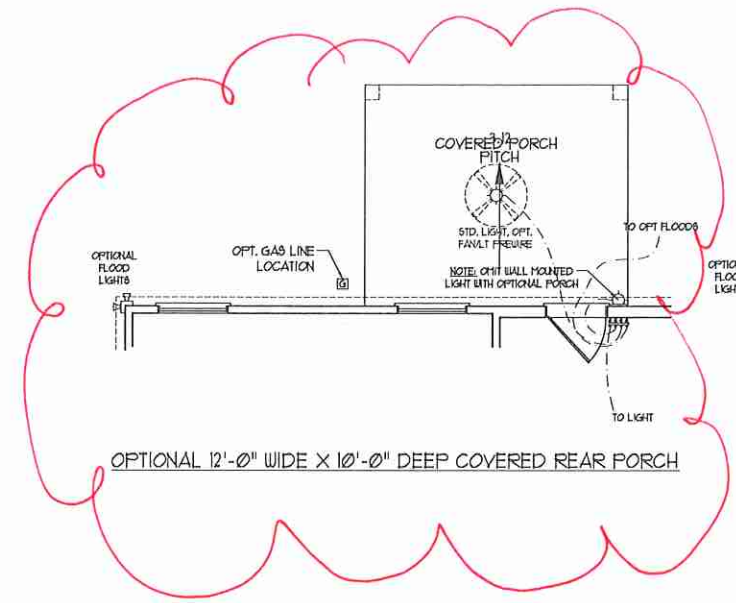
**ELECTRICAL LEGEND**

	120 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	HSI CAN LIGHT
	EYEWALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRING
	GFI BREAKER
	DOORBELL CHIME
	120 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

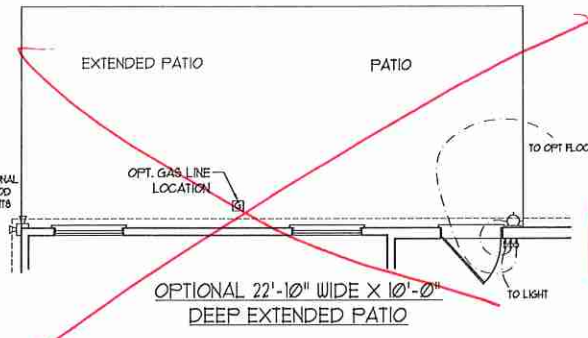
**J.S. THOMPSON ENGINEERING, INC.**  
 650 VANDER AVENUE, SUITE 104  
 RALEIGH, NC 27605  
 PHONE: (919) 789-9919  
 FAX: (919) 789-9921  
 N.C. LICENSE NO. C4173



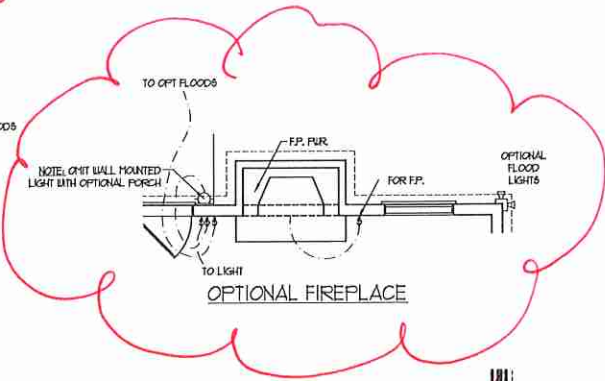
PRICES, PROMOTIONS, INCENTIVES, FEES, AND OTHERS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE SUBJECT TO CHANGE. MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE. CONSTRUCTION, ACTUAL POSITION OF HOUSE ON LOT, FINISHES, ELEVATIONS, AND ELEVATION READINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS IS STRICTLY PROHIBITED. CURRENT DETAILS COPYRIGHT © 2019 H&H HOMES.



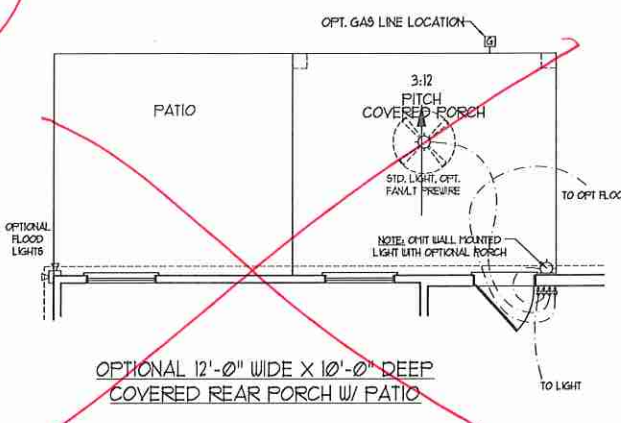
OPTIONAL 12'-0" WIDE X 10'-0" DEEP COVERED REAR PORCH



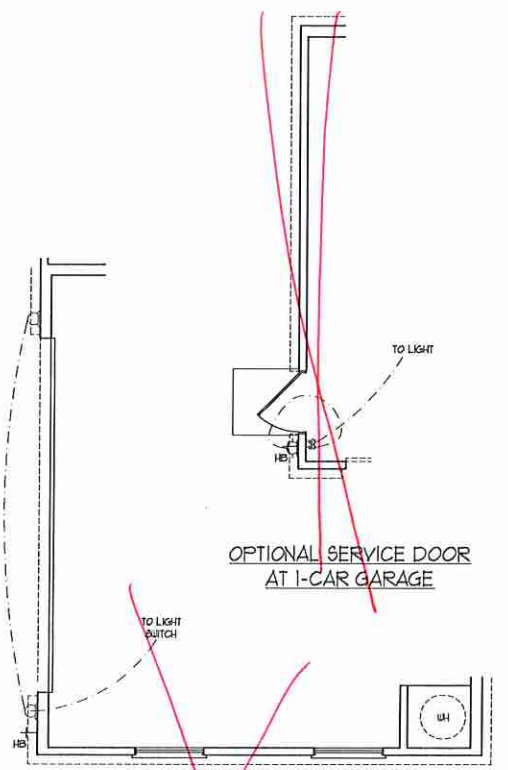
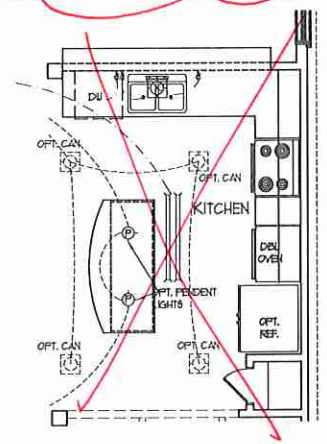
OPTIONAL 22'-10" WIDE X 10'-0" DEEP EXTENDED PATIO



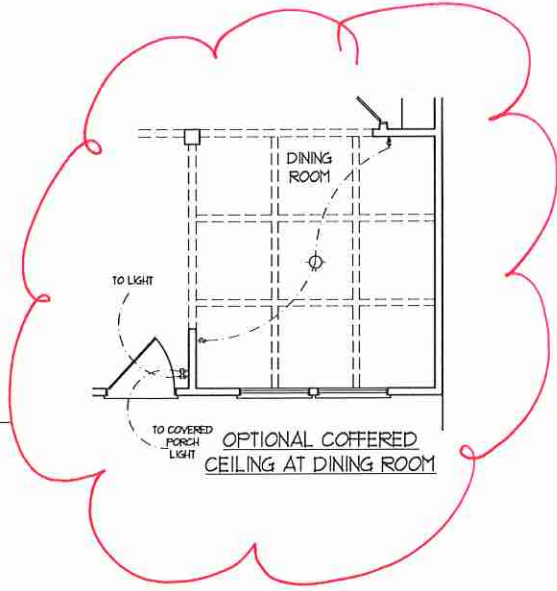
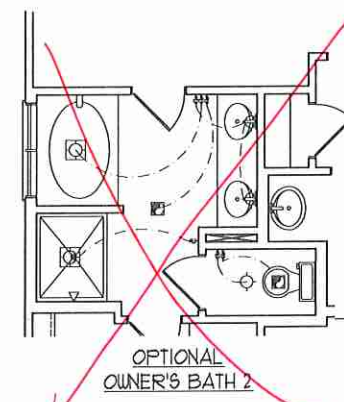
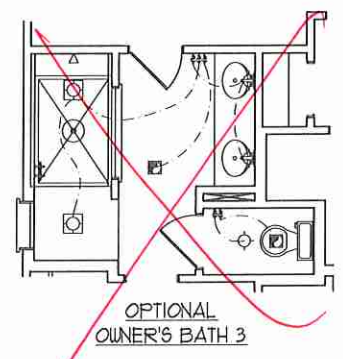
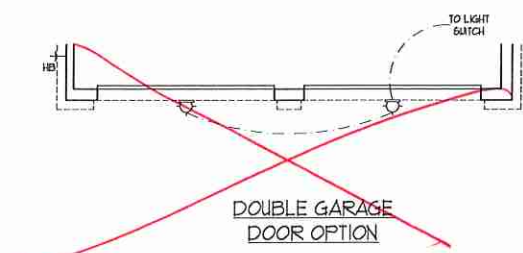
OPTIONAL FIREPLACE



OPTIONAL 12'-0" WIDE X 10'-0" DEEP COVERED REAR PORCH W/ PATIO

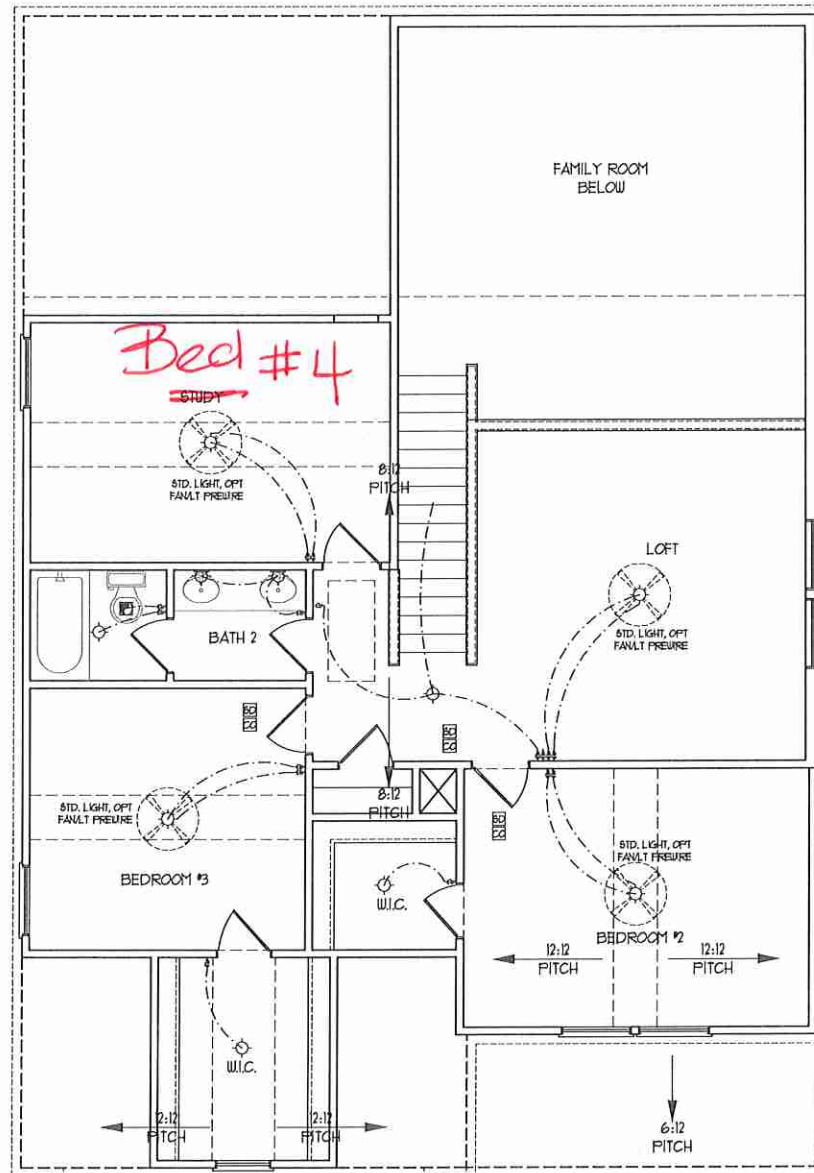


SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

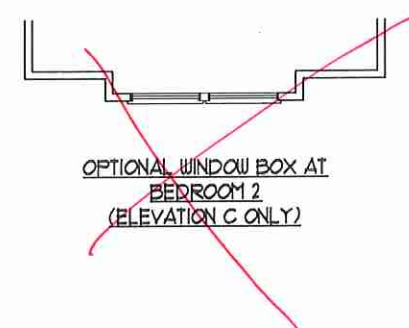


H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
 REV.: MAY 01, 2020  
 SCALE: 1/4"=1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:  
 FIRST FLOOR ELECTRICAL OPTIONS  
 E-1.1



SECOND FLOOR PLAN  
(A-1, B-1, AND C-1)



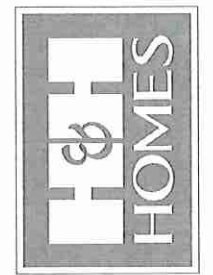
**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND USE FOR ALL CEILING FANS PER PLAN
- 2) VANTY LIGHTS TO BE SET # 30" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
- 4) PLACE SWITCHES 6" MIN FROM ROUGH OPENINGS.

**ELECTRICAL LEGEND**

	120 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRING
	SPEAKER
	DOORBELL CHIME
	120 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

**J.S. THOMPSON ENGINEERING, INC.**  
600 WAKEMAN, SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
FAX: (919) 789-9921  
N.C. LICENSE NO. C4133



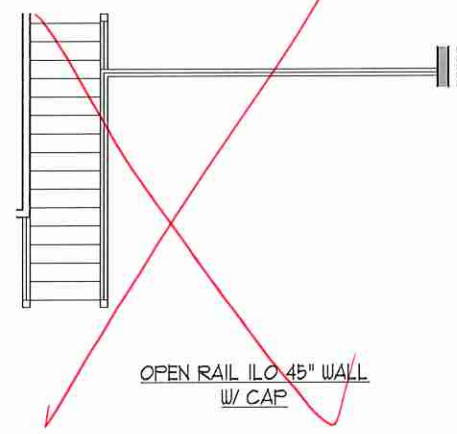
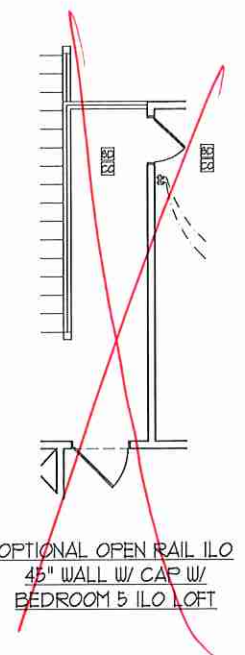
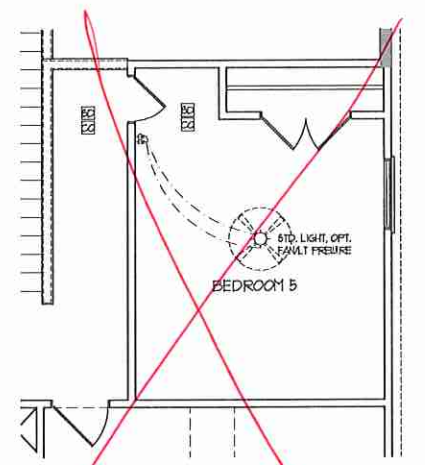
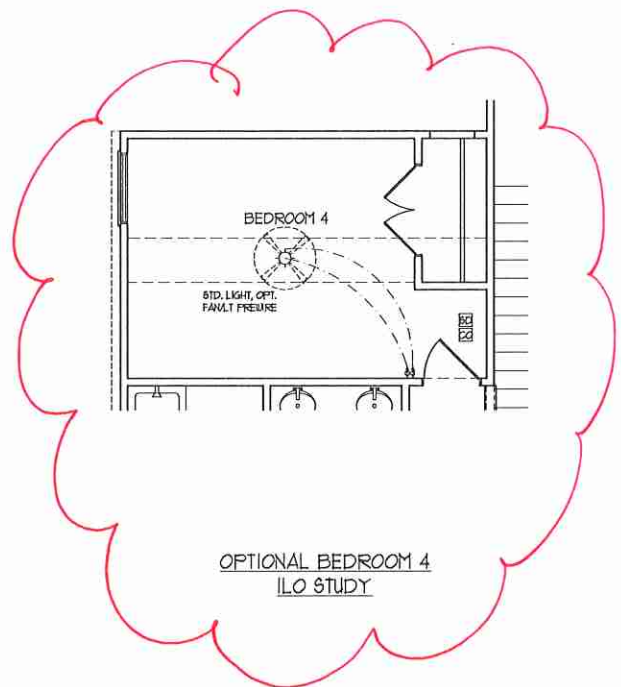
PRICES, PROVISIONS, INVENTORIES, FEATURES, CONSTRUCTION METHODS, MATERIALS, FINISHES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT AND POSITION OF HOUSE ON ADJACENT LOTS. FLOOR PLANS AND ELEVATION DRAWINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. H&H HOMES IS NOT RESPONSIBLE FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SECOND FLOOR  
ELECTRICAL  
PLAN



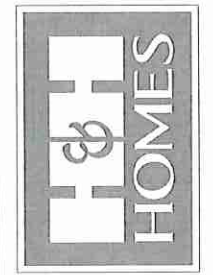


**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET # 50" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
- 4) PLACE SWITCHES 8" FROM ROUGH OPENINGS.

ELECTRICAL LEGEND	
	NO V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4 FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRING
	SPEAKER
	DOORBELL CHIME
	NO V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANNEL
	CEILING FAN
	CEILING FAN W/ LIGHT

**J.S. THOMPSON ENGINEERING, INC.**  
 600 WARDLAW AVE., SUITE 104  
 SALEM, NC 27565  
 PHONE: (919) 288-9119  
 FAX: (919) 288-9221  
 N.C. LICENSE NO. C4133



PRICES, PROMOTIONS, INCENTIVES, FEATURES, PERMITS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT IS NOT GUARANTEED. ALL DIMENSIONS ARE TO FINISH FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. H&H HOMES ASSUMES NO LIABILITY FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

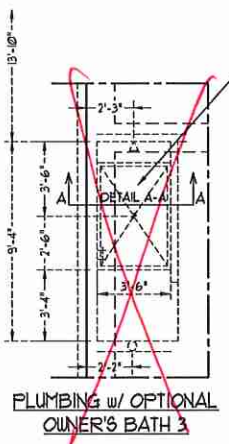
H&H HOMES, INC.  
 JORDAN

DATE: MARCH 15, 2019  
 REV.: MAY 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

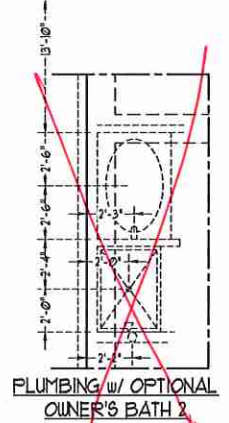
SECOND FLOOR  
 ELECTRICAL  
 OPTIONS  
 E-2.1

- 50 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:**
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 48 "HIGH WIND ZONES" FOR 50 MPH WINDS.
  - BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 48 "HIGH WIND ZONES" FOR 50 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 804.0 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - WALL CLADDING DESIGNED FOR 0.43 PSF AND -31 PSF (-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP).
  - ROOF CLADDING DESIGNED FOR 0.23 PSF AND -28 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 44 PSF AND -51 PSF FOR ROOF PITCHES 2/12 TO 1/12.
  - 1/2" OSB SHEATHING IS REQUIRED ON ALL EXTERIOR WALLS.
  - WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 802.0 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND AS NOTED ON PLANS.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE NRC, 2018 EDITION.

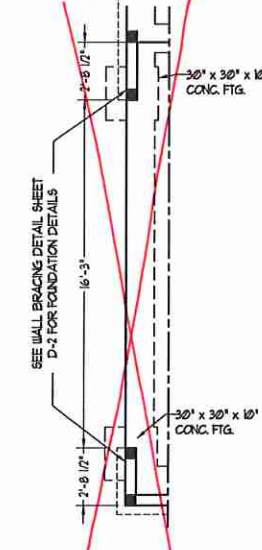
- 70 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:**
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - INSTALL 1/2" ANCHOR BOLTS 6"-8" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE. LOCATE BOLTS WITHIN THREE (3) TIMES THE WIDTH.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - EXTERIOR WALLS DESIGNED FOR 50 MPH WINDS.
  - WALL CLADDING DESIGNED FOR 0.55 PSF AND -38 PSF (-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP).
  - ROOF CLADDING DESIGNED FOR 0.42 PSF AND -28 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 48 PSF AND -56 PSF FOR ROOF PITCHES 2/12 TO 1/12.
  - INSTALL 1/2" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STOREYS IN ACCORDANCE WITH SECTION 802.0.3 OF THE NRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE NRC, 2018 EDITION.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



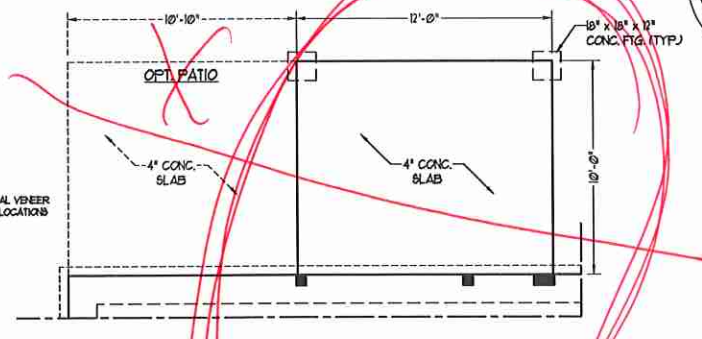
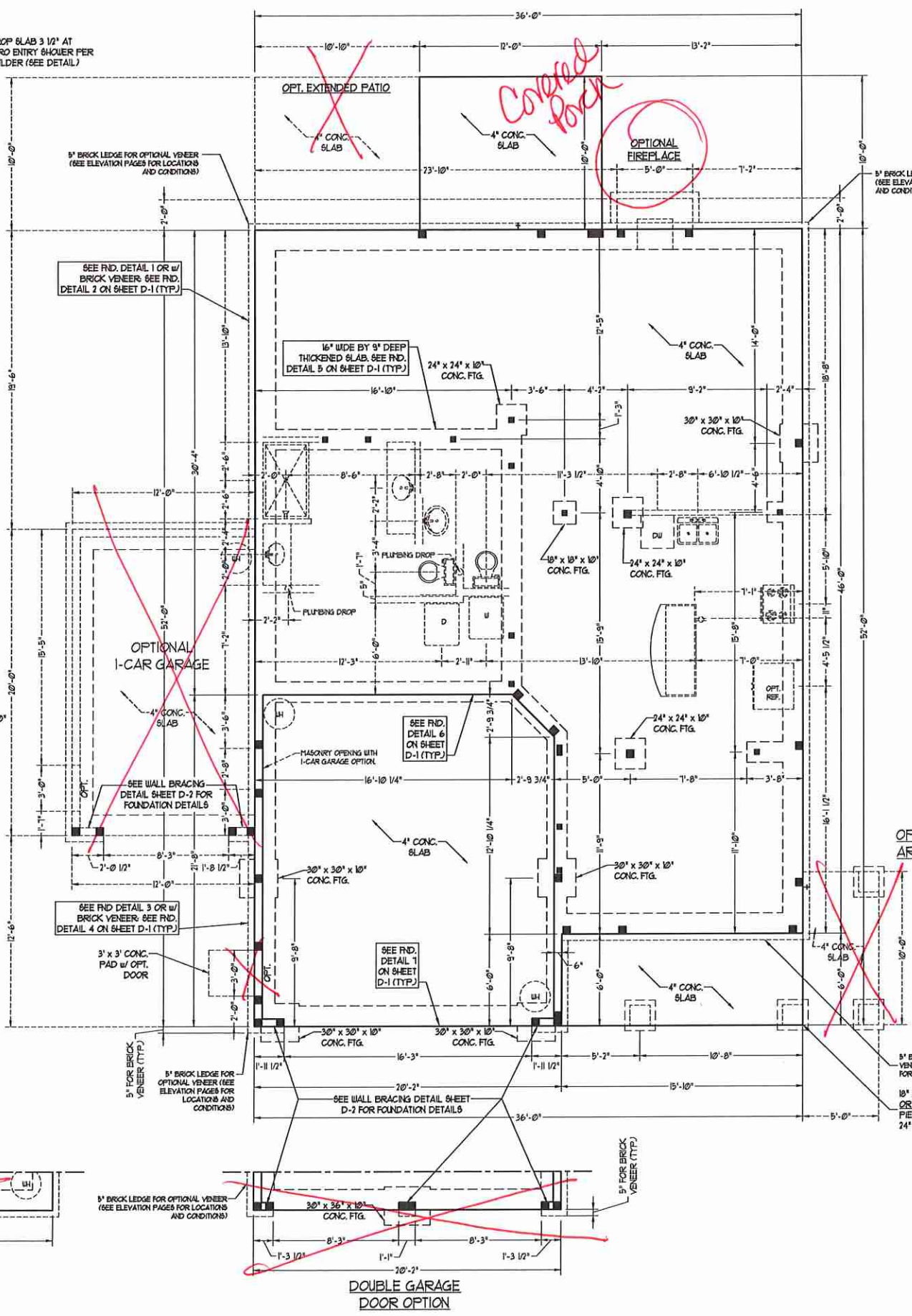
PLUMBING w/ OPTIONAL OWNER'S BATH 3



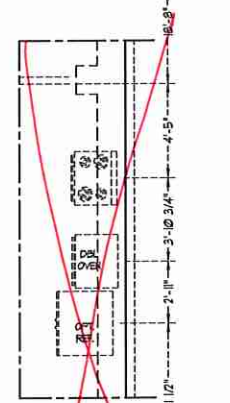
PLUMBING w/ OPTIONAL OWNER'S BATH 2



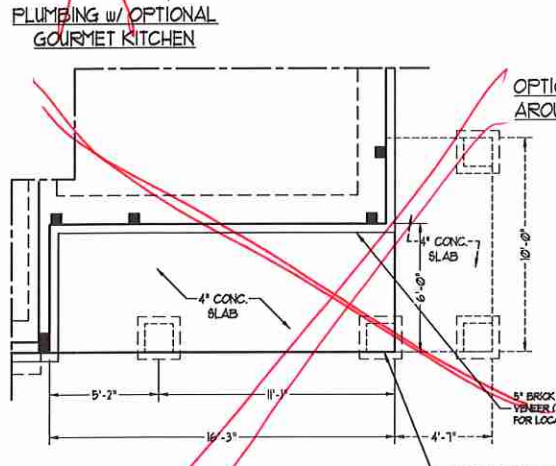
SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



OPTIONAL REAR COVERED PORCH  
*Yes No patio*



RECESSED SLAB FOR ZERO ENTRY SHOWER  
DETAIL A-A  
N.T.S.



PORCH w/ FULL BRICK OPTION

**J.S. THOMPSON ENGINEERING, INC.**  
606 WADE AVE., SUITE 104 RALEIGH, NC 27605  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO.: C-1733

JORDAN H&H HOMES, INC.

DATE: NOVEMBER 5, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
ENGINEERED BY: WFB

SEAL  
33738  
ENGINEER  
MATTHEW G. STROTHER  
11/6/2020

SHEET 1 OF 10  
S-1.1  
MONO SLAB  
FOUNDATION PLAN

**BRACED WALL DESIGN NOTES:**

- BRACED WALL DESIGN PER SECTION R602.10 OF THE NRC 2018 EDITION.
- CS-1058 REFERS TO "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 1/8" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 49 OF THE NRC 2018 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

**NOTE:**

- PER SECTION R602.10.4.6 OF THE 2018 NRC, THE AMOUNT OF BRACING REQUIRED ON THE WALK OUT BASEMENT WALLS EXCEEDS THE AMOUNT OF BRACING ON THE WALL ABOVE MULTIPLIED BY A FACTOR OF 1.5.
- SHEATH ALL EXTERIOR WALLS WITH 1/8" OSB SHEATHING ATTACHED WITH 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

**STRUCTURAL NOTES:**

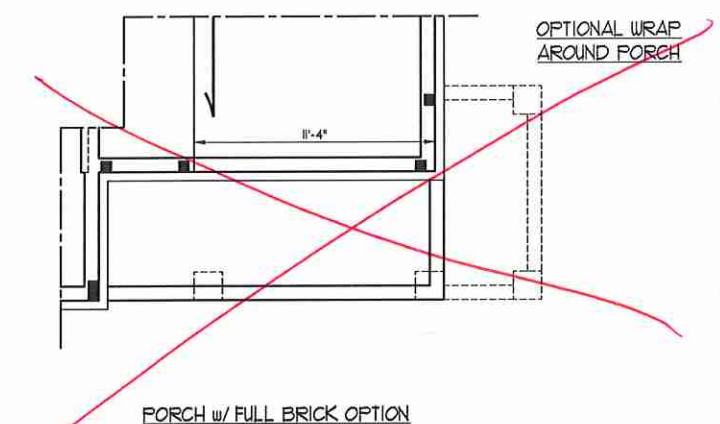
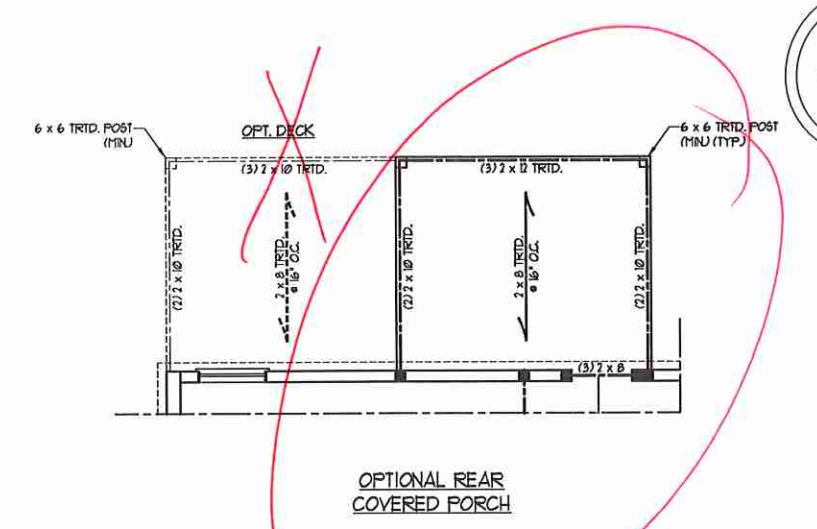
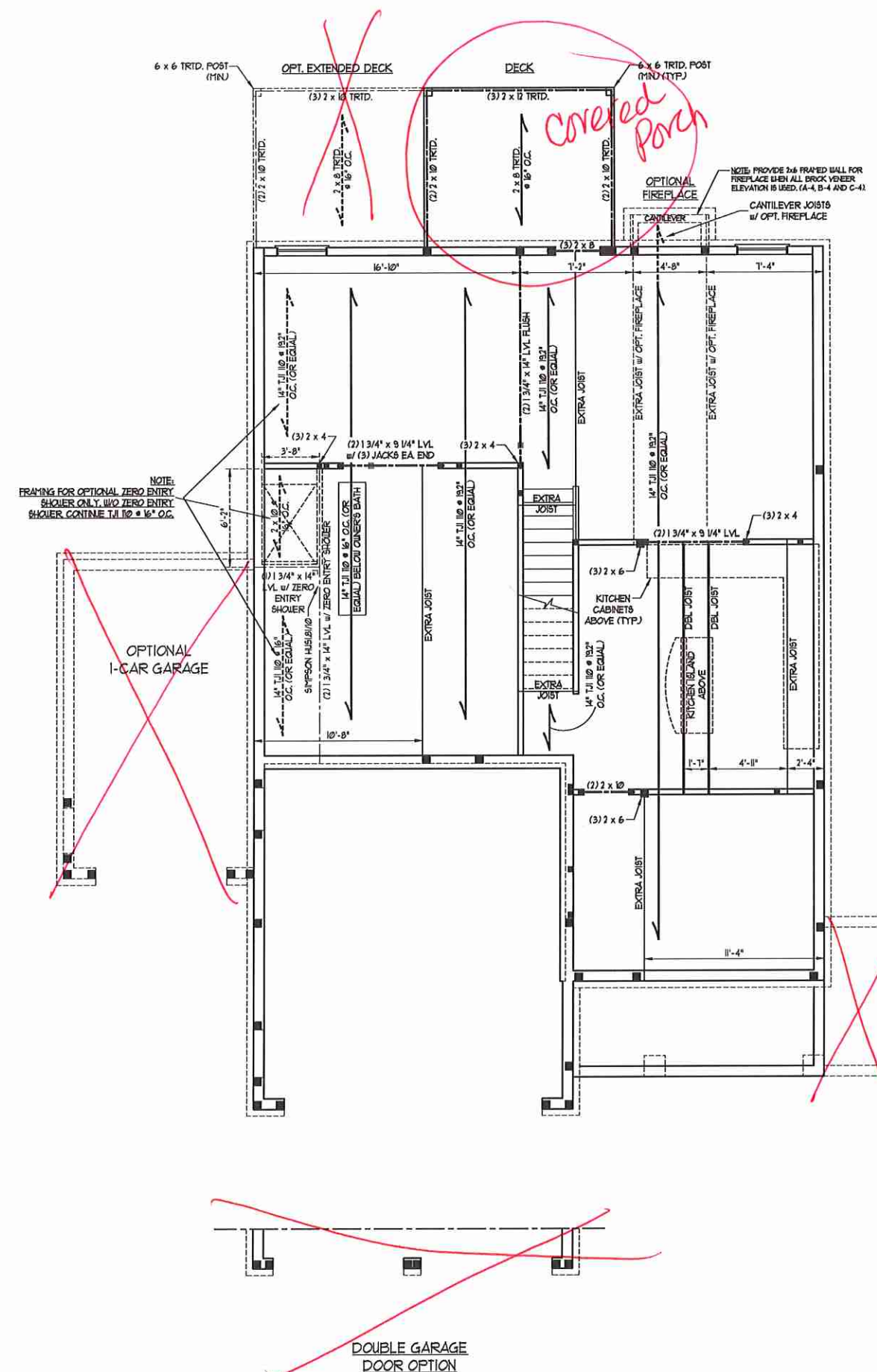
- ALL FRAMING LUMBER TO BE 2 SFF (INO).
- ALL LOAD BEARING HEADERS TO BE (3) 2 x 8 (INO).
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SUPPORT UNSPECIFIED PT. LOADS ALONG FRAMED WALLS w/ (2) STUDS (INO).
- INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
- STEP POURED FOUNDATION WALL DOWN TO 2 x 6 @ 16" O.C. STUD WALL AS GRADE PERMITS.
- ALL LOAD BEARING INTERIOR WALLS TO BE 2 x 6 @ 12" O.C. OR 2 x 6 @ 16" O.C. (INO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/8" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE GILL PLATES THEIR FULL DEPTH.
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIFPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ ABU66 POST BASES (OR EQUAL) (INO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (INO).
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENL. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

**LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT**

LENGTH (FT)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

**BRICK SUPPORT NOTES:**

- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (INO). SEE ARCH DUGS FOR SIZE AND LOCATION OF OPENINGS.
- (LLV) = LONG LEG VERTICAL.
- LENGTH = CLEAR OPENING.
- EYES ALL ANGLE IRONS MIN 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
- FOR ALL HEADERS 8"-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER w/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
- FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS w/ (4) 10d NAILS PER PLY. FASTEN 4 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.821 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
- PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.



**J.S. THOMPSON ENGINEERING, INC.**  
 608 WADE AVE., SUITE 104 RALEIGH, NC 27605  
 PHONE (919) 789-9919 FAX (919) 789-9921  
 N.C. LICENSE NO.: C1733

JORDAN H&H HOMES, INC.



DATE: NOVEMBER 5, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
 ENGINEERED BY: WTB

SHEET 5 OF 10  
**S-1.4a**  
 FIRST FLOOR FRAMING PLAN

**LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT**

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

- BRICK SUPPORT NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH. DRAWG. FOR SIZE AND LOCATION OF OPENINGS.
  - (LLV) = LONG LEG VERTICAL
  - LENGTH = CLEAR OPENING
  - EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
  - FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
  - FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (7) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 8d NAILS PER FLY. FASTEN 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.8.2.1 OF THE 2018 NCRS FOR ADDITIONAL BRICK SUPPORT INFORMATION.
  - PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

**\*NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

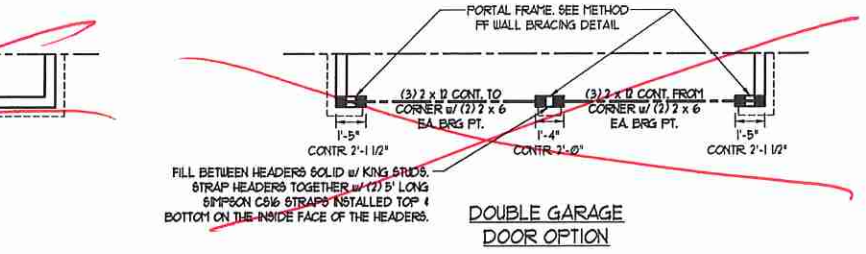
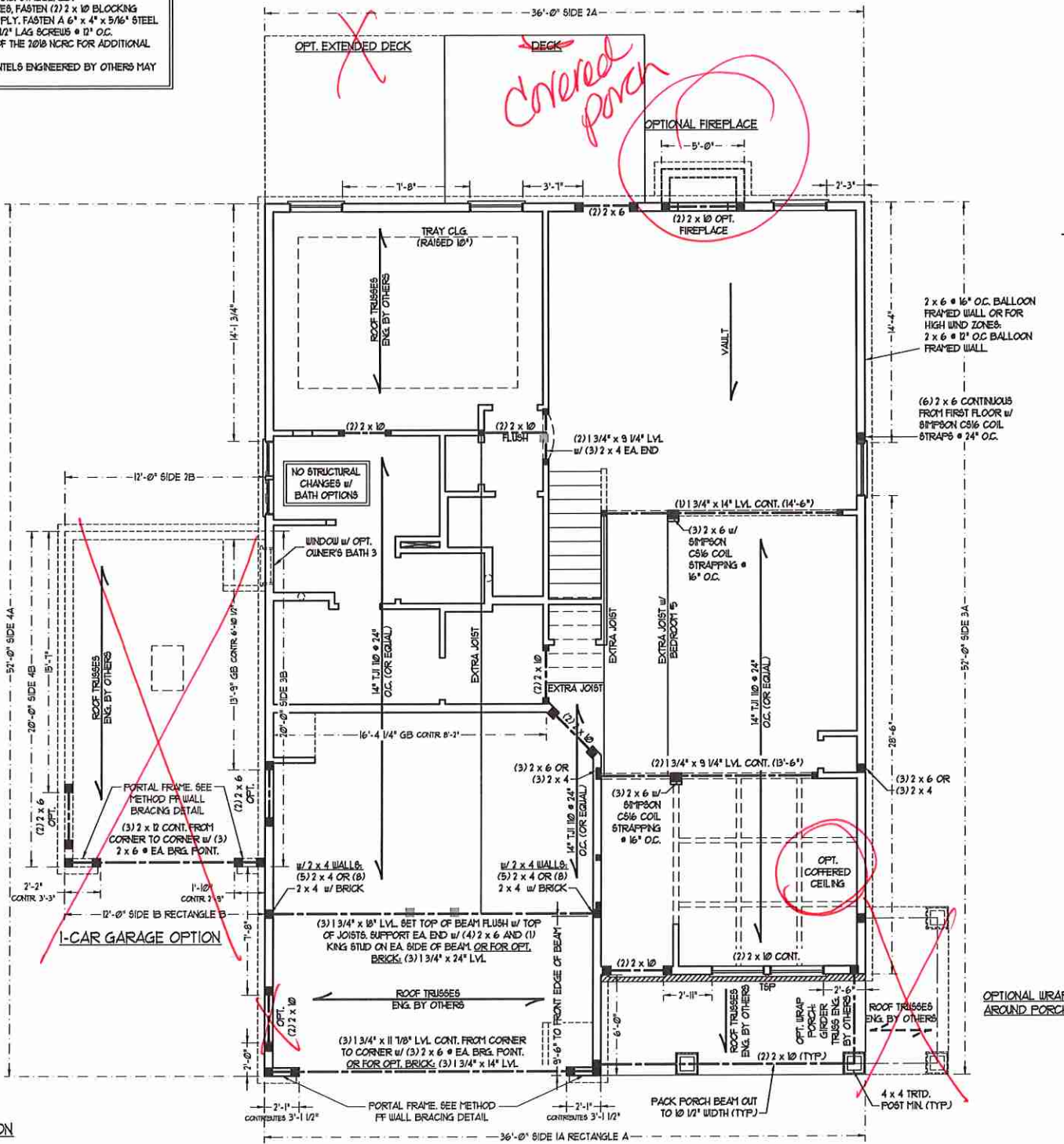
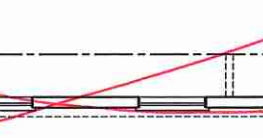
- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE SPF #1 (UNO). ALL TREATED LUMBER TO BE BTP #1 (UNO).
  - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
  - INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
  - WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.1.5 FOR ADDITIONAL KING STUD REQUIREMENTS. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
  - FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
  - FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 1" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
  - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
  - FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 7" CONN. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

\*SP# INDICATES TRIPLE STUD POCKET BETWEEN WINDOW UNITS.

**TABLE R602.1.5**  
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

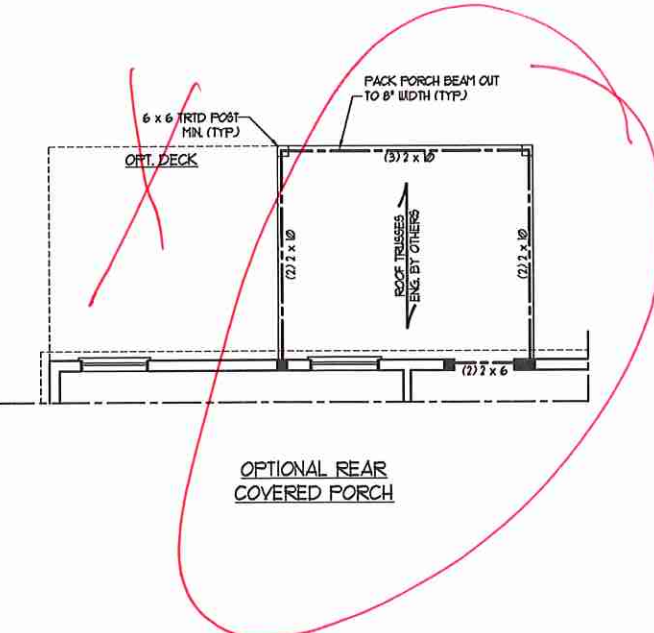
HEADER SPAN (FEET)	MAXIMUM STUD SPACINGS (INCHES) (PER TABLE R602.1.5)	
	16	24
UP TO 3'	1	1
3'	2	1
4'	3	2
5'	4	3
6'	5	4

**SIDE-LOAD GARAGE OPTION**  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



FILL BETWEEN HEADERS SOLID W/ KING STUDS. STRAP HEADERS TOGETHER W/ (2) 5" LONG SIMPSON C56 STRAPS INSTALLED TOP & BOTTOM ON THE INSIDE FACE OF THE HEADERS.

**DOUBLE GARAGE DOOR OPTION**



**BRACED WALL DESIGN**

RECTANGLE A		RECTANGLE B	
SIDE 1A (FRONT LOAD)	SIDE 1B	SIDE 2A	SIDE 2B
METHOD: C5-WSP/FRGB	METHOD: C5-WSP/FF	METHOD: C5-WSP	METHOD: C5-WSP
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'	TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'
TOTAL PROVIDED LENGTH: 19.83'	TOTAL PROVIDED LENGTH: 6'	TOTAL REQUIRED LENGTH: 16'	TOTAL PROVIDED LENGTH: 17'
SIDE 2A	SIDE 2B	SIDE 3A	SIDE 3B / SIDE 4A CUMULATIVE
METHOD: C5-WSP	METHOD: C5-WSP	METHOD: C5-WSP	METHOD: C5-WSP/FRGB
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'	TOTAL REQUIRED LENGTH: 11.4'	TOTAL REQUIRED LENGTH: 13.4'
TOTAL PROVIDED LENGTH: 16.5'	TOTAL PROVIDED LENGTH: 17'	TOTAL REQUIRED LENGTH: 48.83'	TOTAL PROVIDED LENGTH: 30.6'
SIDE 3A	SIDE 3B / SIDE 4A CUMULATIVE	SIDE 4B	SIDE 4B
METHOD: C5-WSP	METHOD: C5-WSP/FRGB	METHOD: C5-WSP	METHOD: C5-WSP
TOTAL REQUIRED LENGTH: 11.4'	TOTAL REQUIRED LENGTH: 13.4'	TOTAL REQUIRED LENGTH: 11.4'	TOTAL PROVIDED LENGTH: 2'
TOTAL PROVIDED LENGTH: 48.83'	TOTAL PROVIDED LENGTH: 30.6'	TOTAL REQUIRED LENGTH: 11.4'	TOTAL PROVIDED LENGTH: 15.58'

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R602.1.5 OF THE NCRS 2018 EDITION.
  - C5-WSP REFERS TO "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
  - GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
  - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRS 2018 EDITION.
  - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

**J.S. THOMPSON ENGINEERING, INC.**  
606 WADE AVE., SUITE 104 - RALEIGH, NC 27605  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO.: C1733

JORDAN H&H HOMES, INC.

DATE: NOVEMBER 5, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
ENGINEERED BY: WEB



SHEET 6 OF 10  
S-2  
SECOND FLOOR FRAMING PLAN

**BRACED WALL DESIGN NOTES:**

- BRACED WALL DESIGN PER SECTION R6-0210 OF THE NRC 2018 EDITION.
- CS-USP REFERS TO "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

**NOTE:**

- PER SECTION R6-0210.3.2 OF THE 2018 NRC, THE AMOUNT OF BRACING ON THE SECOND FLOOR EXCEEDS THE AMOUNT REQUIRED FOR THE FIRST FLOOR AND NO BRACED WALL ANALYSIS IS REQUIRED.
- SHEATH ALL EXTERIOR WALLS WITH 7/16" OSB SHEATHING ATTACHED WITH 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

**NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

**LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT**

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

**BRICK SUPPORT NOTES:**

- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DWS. FOR SIZE AND LOCATION OF OPENINGS.
- (LLV) = LONG LEG VERTICAL
- LENGTH = CLEAR OPENING
- EDGE ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING
- FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
- FOR ALL BRICK SUPPORT = ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 10d NAILS PER PLY. FASTEN 4 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R10-021 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
- PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

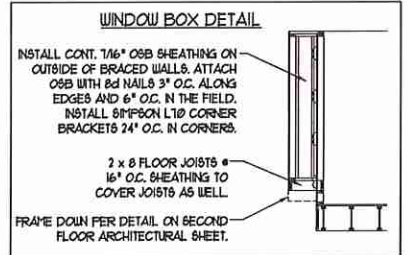
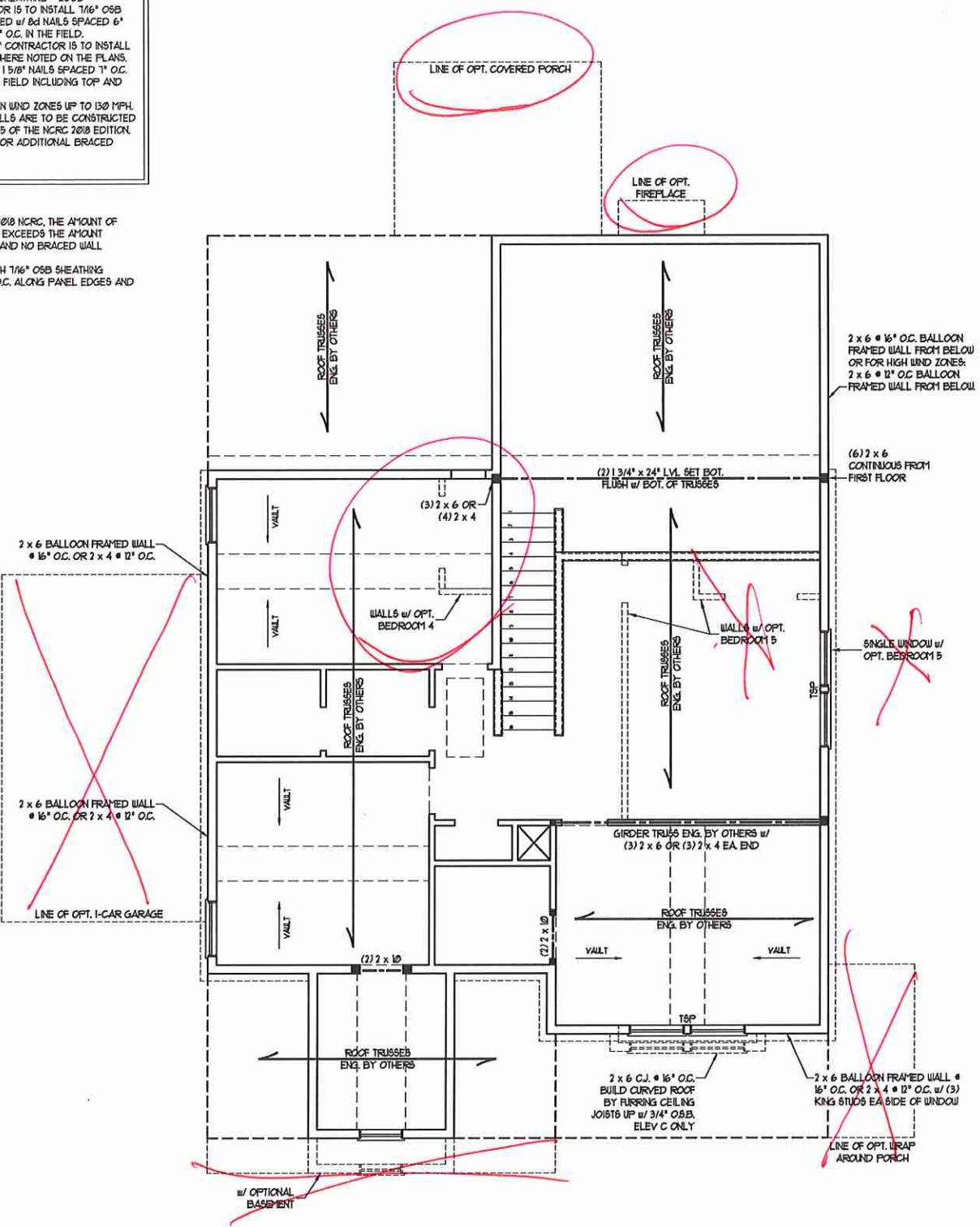
**STRUCTURAL NOTES:**

- ALL FRAMING LUMBER TO BE SPF # (UNO). ALL TREATED LUMBER TO BE SYP # (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R6-0215 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 7/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

\*TSP\* INDICATES TRIPLE STUD POCKET BETWEEN WINDOW UNITS.

**TABLE R6-0215**  
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES) (PER TABLE R6-0215)	
	16	24
UP TO 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4



**J.S. THOMPSON ENGINEERING, INC.**  
606 WADE AVE., SUITE 104 - RALEIGH, NC 27605  
PHONE: (919) 789-9919 - FAX: (919) 789-9921  
N.C. LICENSE NO.: C-1733

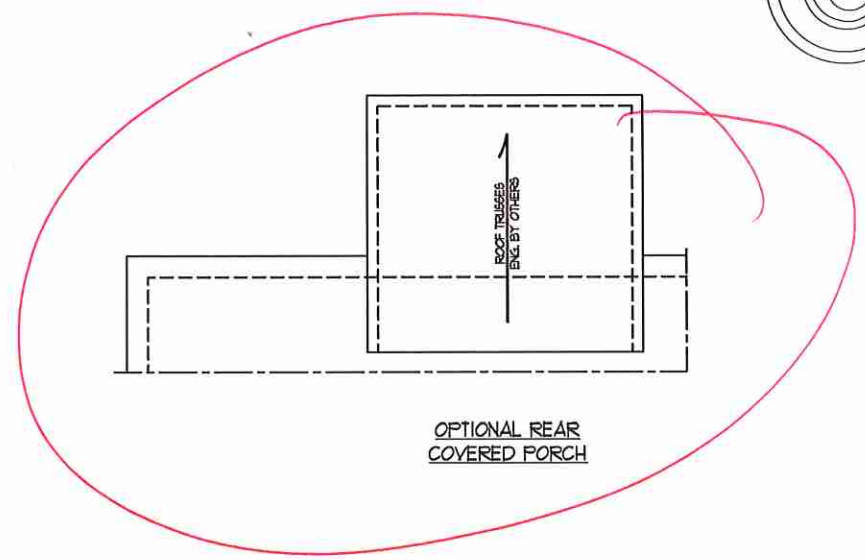
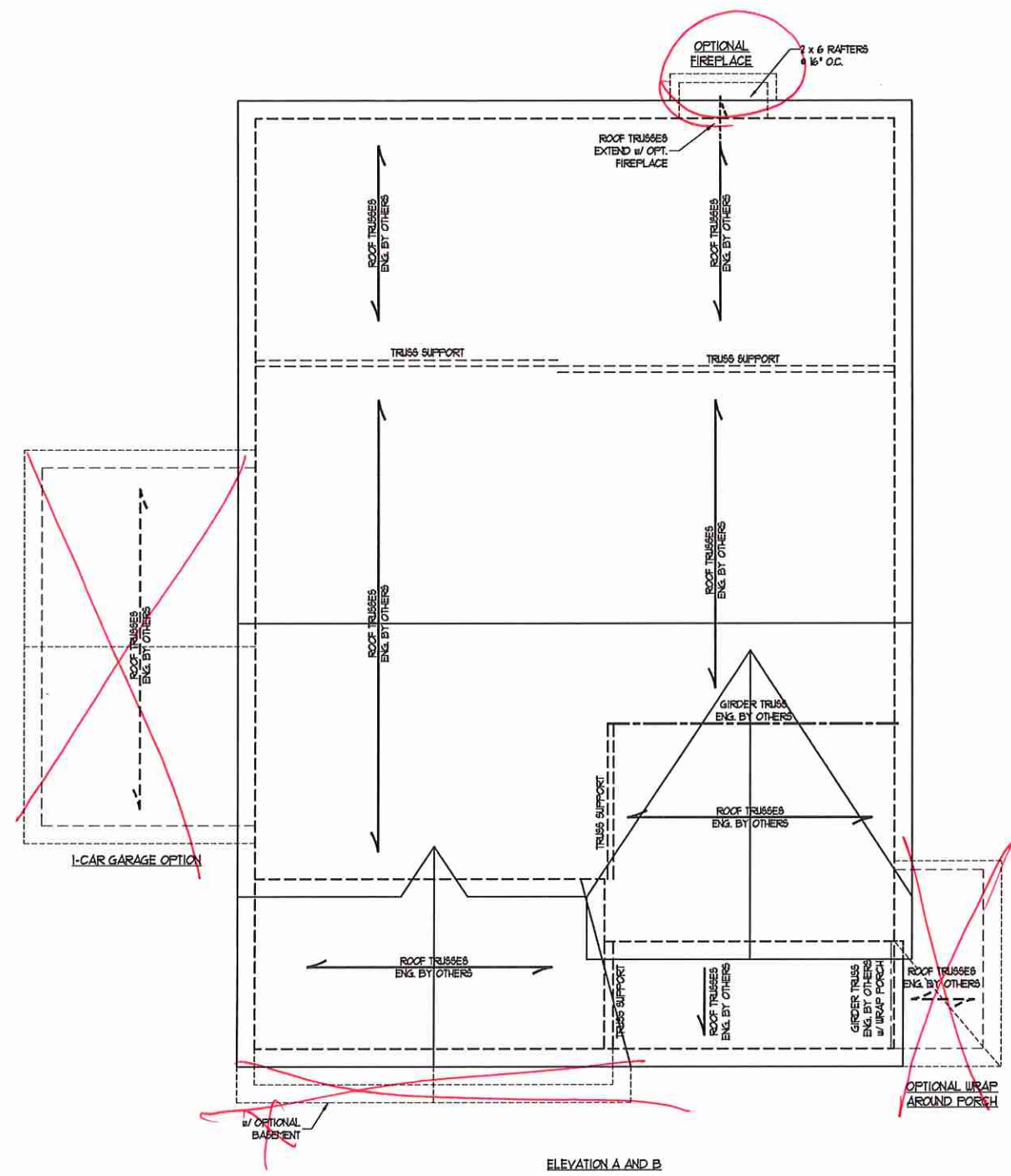
**JORDAN H&H HOMES, INC.**



DATE: NOVEMBER 5, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
ENGINEERED BY: WFB

SHEET 8 OF 10  
S-3  
CEILING FRAMING PLAN

11/6/2020



**BRICK SUPPORT NOTE:**

1. FASTEN (2) 2 x 10 BLOCKING BETWEEN WALL STUDS w/ (4) 1/2" NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS @ 24" O.C. STAGGERED. SEE SECTION R103.821 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
2. WHERE ROOF SLOPES EXCEED 1:10, INSTALL 3" x 3" x 1/4" STEEL PLATE STOPS AT 24" O.C. PER SECTION R103.821 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

**STRUCTURAL NOTES:**

1. ALL FRAMING LUMBER TO BE #2 SFF (NO).
2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
4. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 1/2" NAILS @ 16" O.C. (TYP.)
5. STICK FRAME OVER-FRAMED ROOF SECTIONS w/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H25A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 1/2" TOE NAILS.
7. REFER TO SECTION R802.1 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

**J.S. THOMPSON ENGINEERING, INC.**  
 608 WADE AVE., SUITE 104 RALEIGH, NC 27605  
 PHONE (919) 789-9919 FAX (919) 789-9921  
 N.C. LICENSE NO.: C11733

JORDAN H&H HOMES, INC.

DATE: NOVEMBER 5, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
 ENGINEERED BY: WEB

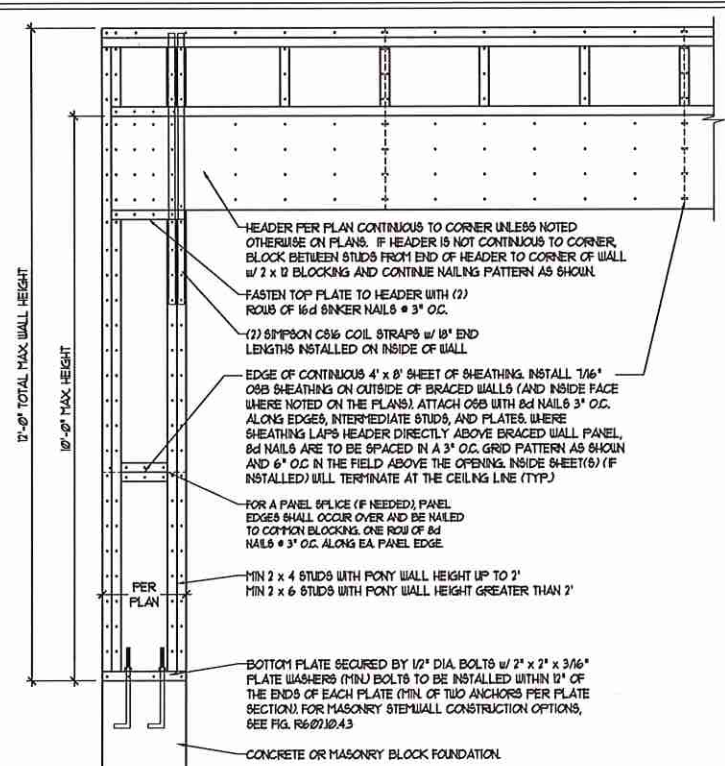


SHEET 9 OF 10  
**S4a**  
 ROOF FRAMING PLAN

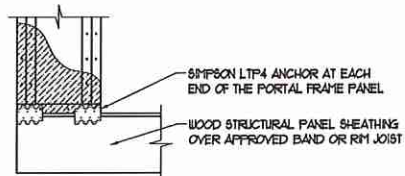
11/6/2020

### GENERAL WALL BRACING NOTES:

1. WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NRC) TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NRC.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
4. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-USP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED, WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R602.3.3. METHOD GB TO BE FASTENED PER TABLE R602.10.1.
6. CS-USP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL" WALL BRACING METHOD. 1/4" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.13" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
7. GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS - SPACED 1" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UNO). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R602.3.3. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3.1. EXTERIOR GB TO BE INSTALLED VERTICALLY.
8. REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-USP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 TIMES ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 15 TIMES ITS ACTUAL LENGTH.

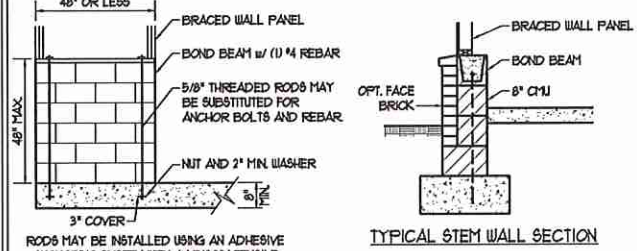
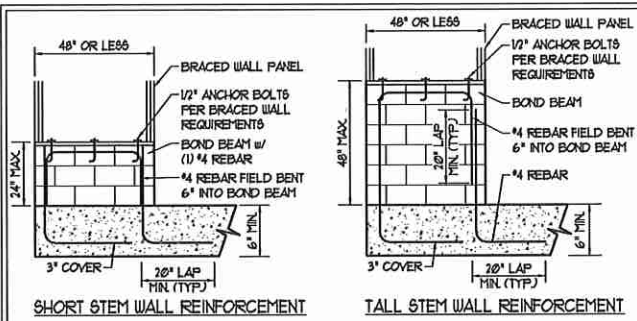


OVER CONCRETE OR MASONRY BLOCK FOUNDATION

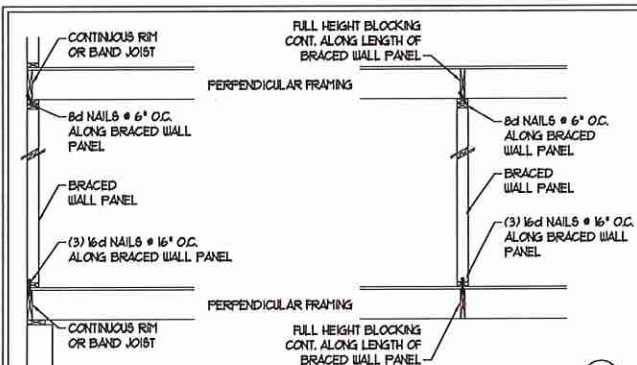


OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION  
 \* APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRAWL SPACE AND ABOVE FRAMED BASEMENT WALLS \*

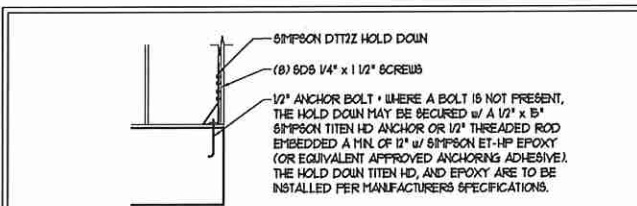
METHOD PF-PORTAL FRAME DETAIL ①



NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS  
 MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS ②  
 PER FIGURE R602.10.4.3

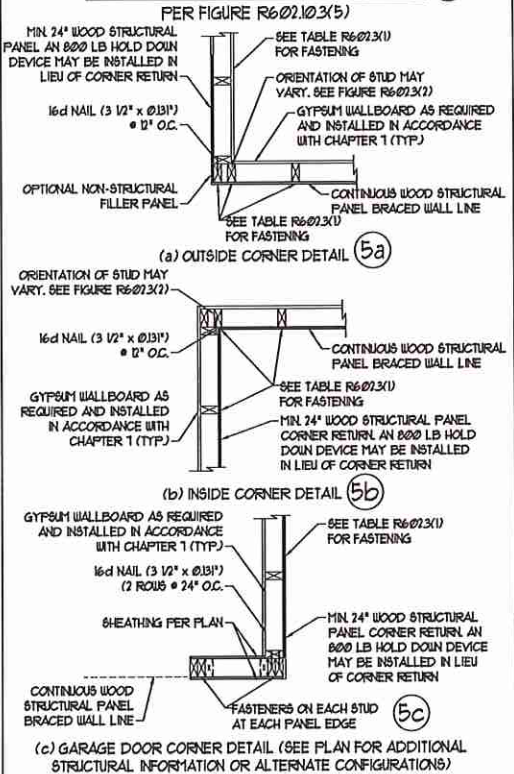


BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING ③  
 PER FIGURE R602.10.4.4(1)

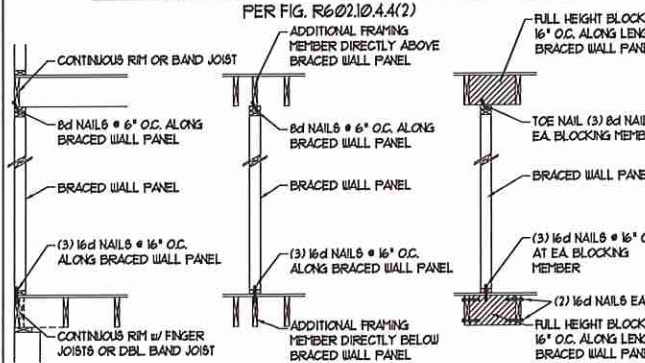


HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④  
 \* APPLICABLE ONLY WHERE SPECIFIED ON PLAN \*

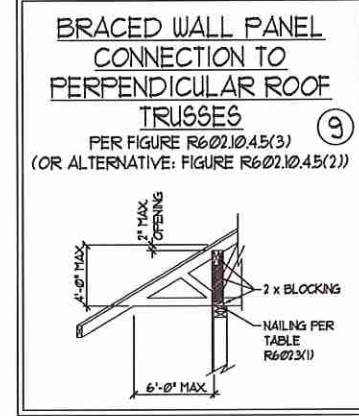
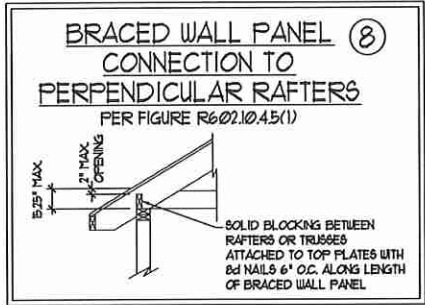
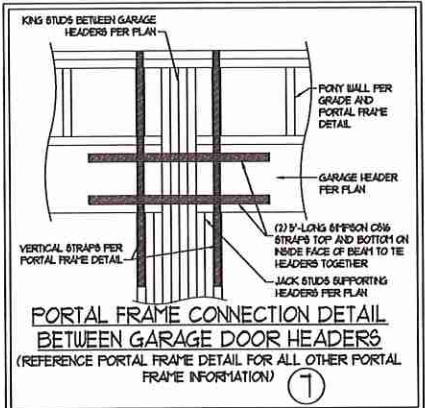
### TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING ⑤



### BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑥



This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23



11/6/2020

**J.S. THOMPSON ENGINEERING, INC.**  
 606 WADE AVE., SUITE 104 RALEIGH, NC 27605  
 PHONE: (919) 789-9919 FAX: (919) 789-9921  
 N.C. LICENSE NO. C1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
 WALL BRACING NOTES AND DETAILS

DATE: NOVEMBER 14, 2018  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: JST  
 ENGINEERED BY: JST

D-2  
 BRACED WALL NOTES AND DETAILS AND PF DETAIL

**GENERAL NOTES**

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
  - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC) 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
  - STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 - R301.7)
- | DESIGN CRITERIA:   | LIVE LOAD (PSF)    | DEAD LOAD (PSF) | DEFLECTION (IN)                   |
|--|--------------------|-----------------|-----------------------------------|
| ATTIC WITH LIMITED STORAGE                                     | 20                 | 10              | L/140 (L/360 w/ BRITTLE FINISHES) |
| ATTIC WITHOUT STORAGE  | 10                 | 10              | L/360                             |
| DECKS  | 40                 | 10              | L/360                             |
| EXTERIOR BALCONIES   | 40                 | 10              | L/360                             |
| FIRE ESCAPES   | 40                 | 10              | L/360                             |
| HANDRAILS/GUARDRAILS   | 200 LB OR 50 (FLF) | 10              | L/360                             |
| PASSENGER VEHICLE GARAGE                                       | 50                 | 10              | L/360                             |
| ROOMS OTHER THAN SLEEPING ROOM                                 | 40                 | 10              | L/360                             |
| SLEEPING ROOMS   | 30                 | 10              | L/360                             |
| STAIRS   | 40                 | 10              | L/360                             |
| WIND LOAD<br>(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE) |                    |                 |                                   |
| GROUND SNOW LOAD: P <sub>g</sub>                               | 20 (PSF)           |                 |                                   |
- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480  
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 15 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.16 OF THE NCRC, 2018 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 450.4 OF THE NCRC, 2018 EDITION.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE NCRC, 2018 EDITION.

**FOOTING AND FOUNDATION NOTES**

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NCRC, 2018 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SALED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NCRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A603 GRADE 60, WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/11/15 402. MORTAR SHALL CONFORM TO ASTM C210.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NCRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCHA TR68-A OR ACE 530/ASCE 5/11/15 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1X(1), R404.1X(2), R404.1X(3), OR R404.1X(4) OF THE NCRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1X(5) OF THE NCRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23

**FRAMING NOTES**

- ALL FRAMING LUMBER SHALL BE 2" OFF MINIMUM (Fb = 675 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE 2" 5YR MINIMUM (Fb = 575 PSI, Fv = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2375 PSI, Fv = 310 PSI, E = 1900000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2300 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
  - A. W AND WT SHAPES: ASTM A992
  - B. CHANNELS AND ANGLES: ASTM A36
  - C. PLATES AND BARS: ASTM A36
  - D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
  - E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
  - A. WOOD FRAMING: (2) 1/2" DIA. x 4" LONG LAG SCREWS
  - B. CONCRETE: (2) 1/2" DIA. x 4" WEDGE ANCHORS
  - C. MASONRY (FULLY GROUTED): (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROUS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROUS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROUS OF 3/16" DIAMETER HOLES @ 16" O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.1(1) AND R602.1(2) OF THE NCRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO) WHICHEVER IS GREATER. ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) #4 NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.15 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) #4 NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROUS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R103.0(2) OF THE NCRC, 2018 EDITION.
- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROUS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON 145 OR L182 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON C916 COIL STRAPPING WITH (8) #4 HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIN STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.



**J.S. THOMPSON ENGINEERING, INC.**  
600 WADE AVE., SUITE 104 RALEIGH, NC 27605  
PHONE: (919) 789-9919 FAX: (919) 789-9921  
N.C. LICENSE NO. C1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
STANDARD STRUCTURAL NOTES

DATE: NOVEMBER 14, 2018  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JES  
ENGINEERED BY: JST

S0  
STRUCTURAL NOTES