



RIGHT ELEVATION

SCALE: 1" = 1/4"

NOTICE TO CONTRACTOR:
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

09/28/2021


LEFT ELEVATION

SCALE: 1" = 1/4"

ELEVATION NOTES:
GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO THIS OR ANY OTHER LOT. THEY ARE FOR DIAGRAMMATIC PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.

ROOF VENTILATION TO BE DETERMINED BY BUILDER AS PER CODE.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN. NET CLEAR OPENING OF 4.0 SQ FT. THE MIN NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 22". THE MIN NET CLEAR OPENING WIDTH SHALL BE 20".

EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE A SILL HIGHT OF NO MORE THAN 44" FROM THE FLOOR. ALL WINDOW SIZES ARE NOMINAL AND ARE TO BE VERIFIED WITH MANUFACTURER FOR AVAILABILITY AND CONFORMITY TO STATE AND LOCAL CODE REQUIREMENTS.

PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 32" IN HEIGHT.

I ASSUME NO RESPONSIBILITY FOR ANY DISTANCES AFTER START OF CONSTRUCTION. CONTRACTOR/BUILDER SHALL CONSULT WITH HOME OWNER ON ALL INTERIOR AND EXTERIOR MOLDINGS, TRIMS, COLORS, FINISHES, CABINET LAYOUTS, AND MANUFACTURERS BEFORE CONSTRUCTION BEGINS. ALL BEAMS AND FRAMING MEMBERS ARE SIZED BY OTHERS.

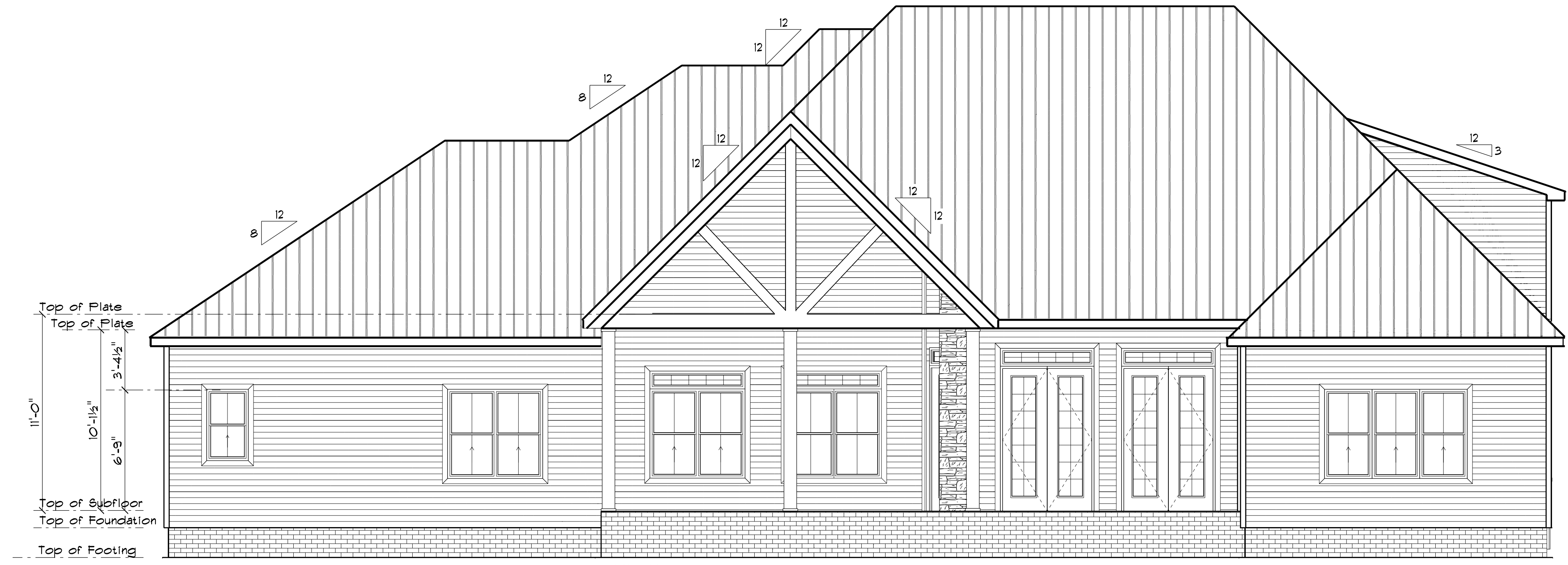
1.1 This plan has been drawn to comply with the 2018 NC Building Code

- 1.2 Minimum Design Loads for Building and Other Structures ASCE 7-9B
- 2 Roof Dead Load 15 P&F
 - 3 Roof Live Load 20 P&F
 - 4 Typical Floor Dead Load 10 P&F
 - 5 Floor Live Loads
 - 5.1 Rooms other than sleeping rooms 40 P&F
 - 5.2 Sleeping Rooms 30 P&F
 - 5.3 Stairs 40 P&F
 - 5.4 Decks 40 P&F
 - 5.5 Exterior Balconies 60 P&F
 - 6 Wind Loads
 - 6.1 Ultimate Design Wind Speeds 15 MPH
 - 6.2 Wind Importance Factor, I_w 1.00
 - 6.3 Exposure B
 - 6.4 Walls (Component and Cladding) 25 P&F
 - 6.5 Roofs (Component and Cladding)
 - 6.5.1 Roof Slopes 2.25/12 to 7/12 34.8 P&F
 - 6.5.2 Roof Slopes 7/12 to 12/12 21 P&F

It is the sole responsibility of the Contractor and/or Builder to conform to all standards, provisions, requirements, methods of construction and uses of materials provided in buildings and/or structures as required by NC Uniform Building Code, Local Agencies and in accordance with good engineering practices. Verify all dimensions prior to construction.



FRONT ELEVATION
SCALE: 1" = 1/4"



REAR ELEVATION
SCALE: 1" = 1/4"

TYPICAL WALL: BRICK 4" BLOCK W/ 1/6" X 10" FOOTING
 8" BLOCK W/16" X 10" FOOTING
 (3)- 2 X 10'S GIRDER
 2 X 10'S 16" OC JOIST
 (2)- 2 X 10'S DBL JOIST

FOUNDATION NOTES:
 ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL.
 THE 28 DAY COMPRESSIVE STRENGTH OF ALL FOOTINGS IS 3000 PSI

PROVIDE WATER PROOFING AND PERIMETER DRAINS AS REQUIRED.

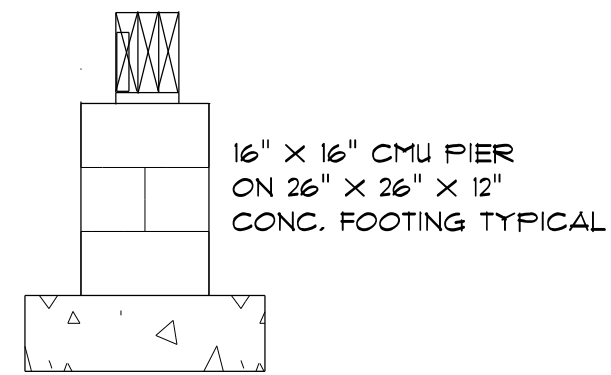
FOUNDATION CONCRETE MIX TO HAVE 1-1/2" MAX AGGREGATE SIZE. CONCRETE FILL MIX TO HAVE 1/2" MAX AGGREGATE SIZE.

FOOTING WIDTHS ARE BASED ON A LOAD-BEARING SOIL CAPACITY OF 2000 PSI.

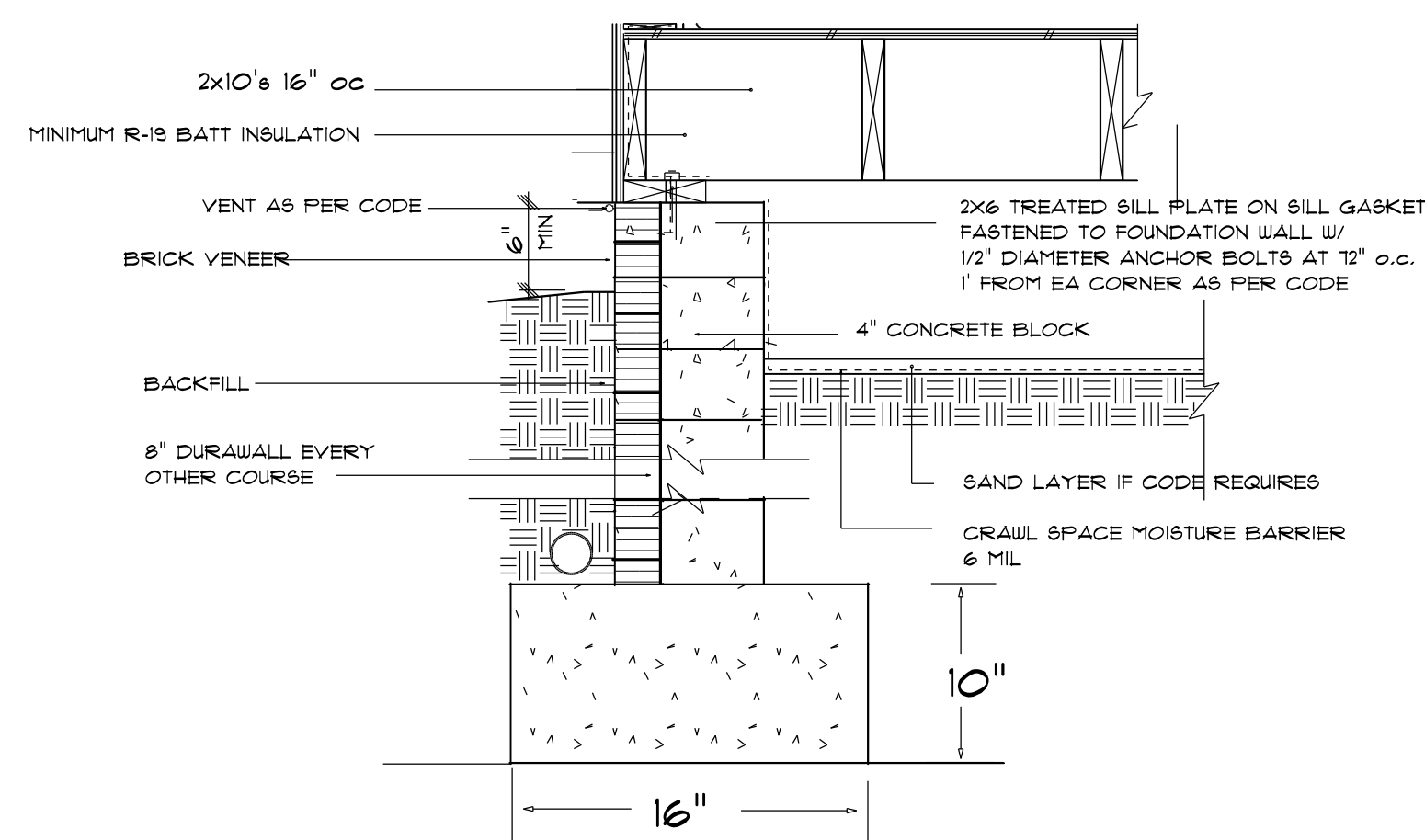
PROVIDE 6 MIL POLY VAPOR BARRIER TO COVER GROUND SURFACE IN CRAWL SPACE

ALL ANCHOR BOLTS TO BE 12" LONG, 1/2" DIA. A36 UNO ANCHOR BOLTS SHALL BE SPACED AT A MAX OF 6' OC AND NO MORE THAN 1' FROM EA CORNER.

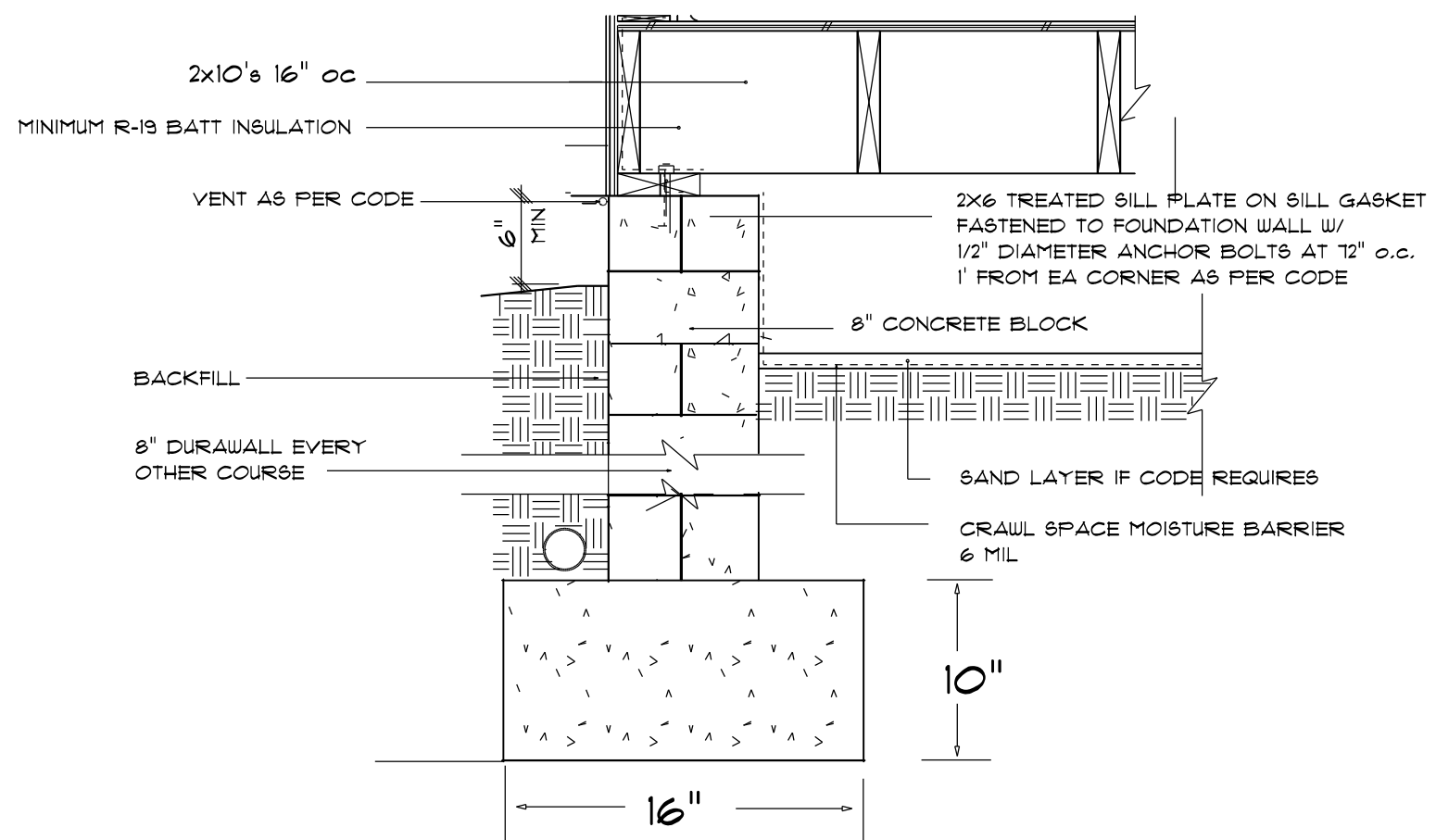
Termite Soil Treatment: Treat entire slab area soil or crawl space surface before vapor barrier is installed and slab is poured with a state approved termiticide. Termiticide should be applied by a licensed and certified pest control professional by the state of North Carolina.



CONCRETE BLOCK PIER DETAIL
 NOT TO SCALE

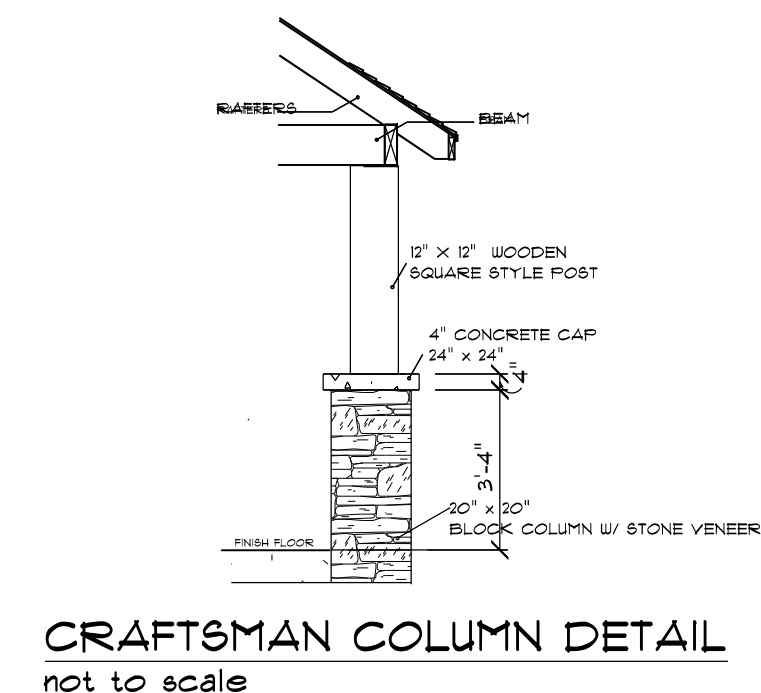
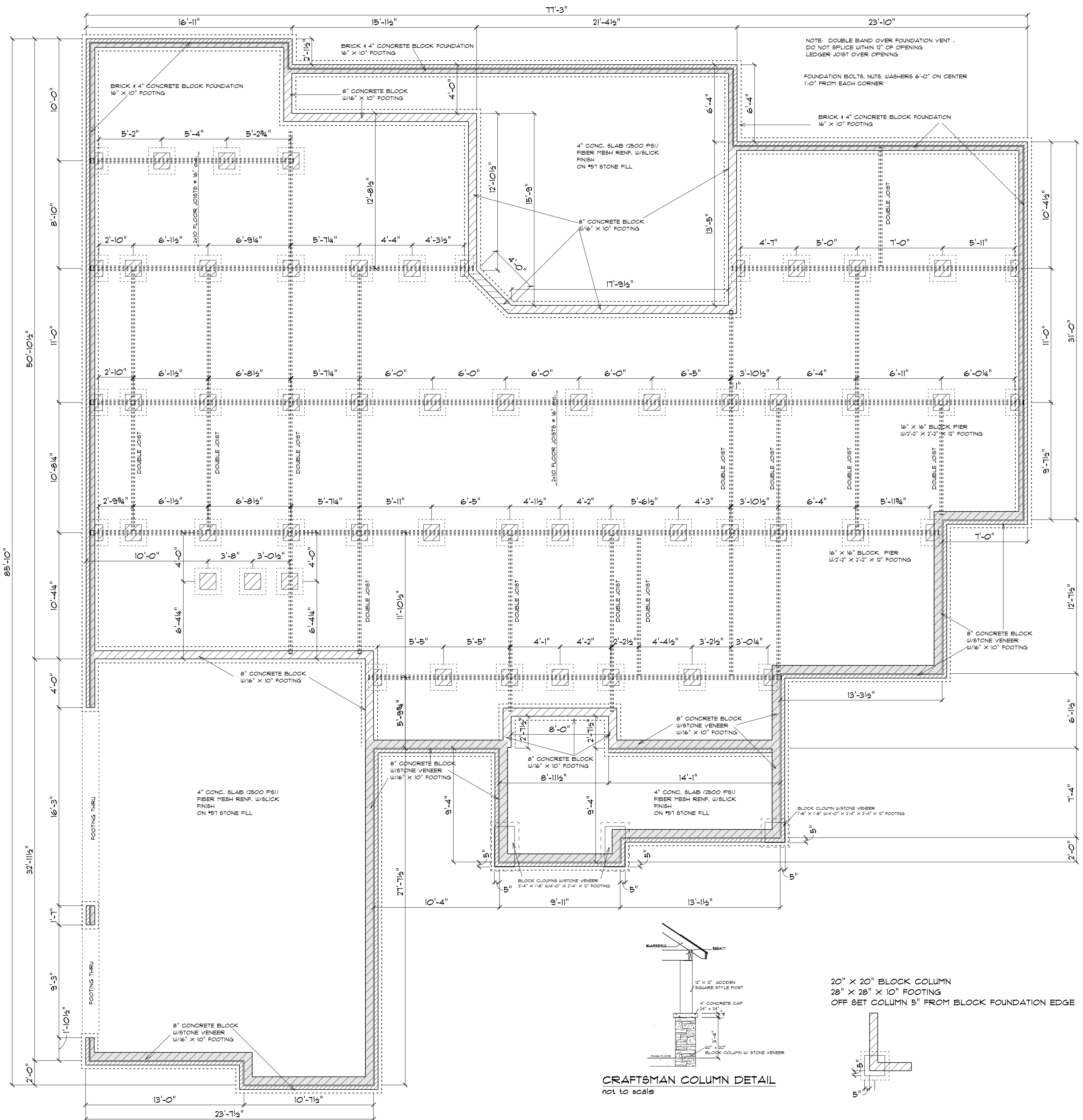


FOOTING & FOUNDATION DETAIL
 not to scale

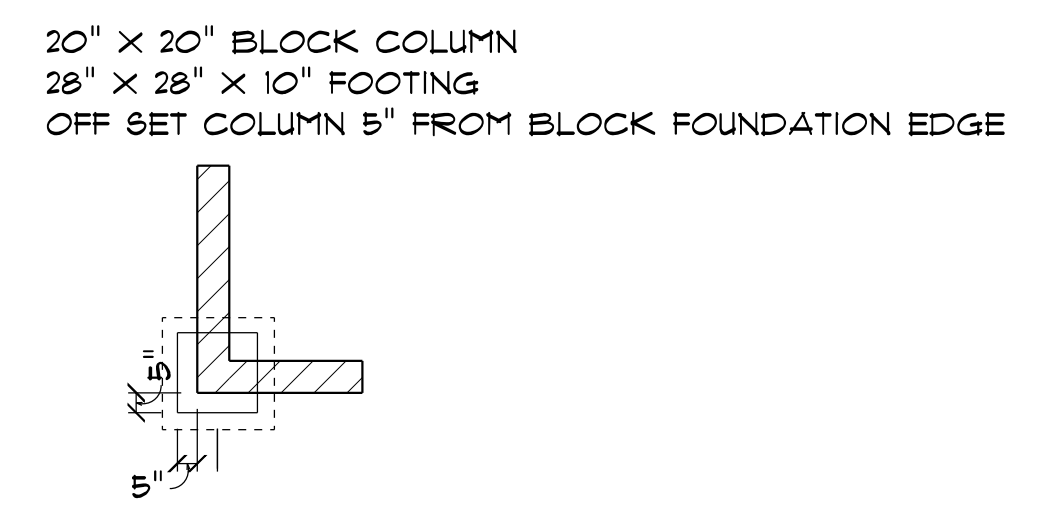


FOOTING & FOUNDATION DETAIL
 not to scale

FOUNDATION PLAN
 SCALE: 1" = 1/4"



CRAFTSMAN COLUMN DETAIL
 not to scale



20" X 20" BLOCK COLUMN
 28" X 28" X 10" FOOTING
 OFF SET COLUMN 5" FROM BLOCK FOUNDATION EDGE

PAGE #: 3A

Diane Rivers Designs
 6205 Mockingbird Lane
 Sanford, N.C. 27332
 919-710-0353
 g@dieneriversdesigns.net

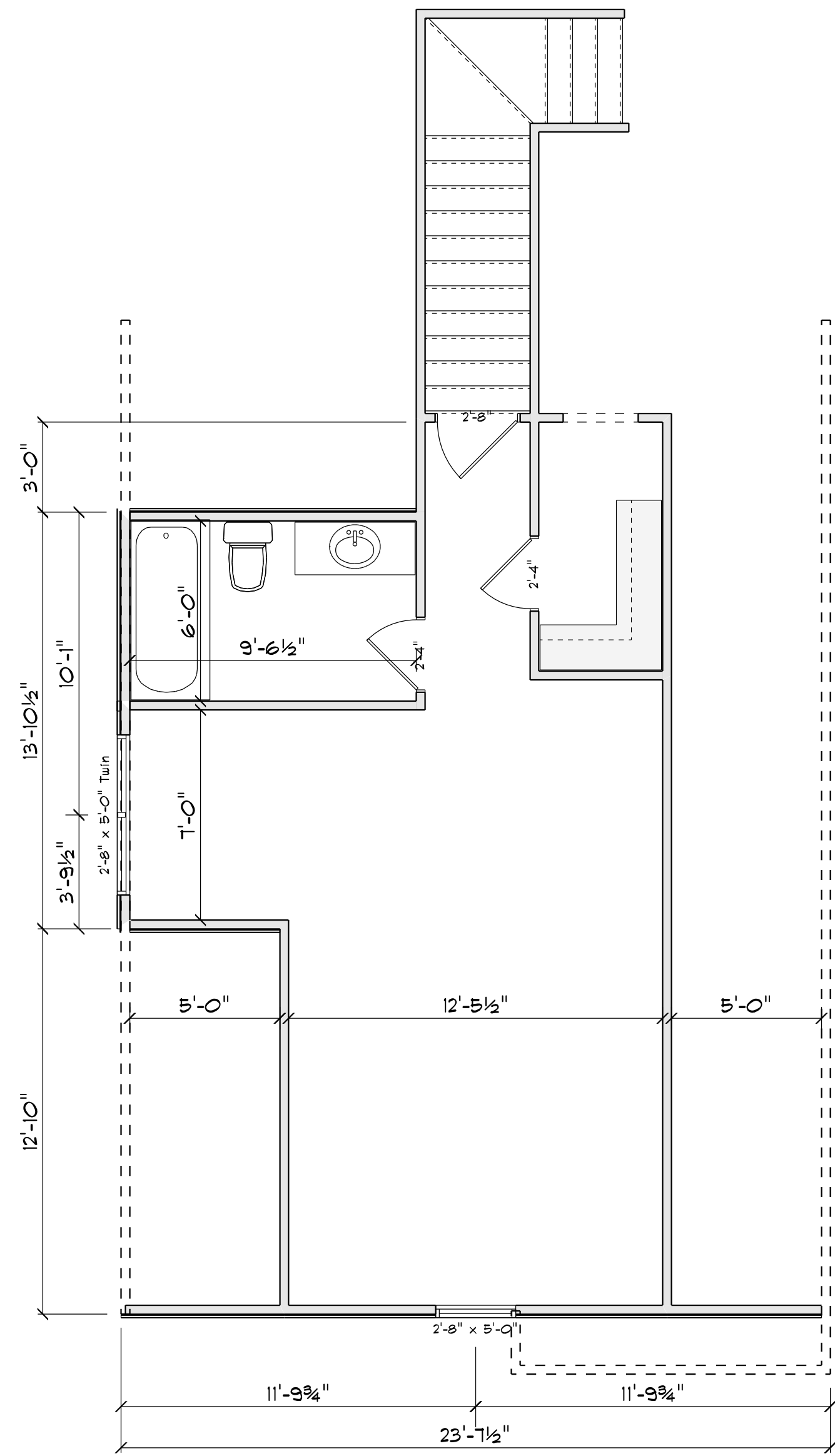
DRD

SCALE: 1" = 1/4"
 DRAWN BY:
 DATE: 9/31/2021

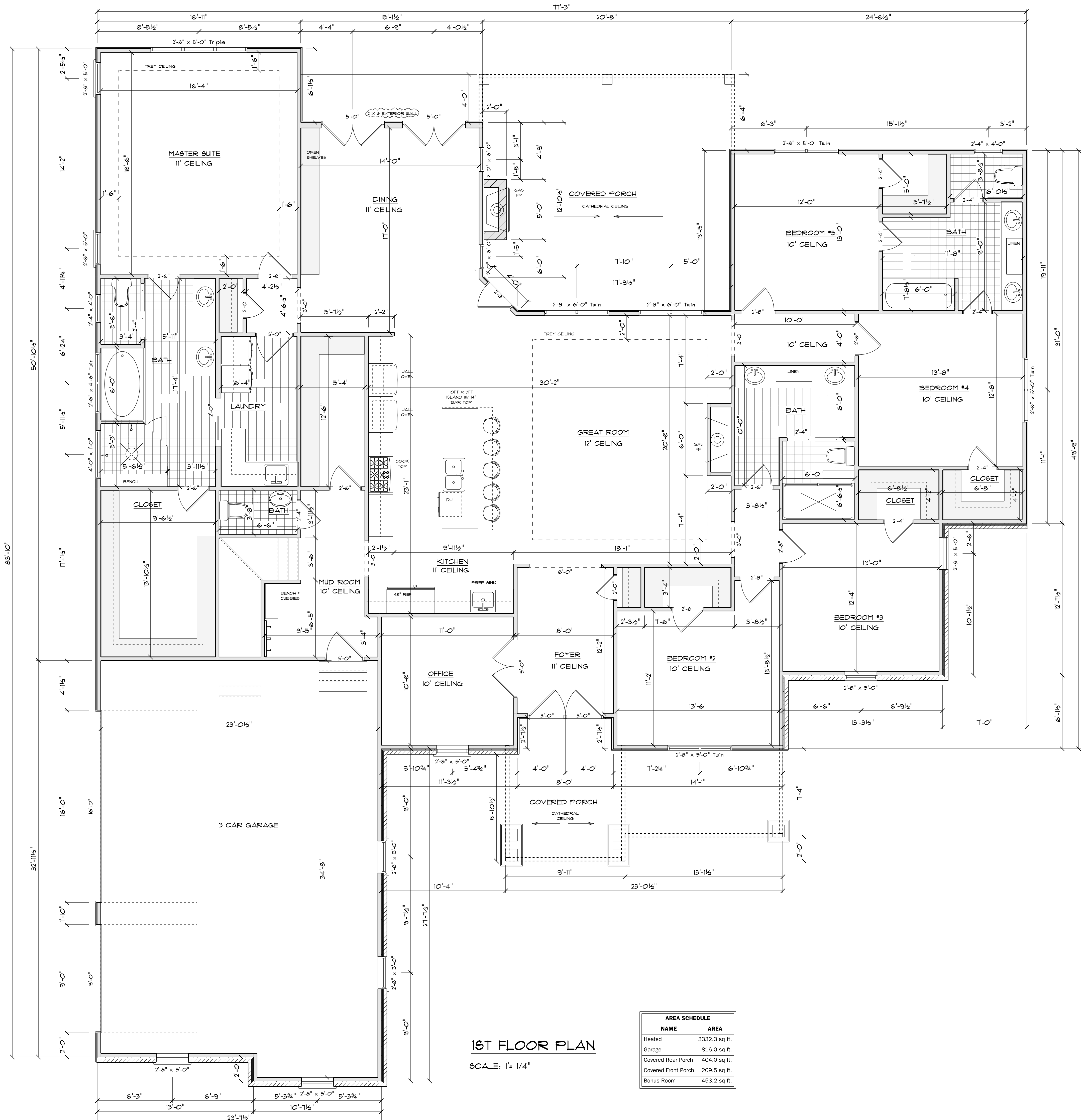
CUSTOM HOUSE PLAN FOR:
 RANDY & TIFANE CHAMBERS

CRAWL SPACE
 FOUNDATION
 PLAN

OPENING SCHEDULE			
SIZE	HINGE	COUNT	LIBRARY NAME
3'-0"	R	1	Exterior Door/Colonial
2'-8"	NA	1	Exterior Door/Tall Exterior Door/French
5'-0"	NA	2	Exterior Door/Tall Exterior Door/French
16'-0"	U	1	Garage/Tall Garage
9'-0"	U	1	Garage/Tall Garage
2'-0"	L	1	Interior Door/Colonial
2'-0"	R	1	Interior Door/Colonial
2'-4"	L	6	Interior Door/Colonial
2'-4"	R	1	Interior Door/Colonial
2'-6"	L	3	Interior Door/Colonial
2'-6"	R	2	Interior Door/Colonial
2'-8"	L	4	Interior Door/Colonial
2'-8"	R	1	Interior Door/Colonial
3'-0"	L	1	Interior Door/Colonial
5'-0"	LR	1	Interior Door/French
2'-0"	N	1	Interior Door/Pocket
2'-4"	N	2	Interior Door/Pocket
2'-4"	R	1	Interior Door/Shower
3'-0"	NA	2	Manufacturer/Therma-Tru/American Style Collection
1'-0" x 2'-0"	N	1	Vent
2'-4" x 4'-0"	U	2	Window/Single Hung
2'-0" x 4'-0"	U	1	Window/Single Hung
2'-0" x 6'-0"	NA	2	Window/Single Hung
2'-8" x 5'-0" Triple	U	1	Window/Single Hung
2'-8" x 5'-0"	U	12	Window/Single Hung
2'-8" x 6'-0" Twin	NA	2	Window/Single Hung
2'-8" x 5'-0" Twin	UU	3	Window/Single Hung
2'-6" x 4'-6" Twin	UU	1	Window/Single Hung
4'-0" x 1'-0"	N	1	Window/Transom



BONUS ROOM
SCALE: 1" = 1/4"



1ST FLOOR PLAN
SCALE: 1" = 1/4"

AREA SCHEDULE	
NAME	AREA
Heated	3332.3 sq. ft.
Garage	816.0 sq. ft.
Covered Rear Porch	404.0 sq. ft.
Covered Front Porch	209.5 sq. ft.
Bonus Room	453.2 sq. ft.

4A

Diane Rivas Design
6425 Hicklingford Lane
Dallas, TX 75231
972.710.0353
gr@diarivas.com

DRD

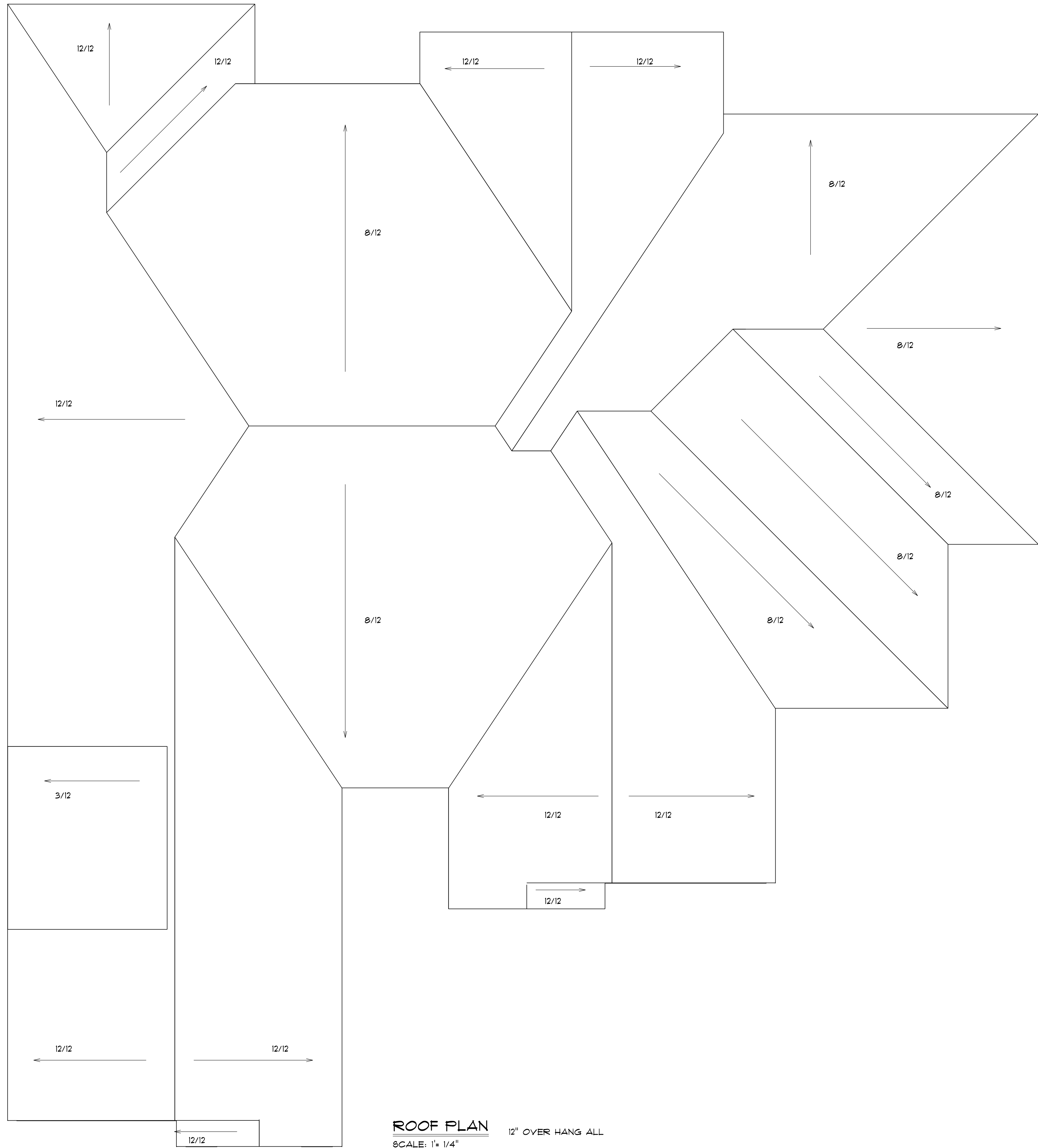
SCALE: 1" = 1/4"
DRAWN BY:
DATE: 3/8/2021

CUSTOM HOUSE PLAN FOR:
RANDY & TIFFANE CHAMBERS

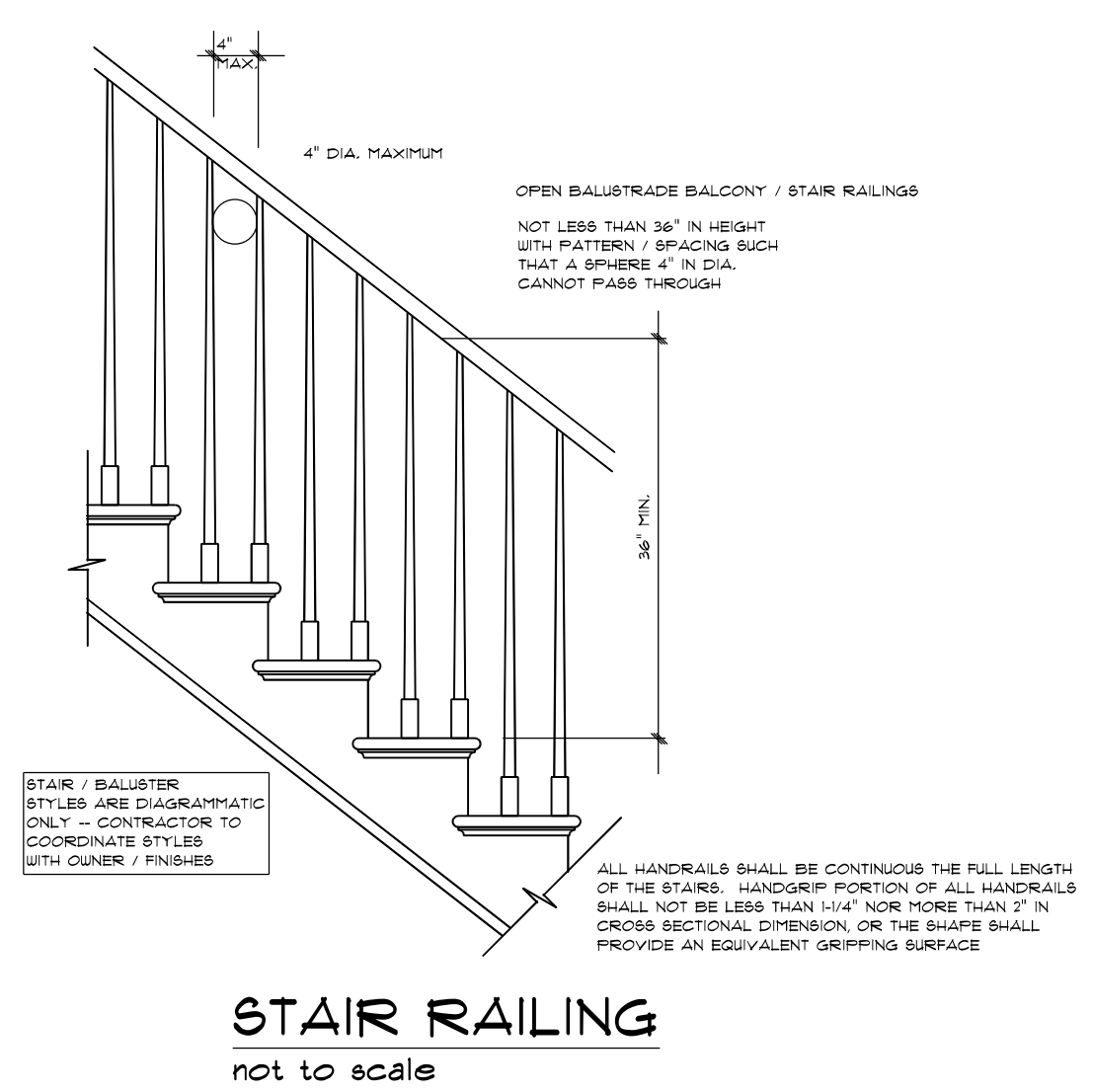
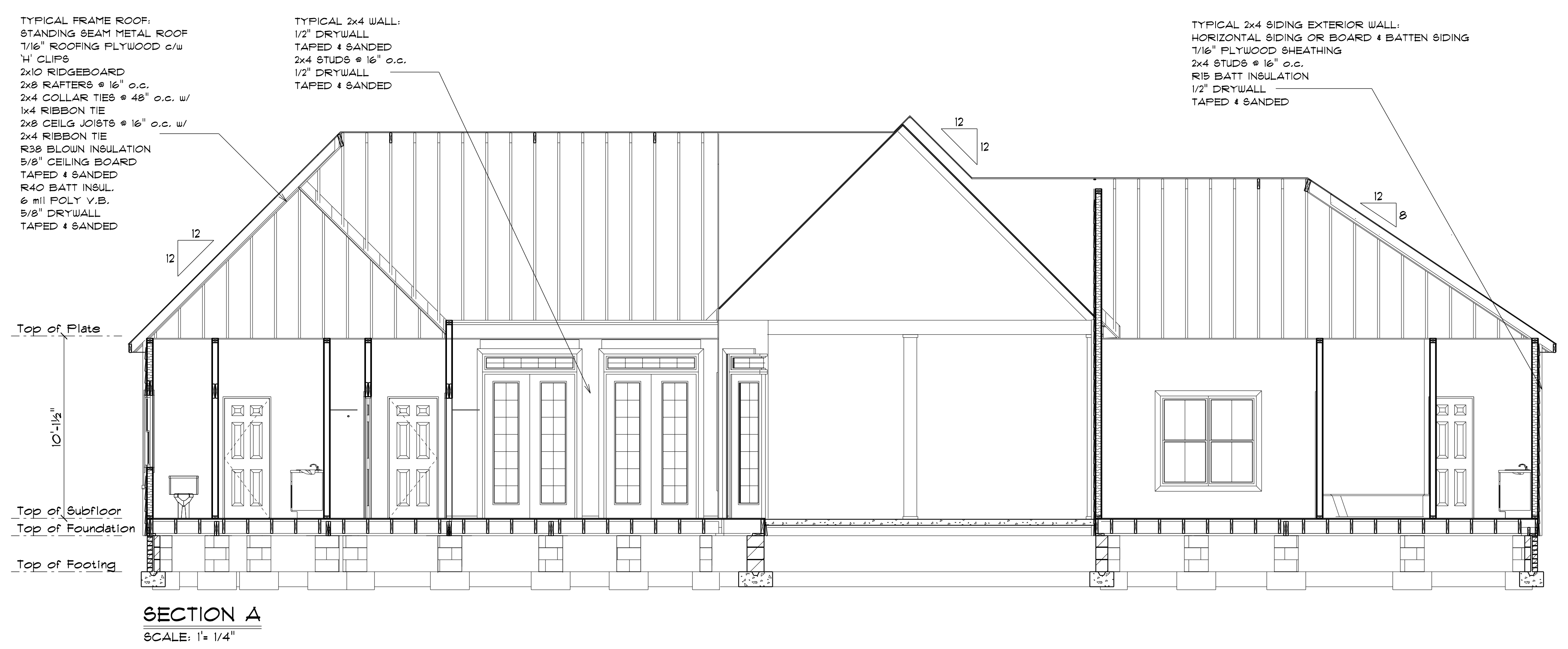
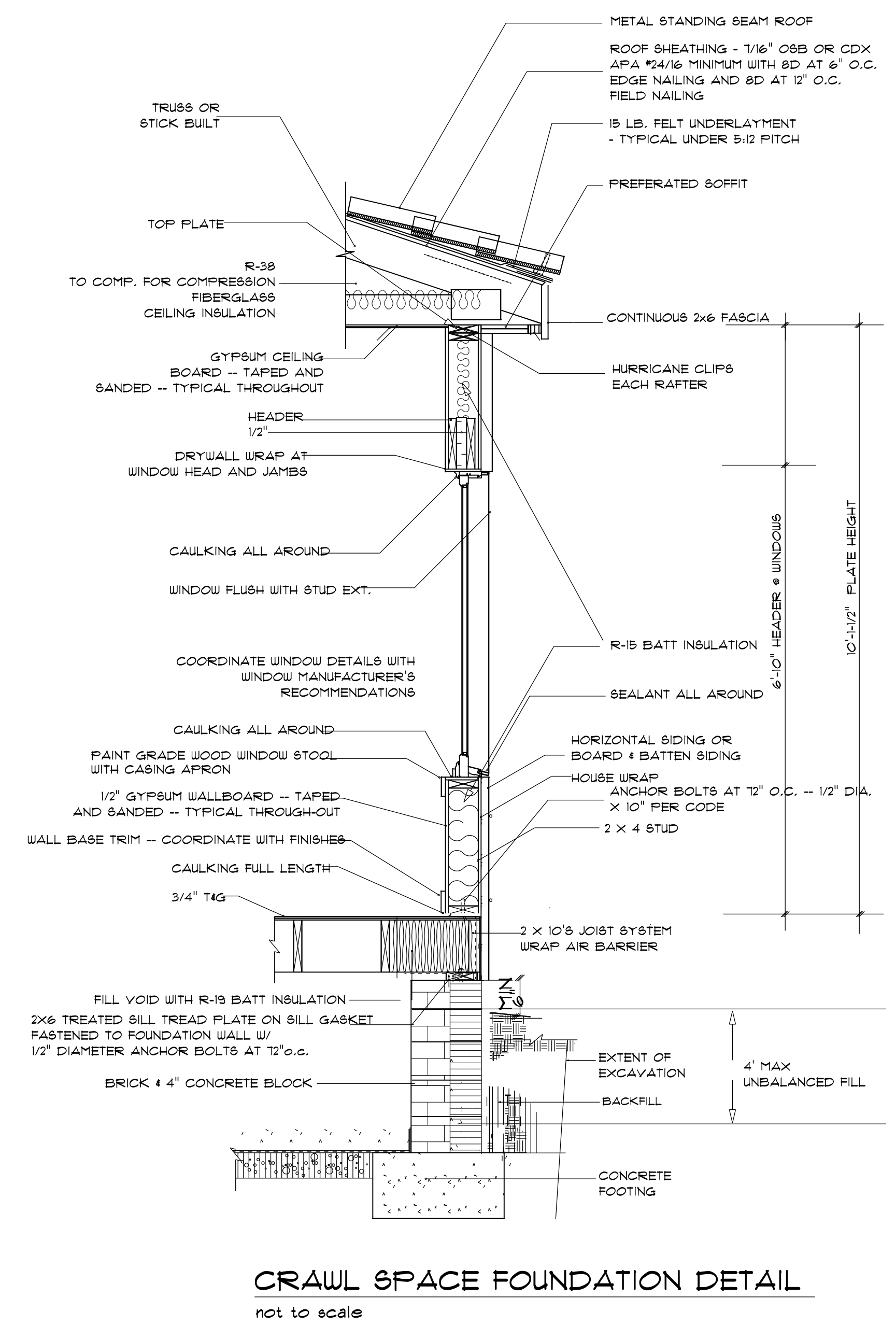
FLOOR PLAN
W/BONUS ROOM

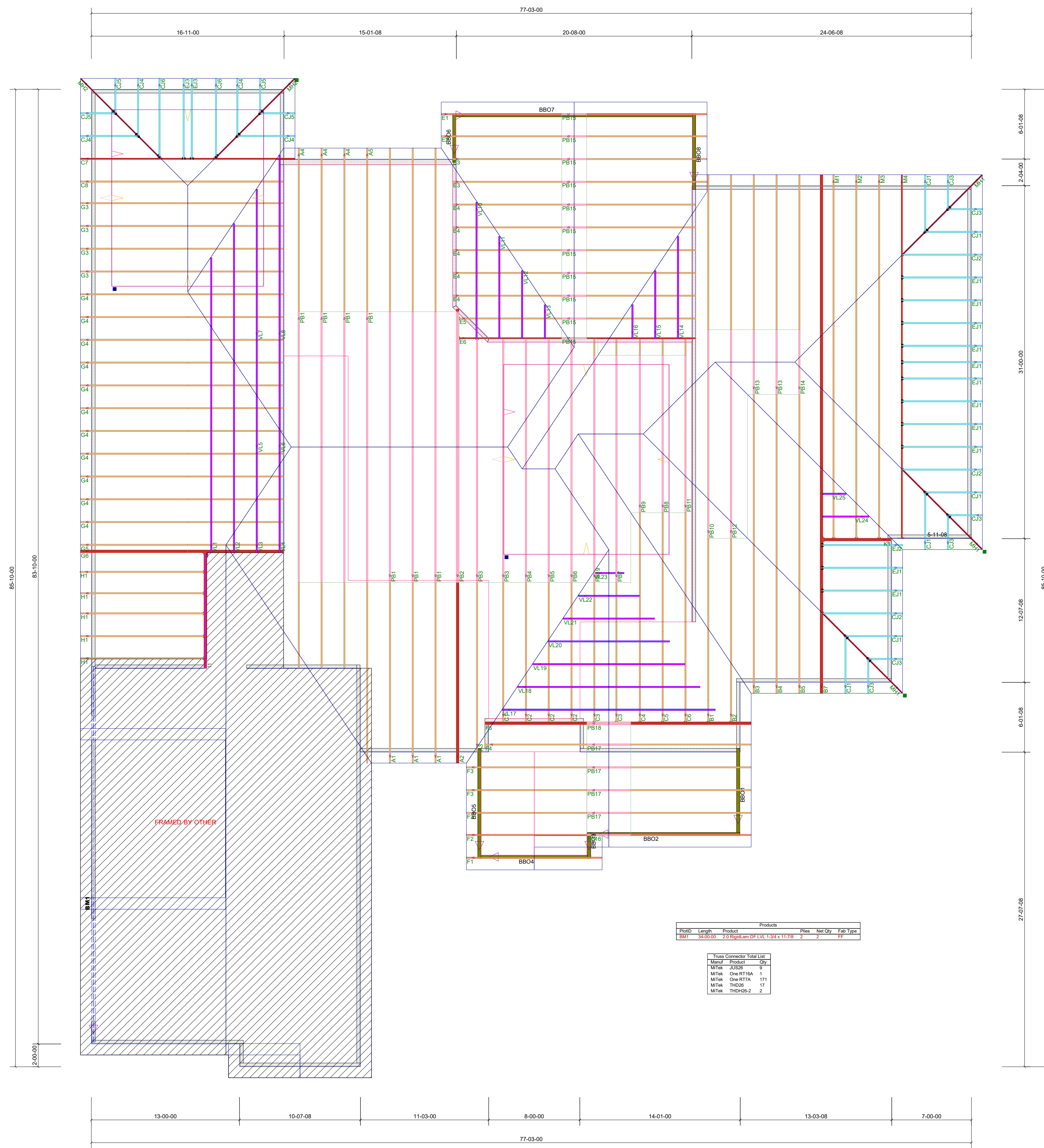
TYPICAL FRAME ROOF:
 SHINGLES ROOF
 1/16" ROOFING PLYWOOD c/w
 1" CLIPS
 2x10 RIDGEBOARD
 2x8 RAFTERS @ 16" o.c.
 2x4 COLLAR TIES @ 48" o.c. w/
 1x4 RIBBON TIE
 2x8 CEILG JOISTS @ 16" o.c. w/
 2x4 RIBBON TIE
 R38 BLOW INSULATION
 5/8" CEILING BOARD
 TAPED & SANDED
 R40 BATT INSUL.
 6 mil POLY V.B.
 5/8" DRYWALL
 TAPED & SANDED

ROOF NOTES:
 TRUSSES, BRACINGS, BRIDGING AND CONNECTORS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER.
 IDENTIFY LUMBER BY OFFICIAL GRADE MARKINGS.
 DO NOT CUT OR REMOVE CHORDS OR OTHER TRUSS MEMBERS.
 DO NOT NOTCH OR DRILL TRUSS MEMBERS.
 WHERE PRE-ENGINEERED ROOF TRUSSES ARE USED, TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS, WHICH BEAR SEAL OF A N. C. REGISTERED ENGINEER.



ROOF PLAN 12" OVER HANG ALL
 SCALE: 1" = 1/4"





Prod#	Length	Product	Plan	Net Qty	File Type
MT1	24.00	2.0" Square MT LVL 2x6 @ 11/16"	2	2	17

Truss Connector Total List			
Manuf	Product	Qty	
MTK	TRUSS	9	
MTK	ONE RTTGA	1	
MTK	ONE RTTGA	171	
MTK	TRUSS	17	
MTK	TRUSSC2	2	

ROOF TRUSS FRAMING

DRAWING SCALE : NTS



Charlie D Smith
 Chambers Residence
 ROOF TRUSS PLACEMENT PLAN

REVISIONS	
DATE	BY
9-23-21	VD

PROJECT NUMBER
21090009
 SHEET NUMBER
1 / 1