

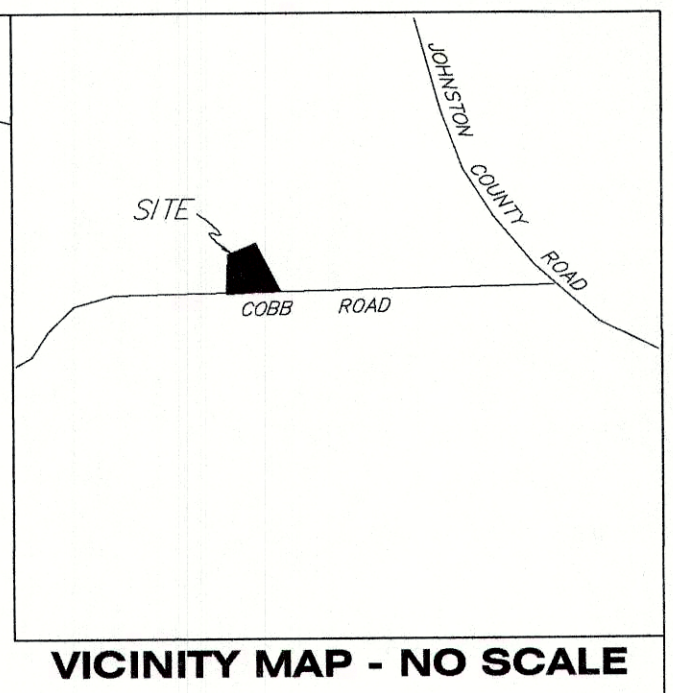
**SURVEYOR'S DISCLAIMER:**

THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED; HOWEVER, A NORTH CAROLINA LICENSED ATTORNEY SHOULD BE CONSULTED CONCERNING CORRECT OWNERSHIP, WIDTH AND LOCATIONS OF ANY EASEMENTS, RIGHTS OF WAY, CEMETERIES OR FAMILY BURIAL GROUNDS NOT SHOWN ON RECORDED MAPS OR DEEDS MADE AVAILABLE TO THIS SURVEYOR BY THE RECENT OWNER(S) AT THE TIME OF THIS SURVEY AND OTHER QUESTIONS THAT MAY BE REVEALED BY THE TITLE EXAMINATION INCLUDING ANY RESTRICTIVE COVENANTS. ALSO THIS SURVEYOR HAS NO KNOWLEDGE OF THE OWNERSHIP OR MAINTENANCE RESPONSIBILITIES OF ANY FENCES OR NEAR THE BOUNDARY LINES, NO RESPONSIBILITY OF ANY NATURE IS ASSUMED BY THIS SURVEYOR FOR ANY CONDITIONS WHICH MAY PRESENTLY EXIST, BUT ARE UNKNOWN, SUCH AS CEMETERIES, FAMILY BURIAL GROUNDS, TOXIC OR HAZARDOUS WASTE MATERIALS, SITES, WETLANDS, FLOOD HAZARD AREAS, SOILS, OR ANY UNDERGROUND UTILITIES, EXISTING OR PROPOSED EASEMENTS OR RIGHT-OF-WAYS, ETC. NOT SHOWN HEREON. ANY UTILITIES OR FEATURES AND ANY EASEMENTS RIGHT-OF-WAYS OR BUFFERS ASSOCIATED WITH SAID UTILITIES OR FEATURES SHOWN HEREON ARE SHOWN ACCORDING ONLY TO WHAT WAS KNOWN OR VISIBLE AT THE TIME OF THIS SURVEY BY THIS SURVEYOR. THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RIGHT-OF-WAYS UNKNOWN TO THE SURVEYOR AT THIS TIME THAT A COMPLETE TITLE EXAMINATION MAY REVEAL. THIS SURVEYOR IS NOT AN ATTORNEY AT LAW AND IT IS ADVISED THAT THE OWNER OF THIS PROPERTY CONSULT WITH A LICENSED ATTORNEY AT LAW TO PERFORM A COMPLETE TITLE EXAMINATION TO CONFIRM ALL KNOWN ENCUMBRANCES AND REVEAL ANY POTENTIAL ENCUMBRANCES OR TITLE ISSUES ASSOCIATED WITH THIS PROPERTY OR ANYTHING ELSE THAT MAY BE IN THE RESTRICTIVE COVENANTS, ALSO AS USED IN THE SURVEYOR'S CERTIFICATION HEREON. THE WORD "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED. THE MAP OR PLAT SHOWN HEREON SHALL NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE INCLUDING, BUT NOT LIMITED TO, FUTURE LOAN CLOSINGS, PLOT PLANS, CONSTRUCTION, LANDSCAPING, PERMITTING, ETC. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED ON THE MAP. JIMMY BARBOUR SURVEYING, PA, ITS ASSOCIATES, AND/OR AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE AND SCOPE AS NOTED ON THIS MAP OR PLAT.

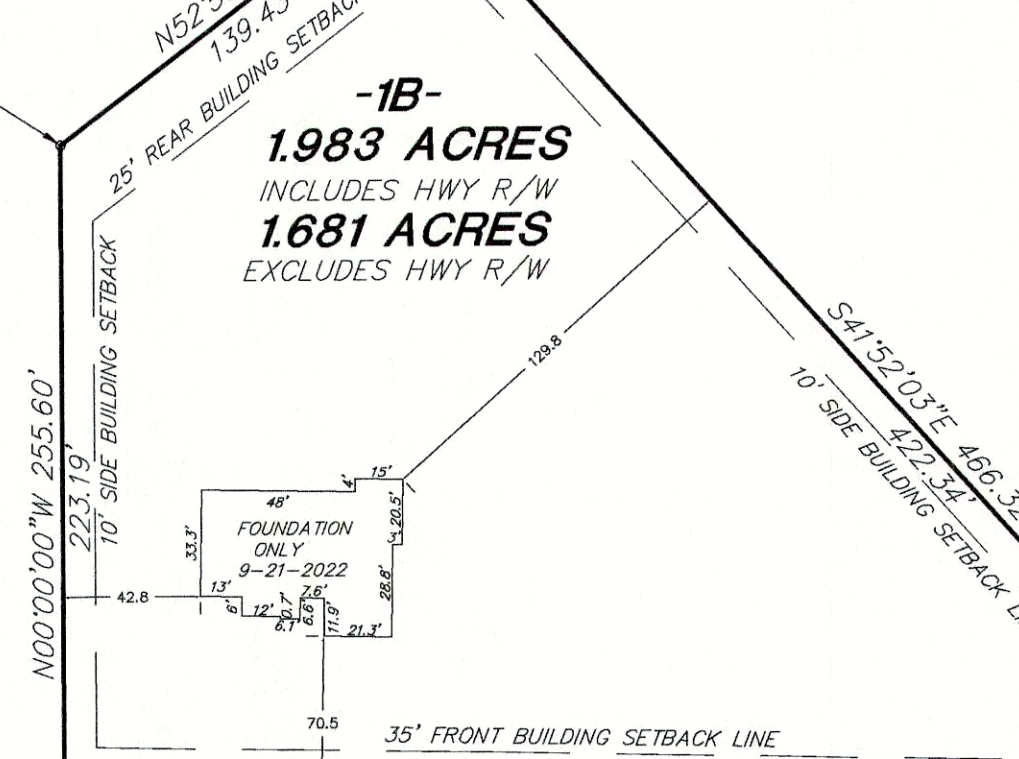


N/F  
**JOSEPH BLAKE SAWVEL**  
 DB 3994, PG 871  
 -A-  
 MB 2020, PG 410

N/F  
**JAMES ANGLIN**  
 DB 3989, PG 799  
 -2B-  
 MB 2021, PG 98

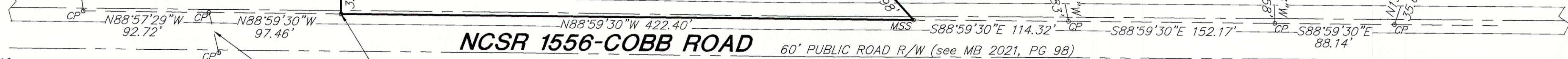


ERB  
 N=617,249.8089  
 E=2,112,032.7796  
 SEE GRID NOTE



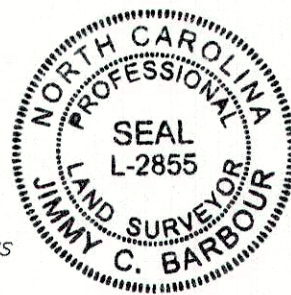
-3B-  
 MB 2021, PG 98

-4B-  
 MB 2021, PG 98



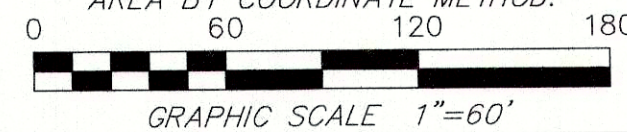
REFERENCES:  
 DEED BOOK 4112, PAGE 546  
 MAP BOOK 2021, PAGE 98

PARCEL ID NO. 071611004101  
 PROPERTY ADDRESS:  
 1175 COBB ROAD  
 BENSON, NC 27504



MSS  
 N=616,994.2089  
 E=2,112,032.7796  
 SEE GRID NOTE

ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.  
 AREA BY COORDINATE METHOD.



I, JIMMY C. BARBOUR, PLS, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 4112, PAGE 546, ETC.); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN MAP BOOK 2021, PAGE 98; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; THAT THE GLOBAL POSITIONING ACCURACY (GPS) OBSERVATIONS WERE PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS, PART 2: STANDARDS FOR GEODETIC NETWORKS AT 1 CENTIMETER ACCURACY CLASSIFICATION (95% CONFIDENCE) USING RTK NETWORK; THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).  
 WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS 21st DAY OF SEPT., A.D. 2022.

*Jimmy C. Barbour*  
 JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR, NC LICENSE NO. L-2855

FH	DASHED LINES	FIRE HYDRANT	MNS	MAGNETIC NAIL SET
WM / WW	---	WATER METER / WATER VALVE	ERB	EXISTING IRON REBAR
EIP	---	EXISTING IRON PIPE FOUND	RRSS	RAILROAD SPIKE SET
EIS	---	EXISTING IRON STAKE FOUND	N/F	NOW OR FORMERLY
D	---	DECK	PP/SP/AL	POWER POLE/SERVICE POLE/AREA LIGHT
C/L	---	CENTERLINE OF ROAD	OHP/L	OVERHEAD POWER LINE
EPK	---	EXISTING PARKER-KALON NAIL FOUND	CP	COMPUTED POINT FROM REFERENCED SOURCES
ERRS	---	EXISTING RAILROAD SPIKE FOUND	MSS	MAGNETIC SPIKE SET
EIA	---	EXISTING IRON AXLE FOUND	R/W	RIGHT OF WAY
RBS	#5 IRON REBAR w/RED PLASTIC CAP SET FLUSH w/GRADE	EXISTING IRON AXLE FOUND	ICV	IRRIGATION CONTROL VALVE
ECS	---	EXISTING COTTON SPINDLE FOUND	CO	SANITARY SEWER CLEANOUT
EMN	---	EXISTING MAGNETIC NAIL FOUND	1SVS	ONE STORY WITH VINYL SIDING
			P	PORCH

**JIMMY BARBOUR SURVEYING, PA**  
 JIMMY C. BARBOUR, PLS, GSI  
 C-3109  
 213 S. SECOND STREET  
 P. O. BOX 28  
 SMITHFIELD, N.C. 27577  
 919 989-6642 919-989-3013  
 Email: jimmy@jbsurveying.com

**FOUNDATION SURVEY FOR:**  
**L'TANYA BURNS**  
 LOT 1B  
 KEITH H. BROUILLARD PROPERTY  
 AS RECORDED IN MAP BOOK 2021, PAGE 98

TOWNSHIP	GROVE	COUNTY	HARNETT	STATE	NC
SURVEYED BY	J SIMMONS		DRAWN BY		CINDA S LASSITER
DATE SURVEYED	9-21-2022	SCALE	1"=60'	DRAWING NO.	22-117