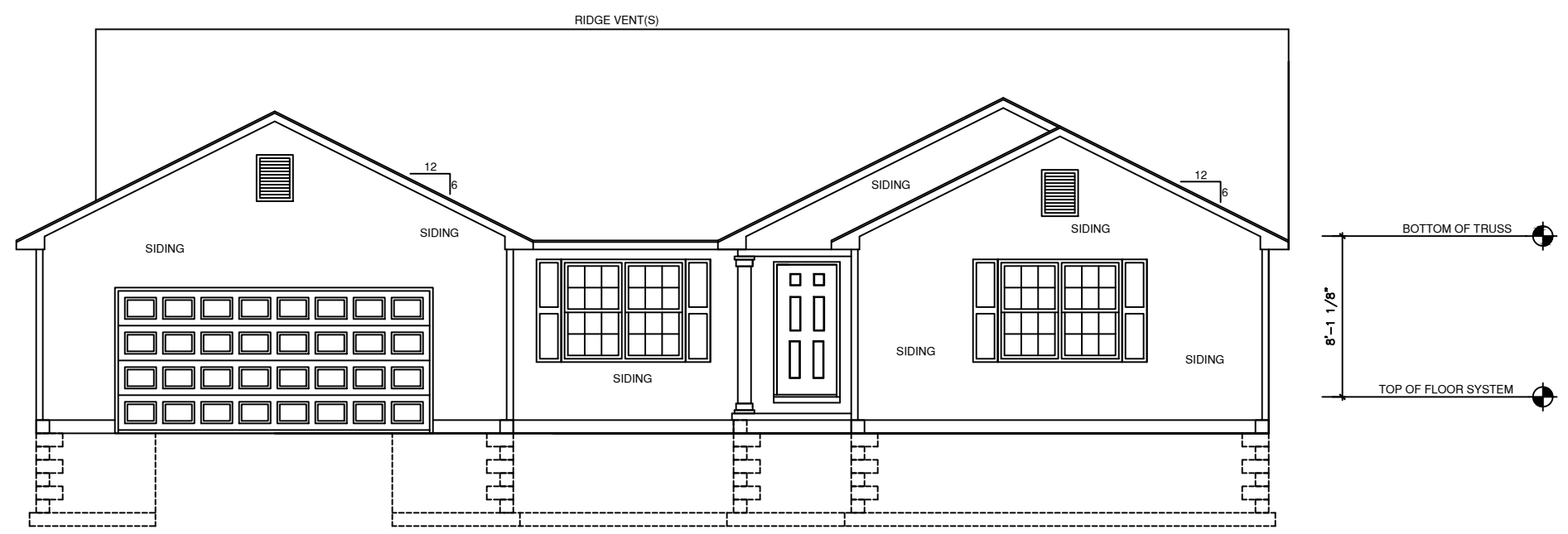
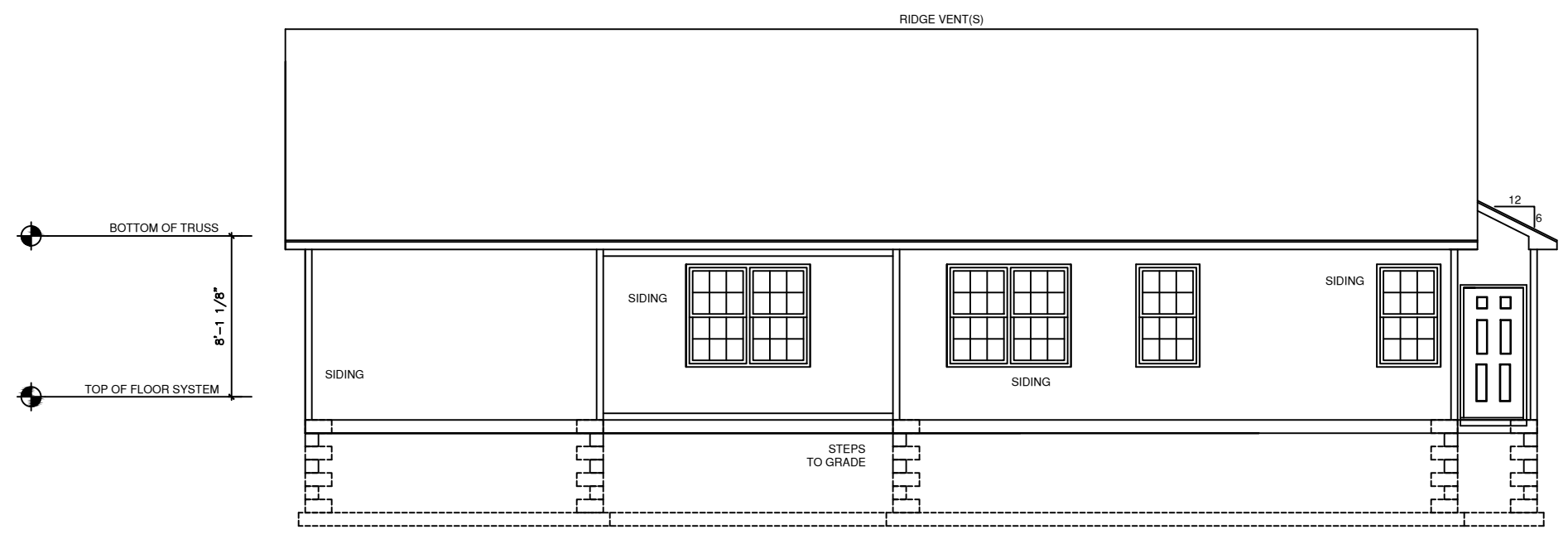


- GUTTERS AND DOWNSPOUTS
 - 30 YEAR ARCHITECTURAL SHINGLES



FRONT ELEVATION "CLASSIC"
 SCALE: 1/8" = 1'-0"



REAR ELEVATION "CLASSIC"
 SCALE: 1/8" = 1'-0"

BUYER _____ DATE _____

BUYER _____ DATE _____

PERM
 106-21-194 -COOKE

GENERAL NOTES

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

COPYRIGHT 2018 RED DOOR HOMES, LLC.
 LICENSED TO RED DOOR HOMES OF:
 OFFICE NAME



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUBDIVISION NAME:
 XXXXXXXXXXXX

CITY:
 XXXXXXXXXXXX

PHASE:
 XXXXXXXXXXXX

BLOCK:
 XXXXXXXXXXXX

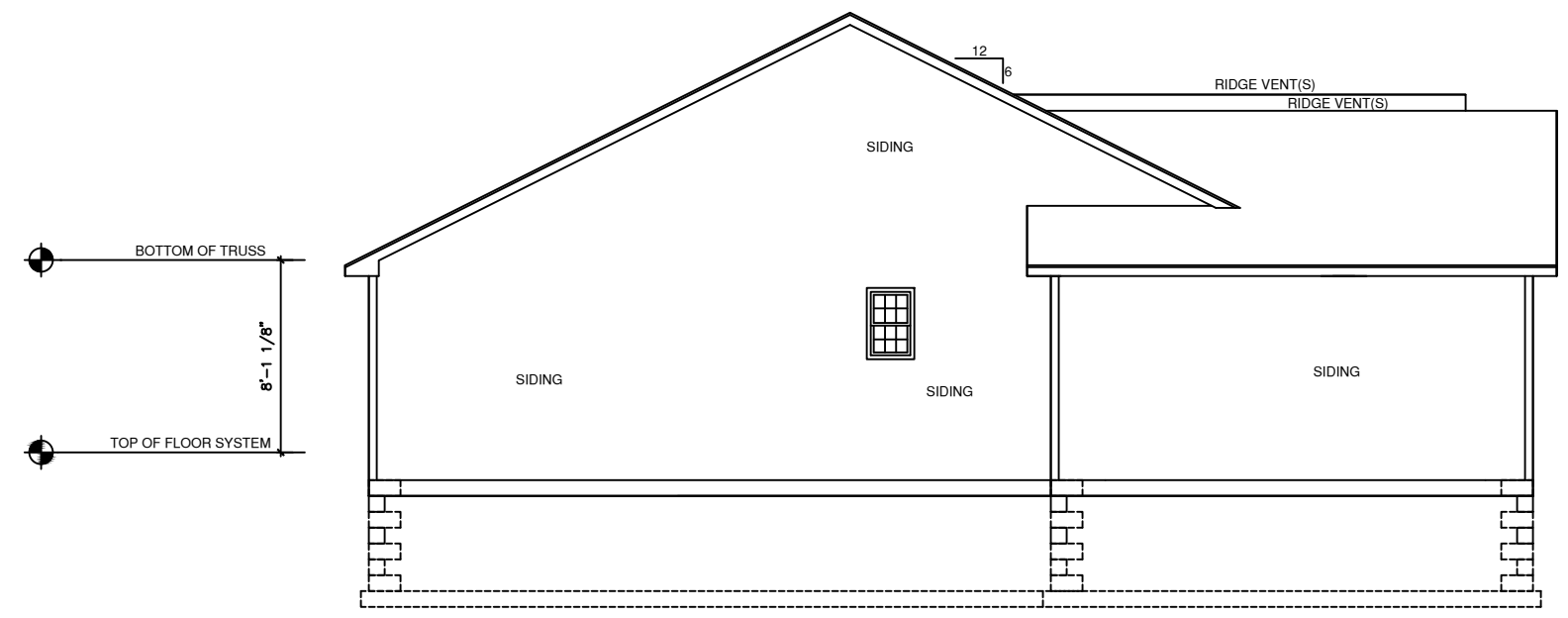
LOT:
 XXXXXXXXXXXX

DRAFTING DATES:
 PRELIMINARY: 06/22/2021 PJM
 PERM: 07/21/2021 PJM
 FINAL:

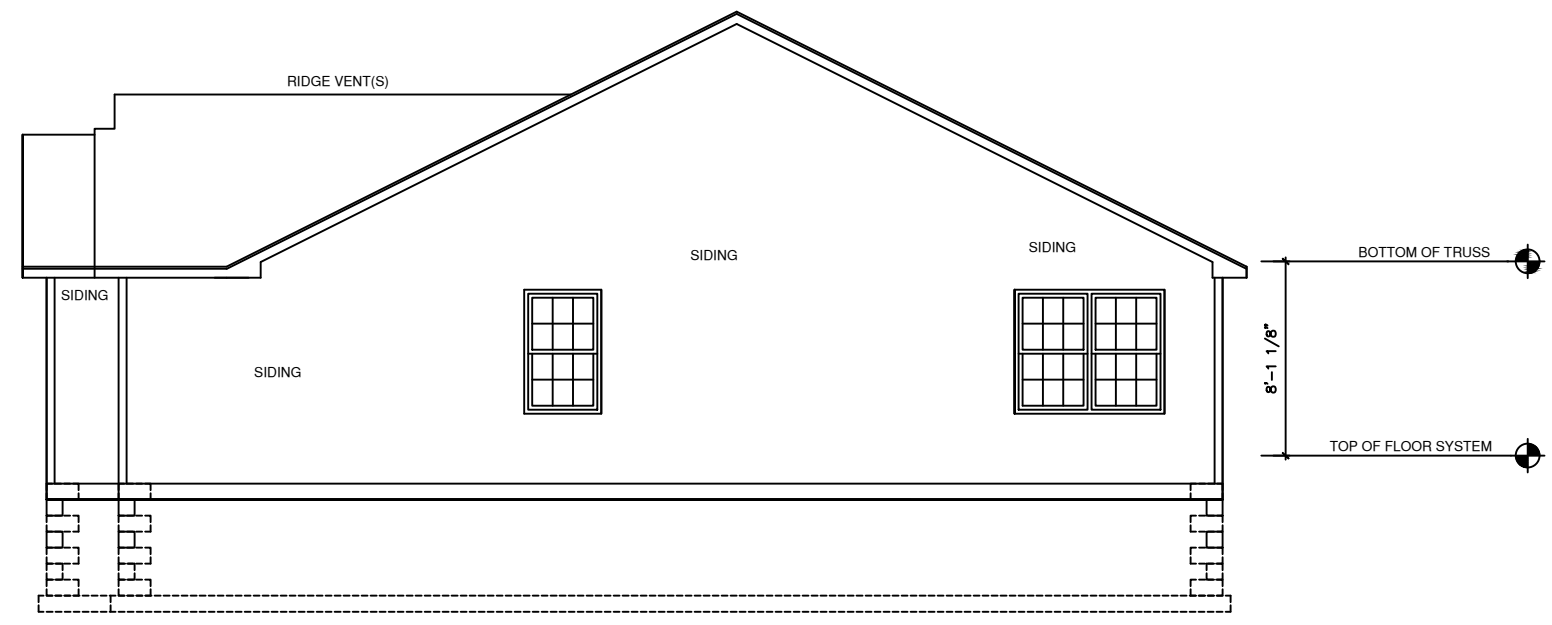
Front & Rear Elevation

LEXINGTON
 "CLASSIC"

- GUTTERS AND DOWNSPOUTS
 - 30 YEAR ARCHITECTURAL SHINGLES



LEFT ELEVATION "CLASSIC"
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "CLASSIC"
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED AND VERIFIED BY FRAMER, BUILDER, TRUSS SHOP, OR BY A LICENSED ENGINEER
6. SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER TRUSS SHOP, OR LICENSED ENGINEER
7. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, OR LICENSED ENGINEER
8. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, OR LICENSED ENGINEER
9. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND / OR LICENSED ENGINEER
10. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL CODE
11. LOCAL, STATE, AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS
12. BUILDER TO VERIFY ALL DIMENSIONS

COPYRIGHT 2021 RED DOOR HOMES, LLC,
 LICENSED TO RED DOOR HOMES OF:
 FAYETTEVILLE, NC



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUB DIV: _____

CITY: _____

PHASE: _____

BLOCK: _____

LOT: _____

DRAFTING DATES:

PRELIMINARY: 06/22/2021 PJM
 PERM: 07/21/2021 PJM
 FINAL: _____

Right & Left Elevations

LEXINGTON
 "CLASSIC"

BUYER _____ DATE _____

BUYER _____ DATE _____

PERM
 106-21-194 -COOKE

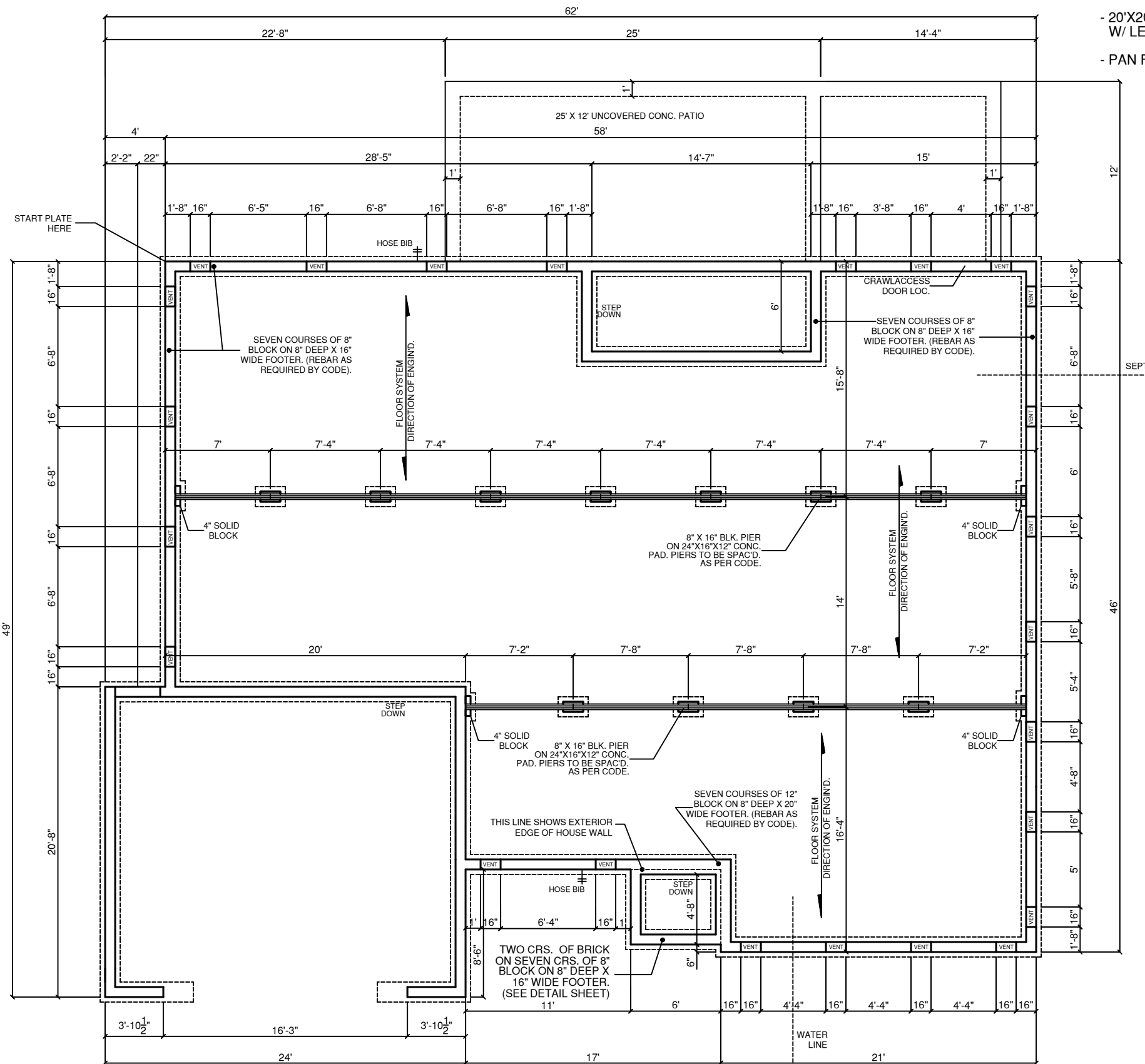
NOTE: BEAM (S) TO BE SIZED TO LOCAL & STATE CODES BY BUILDER (TYP).

NOTE: LOCATION AND SIZE OF CRAWL ACCESS DOOR T.B.D. AT PRE-CONSTRUCTION / LOT INSPECTION

NOTE: PIER SIZE AND LOCATION T.B.D. BY CODE, TRUSS SHOP & BY BUILDER (TYP).

NOTE: LOCATION AND NUMBER OF CRAWL VENTS TO BE VERIFIED PRIOR TO CONST.

NOTE: FLOOR SYSTEM TYPE, SIZE AND SPACING T.B.D. BY BUILDER & TRUSS SHOP.



- VERIFY LOCATION OF 12'X12' CONC. PAD FOR HOT TUB AT CONSTRUCTION
- 20'X20' CONC. IN FRONT OF GARAGE W/ LEAD WALK TO FRONT DOOR (100SF)
- PAN FOR BACK PORCH

GENERAL NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED AND VERIFIED BY FRAMER, BUILDER, TRUSS SHOP, OR BY A LICENSED ENGINEER
6. SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER TRUSS SHOP, OR LICENSED ENGINEER
7. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, OR LICENSED ENGINEER
8. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, OR LICENSED ENGINEER
9. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND / OR LICENSED ENGINEER
10. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL CODE
11. LOCAL, STATE, AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS
12. BUILDER TO VERIFY ALL DIMENSIONS

COPYRIGHT 2021 RED DOOR HOMES, LLC, LICENSED TO RED DOOR HOMES OF: FAYETTEVILLE, NC



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUB DIV:

CITY:

PHASE:

BLOCK:

LOT:

DRAFTING DATES:

PRELIMINARY: 06/22/2021 PJM
 PERM: 07/21/2021 PJM
 FINAL:

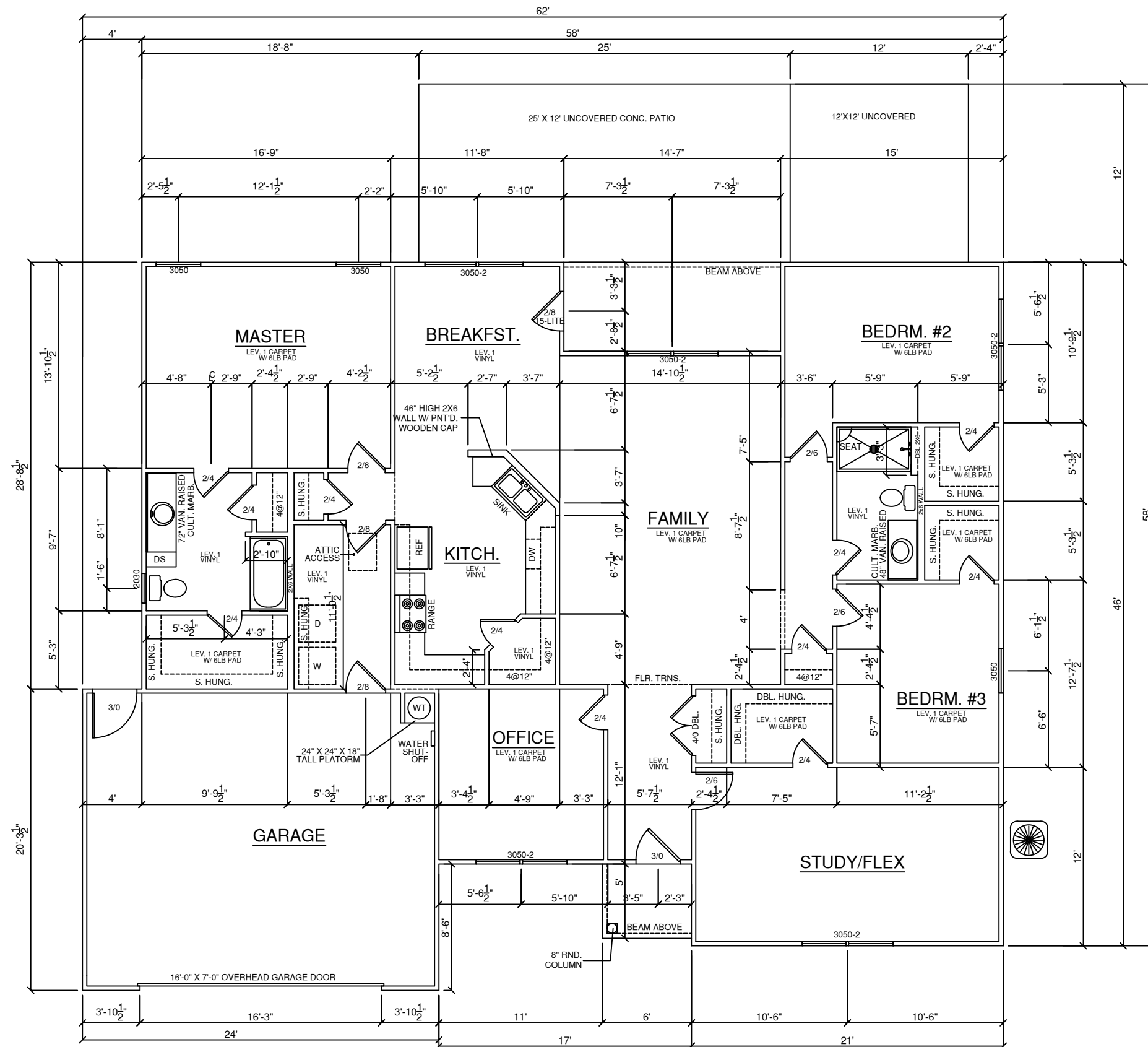
Crawl Space Foundation

LEXINGTON
 "CLASSIC"

BUYER _____ DATE _____
 BUYER _____ DATE _____

CRAWL SPACE FOUNDATION PLAN
 SCALE 1/8" = 1'-0"

PERM
 106-21-194 -COOKE



FLOOR PLAN
SCALE 1/8" = 1'-0"

BUYER _____ DATE _____
BUYER _____ DATE _____

- GUTTERS AND DOWNSPOUTS
- 30 YEAR ARCHITECTURAL SHINGLES
- GARAGE DOOR OPENER WITH 2 REMOTES
- LOCATE 2 FLOOD LIGHTS AT C.E.M.
- LOCATE ARLINGTON BOX AT C.E.M.
- 60 AMP BREAKER AT REAR OF HOME FOR HOT TUB
- CERAMIC TILE BACKSPLASH IN KIT.
- LEV. 3 FRIGIDAIRE APPLIANCE PACKAGE BLACK GLASS TOP RANGE WITH SIDE BY SIDE REF.
- VERIFY LOCATION OF 12'X12' CONC. PAD FOR HOT TUB AT CONSTRUCTION
- 20'X20' CONC. IN FRONT OF GARAGE W/ LEAD WALK TO FRONT DOOR (100SF)
- PAN FOR BACK PORCH

PERM
106-21-194 -COOKE

GENERAL NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED AND VERIFIED BY FRAMER, BUILDER, TRUSS SHOP, OR BY A LICENSED ENGINEER
6. SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER TRUSS SHOP, OR LICENSED ENGINEER
7. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, OR LICENSED ENGINEER
8. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, OR LICENSED ENGINEER
9. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND /OR LICENSED ENGINEER
10. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL CODE
11. LOCAL, STATE, AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS
12. BUILDER TO VERIFY ALL DIMENSIONS

COPYRIGHT 2021 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
FAYETTEVILLE, NC



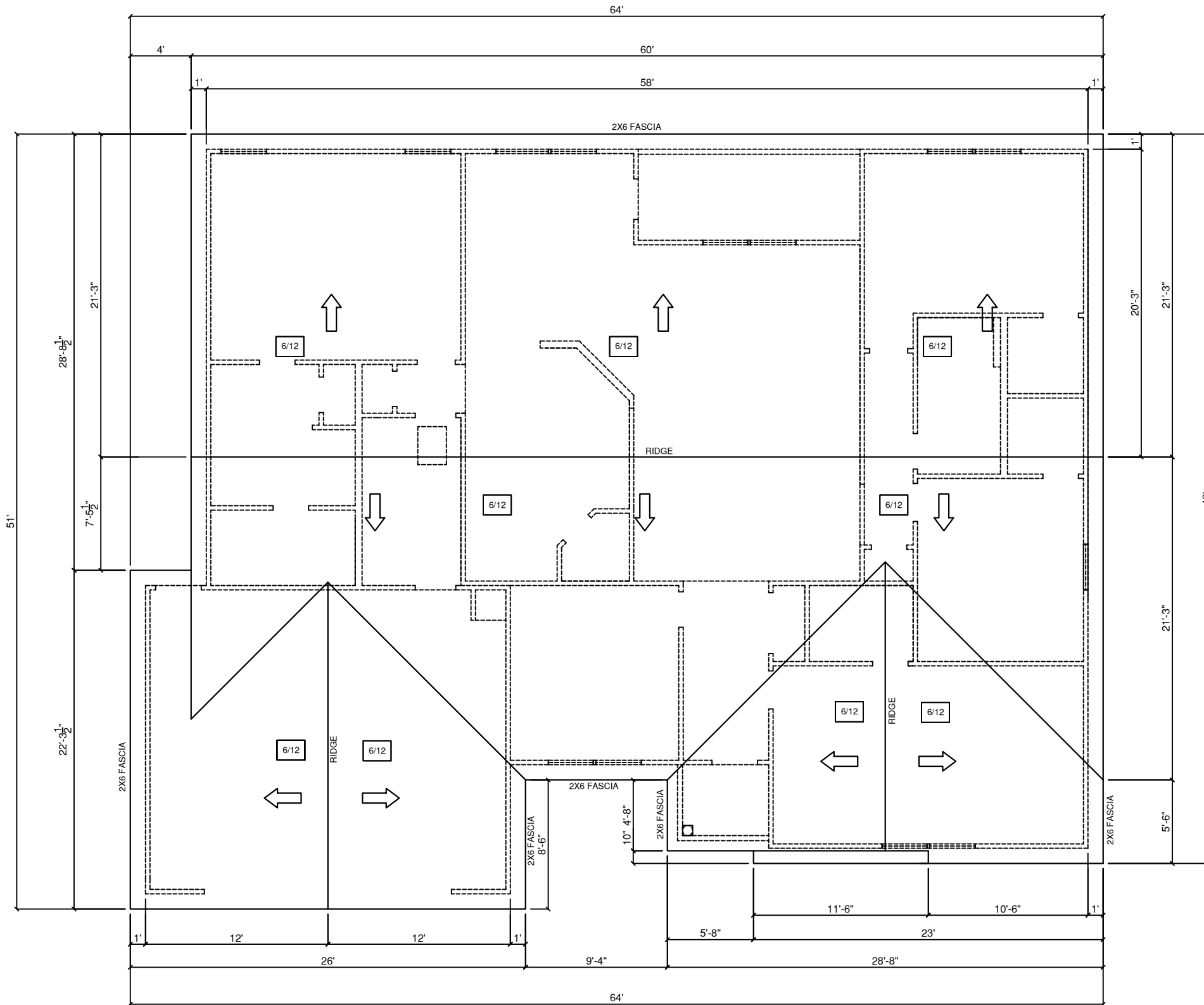
SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUB DIV: _____
CITY: _____
PHASE: _____
BLOCK: _____
LOT: _____
DRAFTING DATES:
PRELIMINARY: 06/22/2021 PJM
PERM: 07/21/2021 PJM
FINAL: _____

Main Floor Plan
LEXINGTON
"CLASSIC"

- GUTTERS AND DOWNSPOUTS
 - 30 YEAR ARCHITECTURAL SHINGLES



ROOF PLAN
 SCALE 1/8" = 1'-0"

BUYER _____ DATE _____
 BUYER _____ DATE _____

PERM
 106-21-194 -COOKE

GENERAL NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" UNLESS NOTED OTHERWISE
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED AND VERIFIED BY FRAMER, BUILDER, TRUSS SHOP, OR BY A LICENSED ENGINEER
6. SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER TRUSS SHOP, OR LICENSED ENGINEER
7. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, OR LICENSED ENGINEER
8. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, OR LICENSED ENGINEER
9. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND / OR LICENSED ENGINEER
10. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL CODE
11. LOCAL, STATE, AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS
12. BUILDER TO VERIFY ALL DIMENSIONS

COPYRIGHT 2021 RED DOOR HOMES, LLC,
 LICENSED TO RED DOOR HOMES OF:
 FAYETTEVILLE, NC



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUB DIV:

CITY:

PHASE:

BLOCK:

LOT:

DRAFTING DATES:

PRELIMINARY: 06/22/2021 PJM
 PERM: 07/21/2021 PJM
 FINAL:

Roof Plan

LEXINGTON
 "CLASSIC"

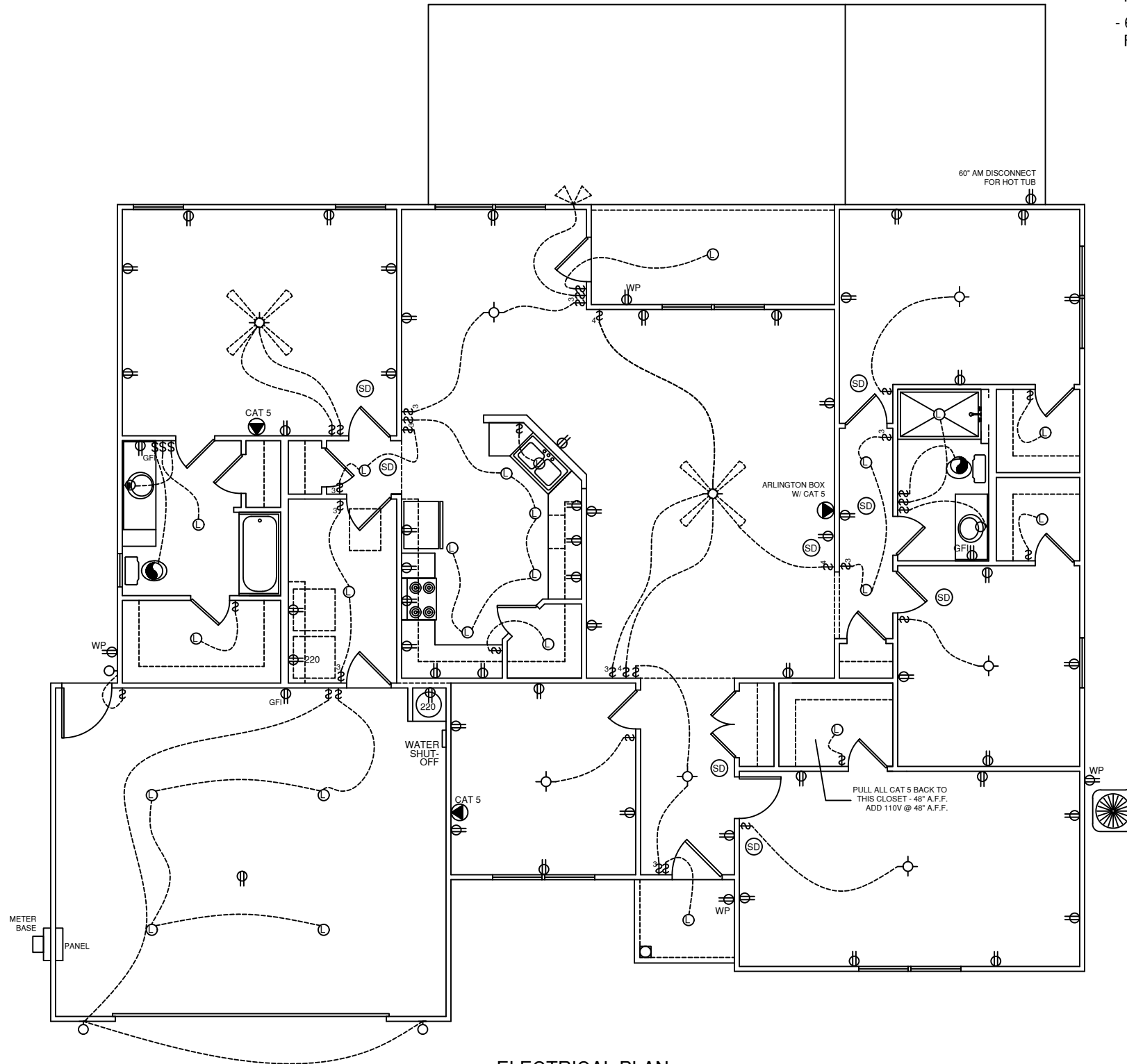
ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. RECESSED MOUNTED
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

- ALL ELECTRICAL TO MEET N.E.C.
- PROVIDE 200 AMP SINGLE PHASE SERVICE
- PROVIDE ALL COPPER WIRING
- CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES
- CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
- PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:

SWITCHES	42"
OUTLETS	14"
TELEPHONE	14"
TELEVISION	14"



ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

- GARAGE DOOR OPENER WITH 2 REMOTES
- 60 AMP BREAKER AT REAR OF HOME FOR HOT TUB

GENERAL NOTES

- MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" UNLESS NOTED OTHERWISE
- ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
- WINDOW HEADER HEIGHT TO BE SET AT 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED AND VERIFIED BY FRAMER, BUILDER, TRUSS SHOP, OR BY A LICENSED ENGINEER
- SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER TRUSS SHOP, OR LICENSED ENGINEER
- FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, OR LICENSED ENGINEER
- ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, OR LICENSED ENGINEER
- ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND / OR LICENSED ENGINEER
- BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL CODE
- LOCAL, STATE, AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS
- BUILDER TO VERIFY ALL DIMENSIONS

COPYRIGHT 2021 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
FAYETTEVILLE, NC



SQUARE FOOTAGE CHART

MAIN FLOOR AREA TO FRAME	2150
COVERED FRONT ENTRY	30
COVERED REAR PATIO	88
GARAGE AREA TO FRAME	480
TOTAL UNDER BEAM AREA	2748

SUB DIV: _____

CITY: _____

PHASE: _____

BLOCK: _____

LOT: _____

DRAFTING DATES:

PRELIMINARY: 06/22/2021 PJM
 PERM: 07/21/2021 PJM
 FINAL: _____

Main Floor Electric Plan

LEXINGTON
"CLASSIC"

BUYER _____ DATE _____

BUYER _____ DATE _____

PERM
106-21-194 -COOKE

