

# JORDAN



## JORDAN REVISION LIST - STRUCTURAL:

- 1.) CODE UPDATE TO SCRC 2018 (1-20)
- 2.) CHANGE 2X6 EXTERIOR WALLS TO 2X4 EXTERIOR WALLS. (3-5-20)
- 3.) ADDED BASEMENT PLAN WHICH EXTENDS GARAGE FRONT 2'-0". (5-1-20)

## JORDAN REVISION LIST - ARCHITECTURAL:

- 1.) UPDATED PLANS: 7'-0" HDR HGT. ADDED 2 HOSE BIBB LOC'NS, CHANGE MASTERS TO OWNERS, CHANGE SOFFITS TO C.O., CHANGE MASTERS BATH TO OWNER'S BATH 1, CHANGED POW'DER TO PDR 1, AND CHANGED BATH TO BATH 2. (11-4-19)
- 2.) ADDED ROOF VENT CALCULATIONS FOR ELEV. A AND B. (12-2-19)
- 3.) UPDATED CUTSHEETS FOR THE GARAGE RIGHT. (12-13-19)
- 4.) CHANGED FIREPLACE FROM STANDARD TO OPTIONAL. (5-1-20)
- 5.) REMOVE GLASS INSERTS FROM GARAGE WINDOWS AND REMOVE METAL ACCESSORIES (5-1-20)
- 6.) UPDATED CUTSHEETS TO MEET H&H STANDARDS. (5-1-20)
- 7.) ADDED OPTIONAL GLASS INSERTS TO TOP WINDOWS ONLY TO GARAGE DOORS. (5-1-20)
- 8.) CHANGED THE CORNERBOARDS FROM 6" TO 4". (5-1-20)
- 9.) REMOVED OPTIONAL KITCHEN CAN AND REPLACED WITH FLUORSCENT LIGHT IN THE KITCHEN. (5-1-20)
- 10.) CHANGE LOCATION OF THE HOSE BIBBS. (5-1-20)
- 11.) ADDED OPTIONAL GAS LINE NOTE AT PATIO. (5-1-20)
- 12.) CHANGED REFRIGERATOR, WASHER, AND DRYER TO OPTIONAL COMPONENTS. (5-1-20)
- 13.) CHANGE COFFERED CEILING IN DINING TO OPTIONAL WITH DETAIL. (5-1-20)
- 14.) ADDED WEATHERING STRIPPING AT 2'-0" X 4'-0" SOLID DOOR. (5-1-20)
- 15.) ADDED NOTE TO REMOVE (1)-3'-0" 5'-0" WINDOW FOR BEDROOM #5 OPTION. (5-1-20)
- 16.) REMOVED GRIDS FROM SIDE AND REAR WINDOWS. (5-1-20)
- 17.) CHANGED 3'-0" 5'-0" WINDOW IN LOFT TO STANDARD. (5-1-20)
- 18.) UPDATED STONE HATCH ON ELEVATIONS. (5-1-20)
- 19.) REMOVED ALL TV OUTLETS, PHONE OUTLETS, AND ELECTRICAL OUTLETS EXCEPT FLOOR OUTLETS. (5-1-20)
- 20.) ADDED CO, DETECTORS PER LOCATE CODE. (5-1-20)
- 21.) CHANGED CEILING FANS TO OPTIONAL AND CHANGE THE LIGHTS TO PRE-WIRE. (5-1-20)
- 22.) ADDED CRICKETS TO FRONT ELEVATIONS. (5-1-20)
- 23.) UPDATED THE ELEVATION COACH LIGHTS TO MATCH THE ELECTRICAL PLANS. (5-1-20)
- 24.) CREATED ADDITIONAL SHEETS FOR FIRST FLOOR AND SECOND FLOOR OPTIONS (A4.1, A5.1, A6.1, A7.1, B-3, AND E-4) AND REMOVED OPTIONS FROM BASE SHEETS. (5-1-20)
- 25.) ADDED DIMENSION FOR WATER TABLE TO FINISH FLOOR ON ELEVATION. (5-1-20)
- 26.) ADDED INSULATION DETAIL TO FIRST AND SECOND FLOOR SHEETS. (5-1-20)
- 27.) ADDED OPTIONAL (3) RECESS LIGHTING AND SWITCHES IN FAMILY ROOM. (5-1-20)
- 28.) ADDED SHEET 7.0 FOR FLOOR PLAN EXTERIOR SURFACES LAYOUTS. (5-1-20)
- 28.) CREATED OWNER'S BATH 2 AND OWNER'S BATH 3. (5-1-20)
- 28.) ADDED SHOWER DETAIL FOR OPTIONAL OWNER'S BATH 3. (5-1-20)
- 29.) UPDATED CUTSHEETS. (5-1-20)
- 30.) CHANGED OWNER'S BATH #3 WINDOW FROM 2'-0" 2'-0" WINDOW TO 2'-0" 4'-0" TEMP. (5-1-20)
- 31.) ADDED PATIO W/ EXTENDED PATIO OPTION. (5-1-20)
- 32.) ADDED OPTIONAL BASEMENT PLAN. (5-1-20)
- 33.) ADDED CHANGES TO OPTIONS WHEN BASEMENT OPTION SELECTED. (5-1-20)
- 34.) REVISED SHUTTERS ON ELEVATIONS B TO BE B&B (5-1-20)
- 35.) REMOVED HARDWARE FROM SHUTTERS ON ELEVATION C (5-1-20)
- 36.) REMOVED LIGHT OVER KITCHEN SINK (7-8-20)
- 37.) REMOVED NOTE "KEYLESS" FROM GARAGE CHANGED TO STANDARD CEILING MOUNTED LIGHT (7-8-20)
- 38.) CHANGED STANDARD LIGHT IN KITCHEN FROM 2-BULB FLUORESCENT TO 3 BULB CEILING MOUNT (7-8-20)
- 39.) CHANGED SWING OF SERVICE DOOR IN GARAGE TO OUT SWING (SEE SHEET A6.1) (7-8-20)
- 40.) REMOVED LIGHT IN SECONDARY BATH OVER TUB/SHOWER COMBO (7-8-20)
- 41.) REMOVED "RECESSED ENTERTAINMENT BOX" OVER FIREPLACE (7-8-20)

OKM 12/1 Rumpen Marked Plan

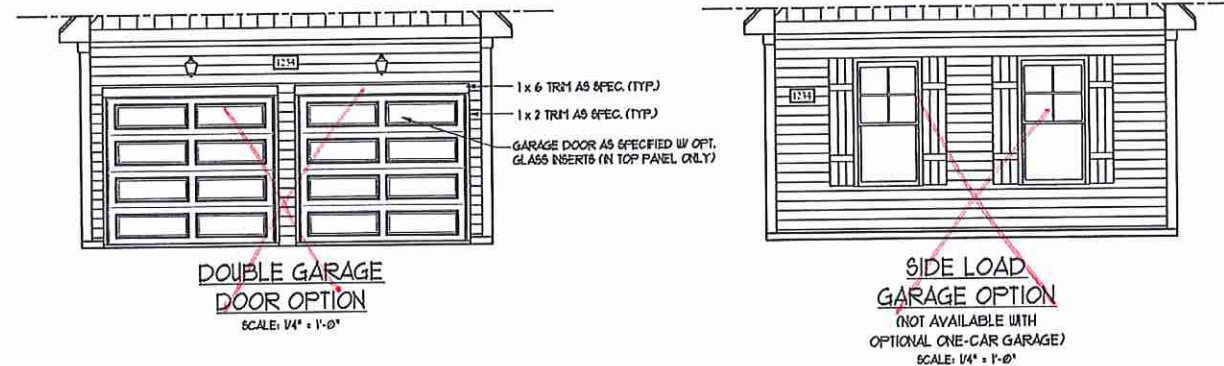
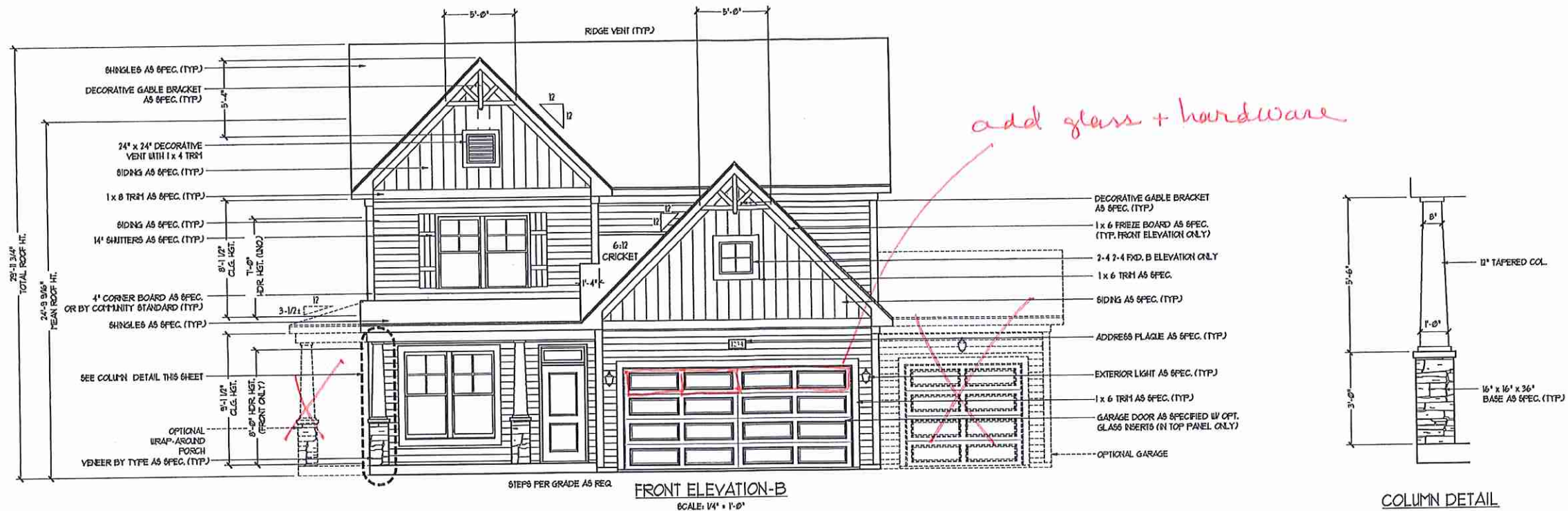


COVER SHEET

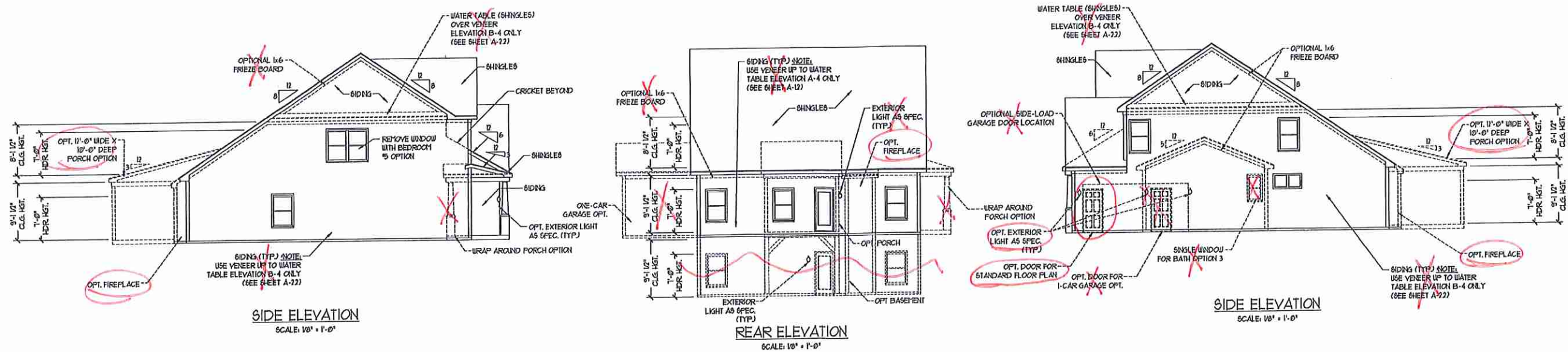
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JORDAN

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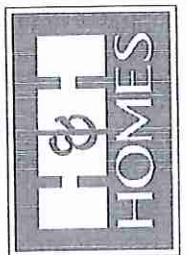
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**NOTE:**  
SEE SHEET A-2.1 FOR BRICK FRONT ELEVATIONS  
SEE SHEET A-2.2 FOR STONE FRONT ELEVATIONS  
SEE SHEET A-2.3 (ALL BRICK) ELEVATIONS



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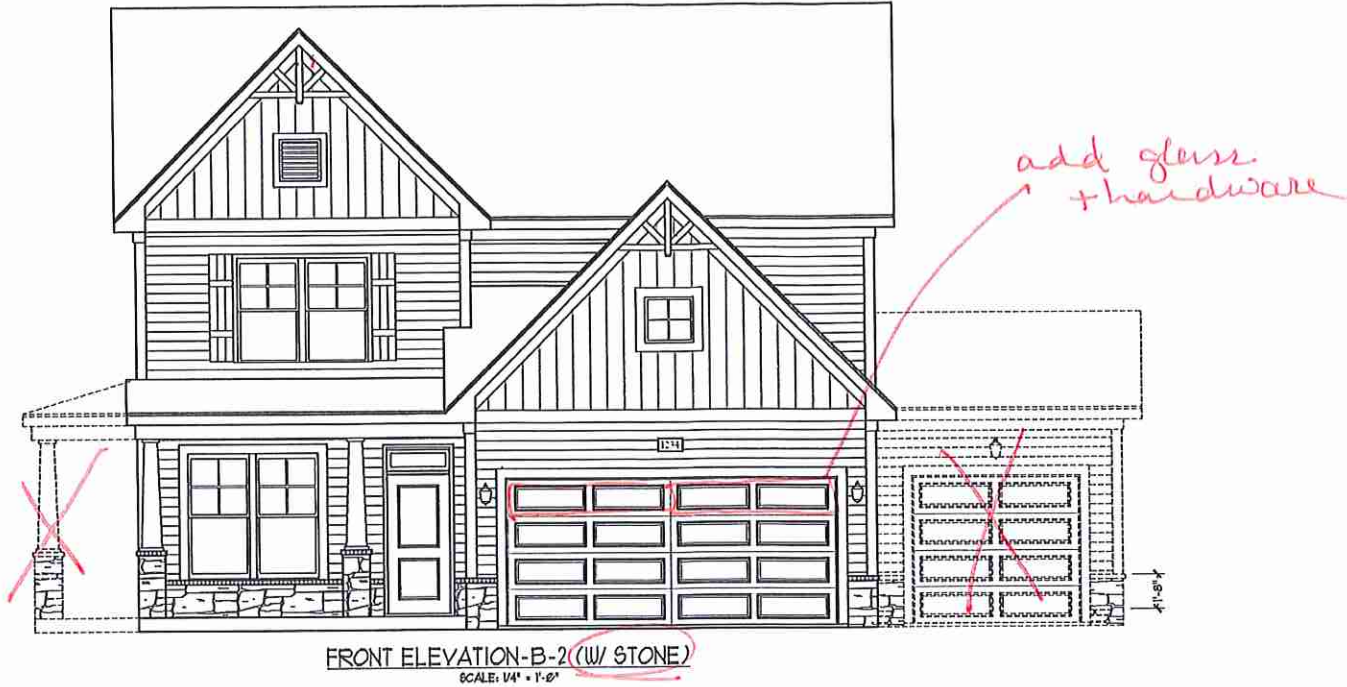
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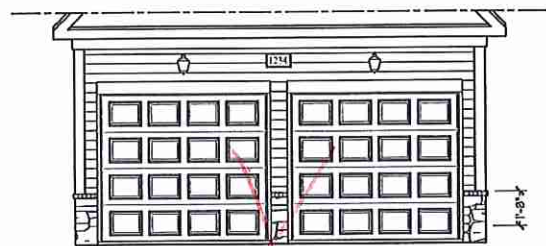
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B - 1 ELEVATIONS  
A-2

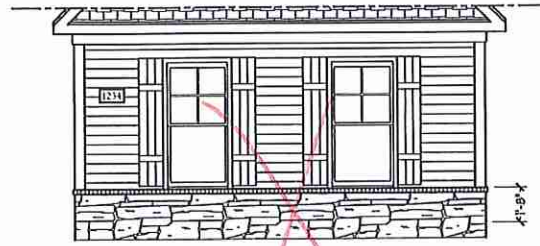
CSM



FRONT ELEVATION-B-2 (W/ STONE)  
SCALE: 1/4" = 1'-0"



DOUBLE GARAGE  
DOOR OPTION  
SCALE: 1/4" = 1'-0"

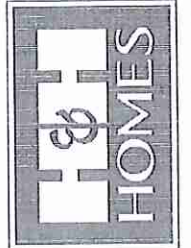


SIDE LOAD  
GARAGE OPTION  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-B-3 (W/ STONE)  
SCALE: 1/4" = 1'-0"

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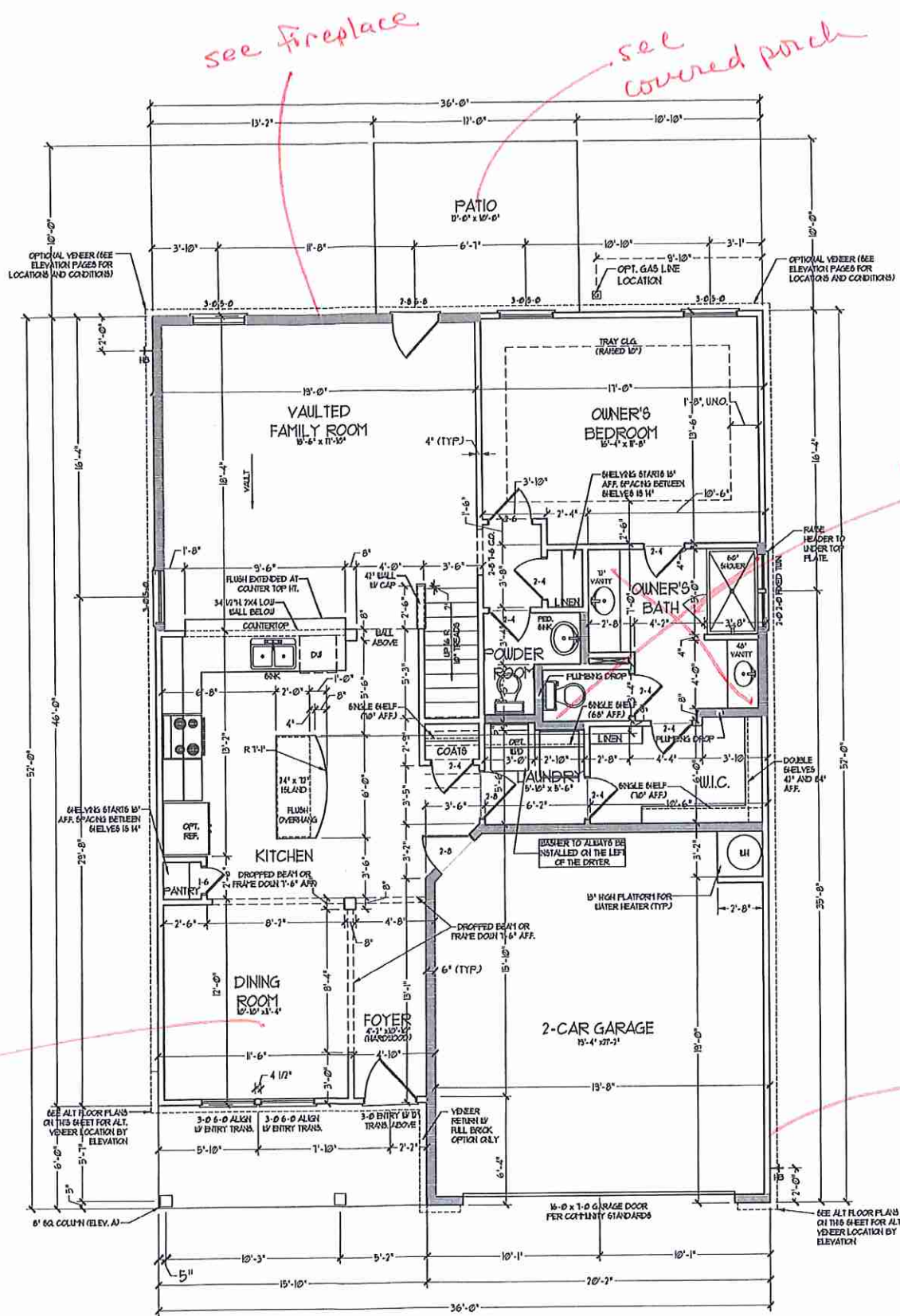


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B-2 & B-3  
ELEVATIONS  
WITH STONE

*DM* A-2.1



SQUARE FOOTAGE	
1st FLOOR	1591 SQ. FT.
2nd FLOOR	1051 SQ. FT.
TOTAL	2642 SQ. FT.
GARAGE	419 SQ. FT.
FRONT PORCH	89 SQ. FT.
STD. REAR PATIO	100 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE	10 SQ. FT.
2nd FLOOR OPTIONS	
OPT. WINDOW BOX AT BEDROOM 1	9 SQ. FT.
UNHEATED OPTIONS	
OPT. BASEMENT	1110 SQ. FT.
OPT. 1-CAR GARAGE	140 SQ. FT.
OPT. REAR COVERED PORCH	100 SQ. FT.
OPT. 11'-0" X 10'-0" PATIO	100 SQ. FT.

SQUARE FOOTAGE (W/ FULL BRICK)	
1st FLOOR	1629 SQ. FT.
2nd FLOOR	1054 SQ. FT.
TOTAL	2683 SQ. FT.
GARAGE	419 SQ. FT.
FRONT PORCH	89 SQ. FT.
STD. REAR PATIO	100 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE	11 SQ. FT.
2nd FLOOR OPTIONS	
WINDOW BOX AT BEDROOM 1 (ELEV. C ONLY)	9 SQ. FT.
UNHEATED OPTIONS	
OPT. BASEMENT	1110 SQ. FT.
OPT. 1-CAR GARAGE	140 SQ. FT.
OPT. REAR COVERED PORCH	100 SQ. FT.
OPT. 11'-0" X 10'-0" PATIO	100 SQ. FT.

NOTE: ALL EXTERIOR WALLS AND ATIC WALLS ARE TO BE 2 x 4 @ 16" O.C. (AND) ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (AND) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (AND)

2-8 WALL

1-6 UNHEATED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

see coffered ceiling

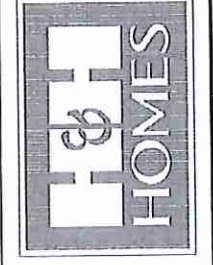
SEE PARTIAL FLOOR PLANS ON SHEET A-1, B-1, AND C-1 FOR CHANGES TO THE EXTERIOR VENEER FOR ALL ELEVATIONS.

FIRST FLOOR PLAN  
(A-1, B-1, AND C-1)

see Owner's Bath Opt. #2

see service door

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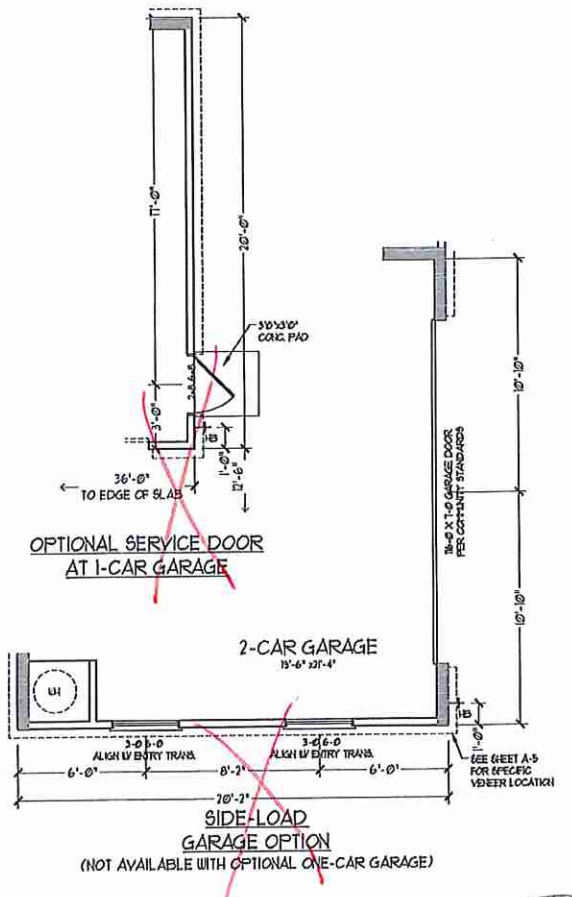
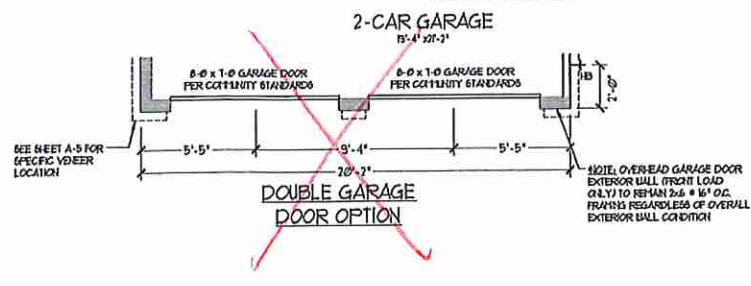
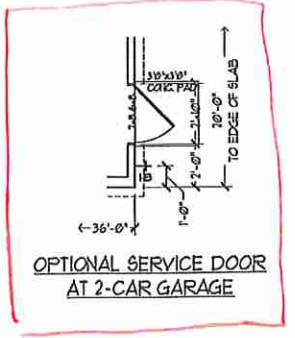
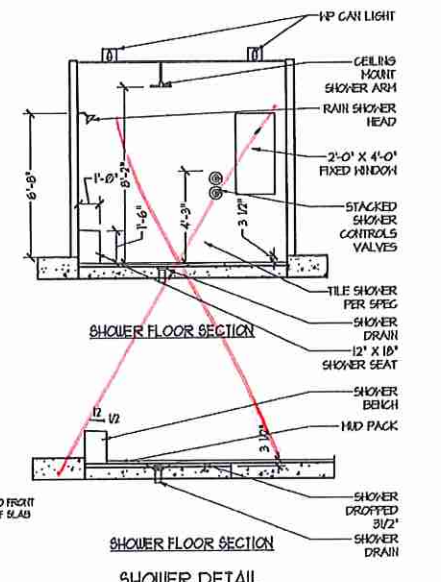
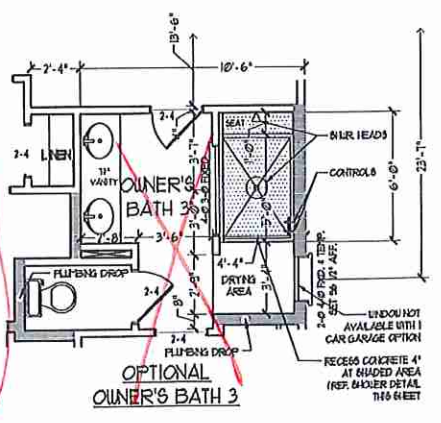
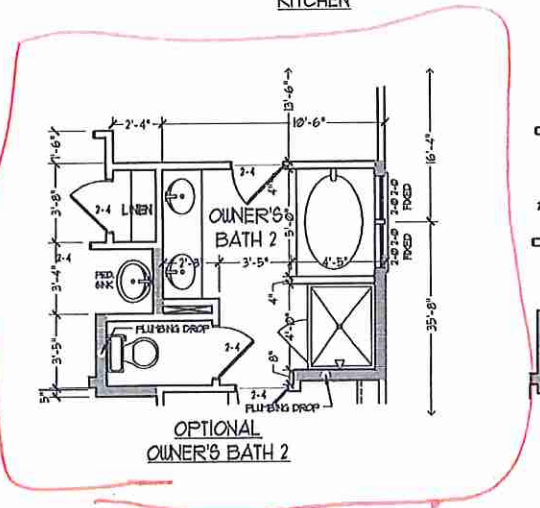
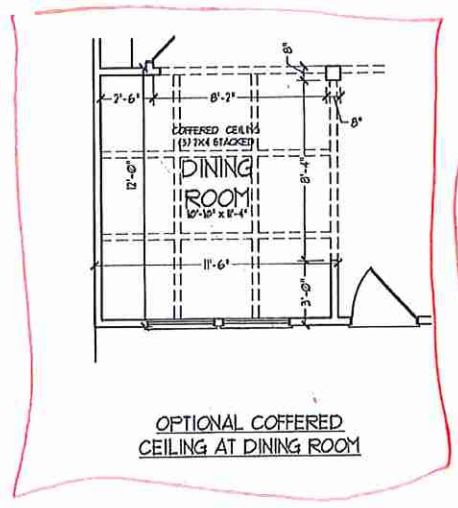
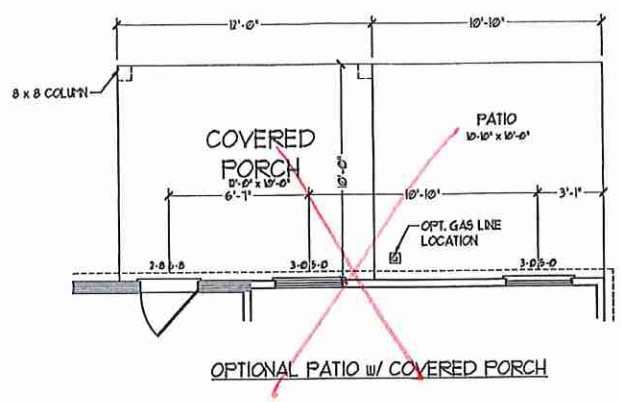
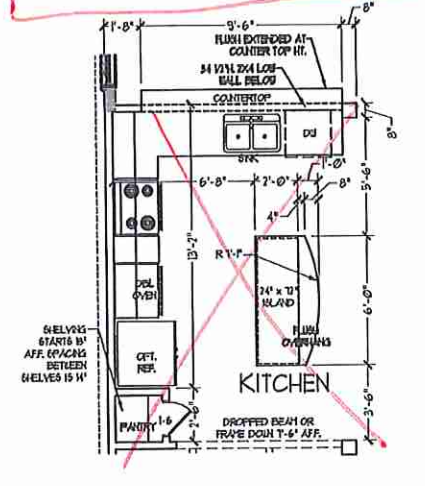
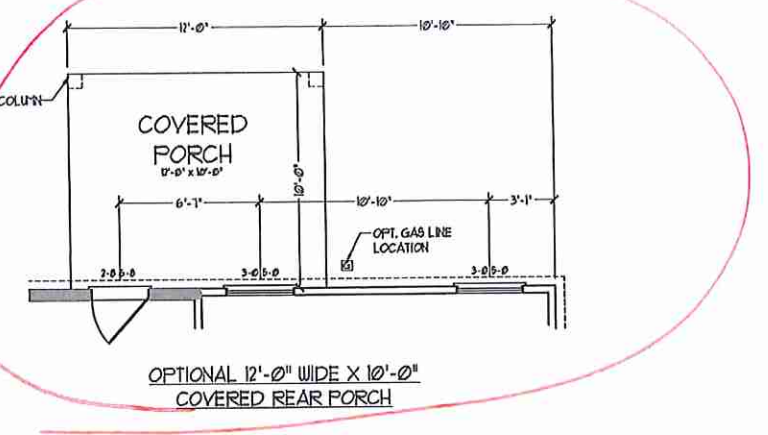
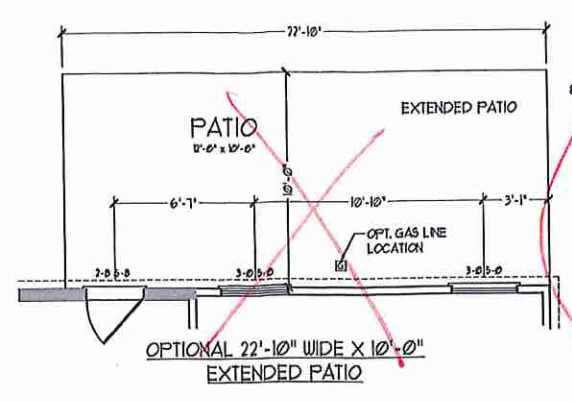
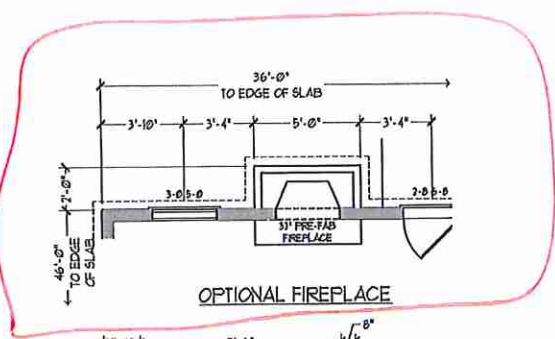
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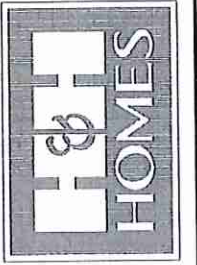
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FIRST FLOOR PLAN  
A-6

Handwritten signature or initials.



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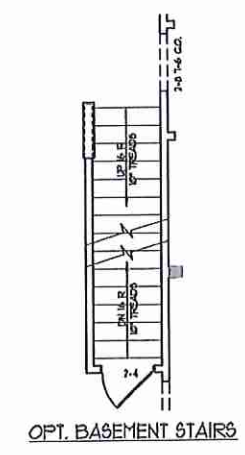
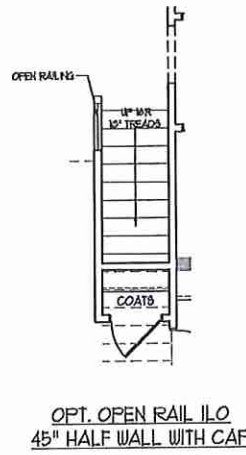
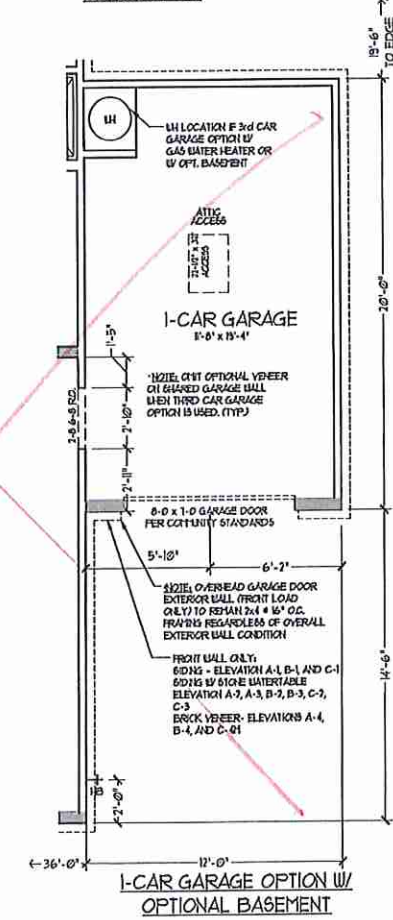
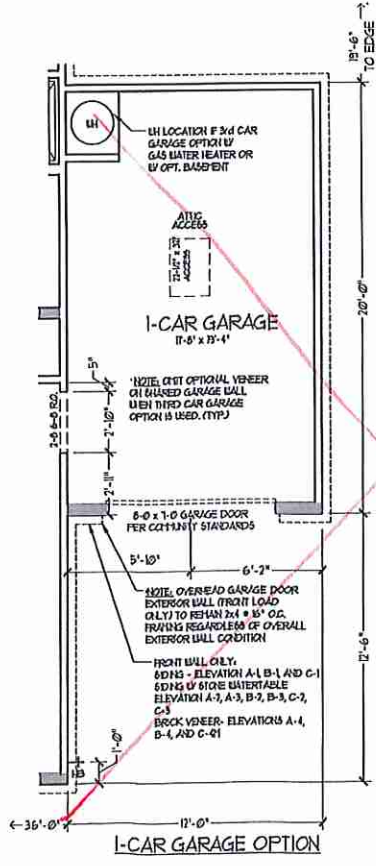
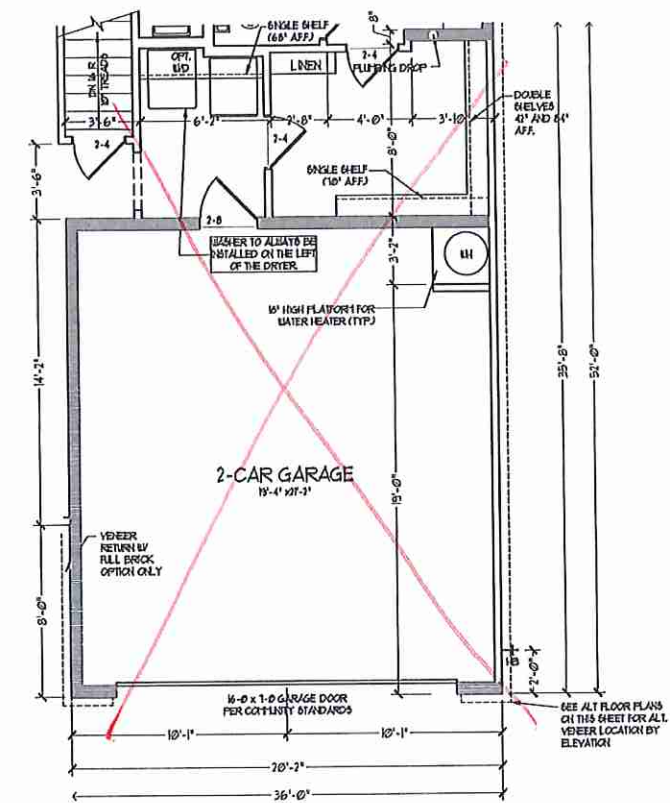
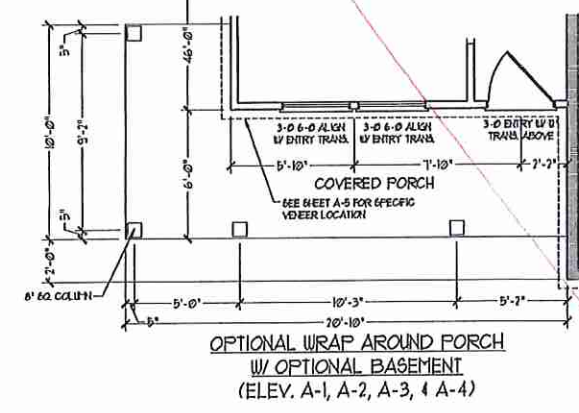
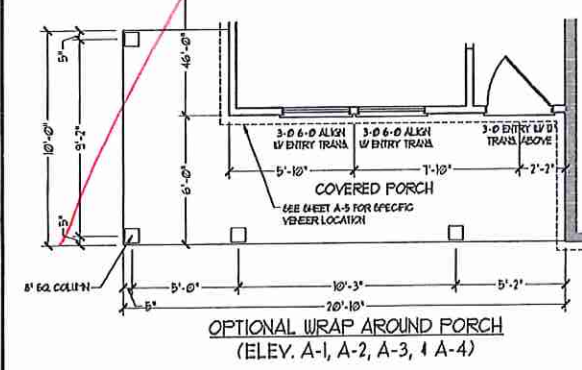
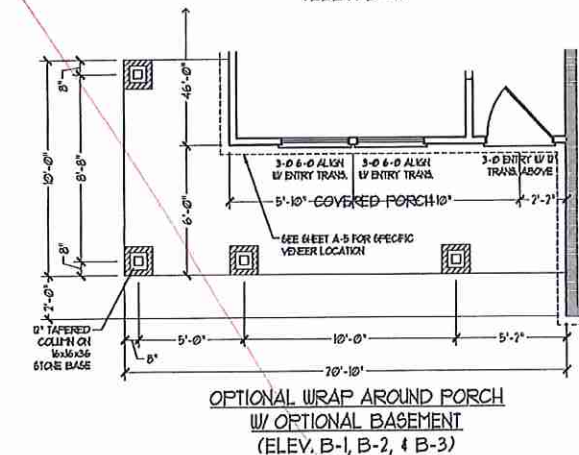
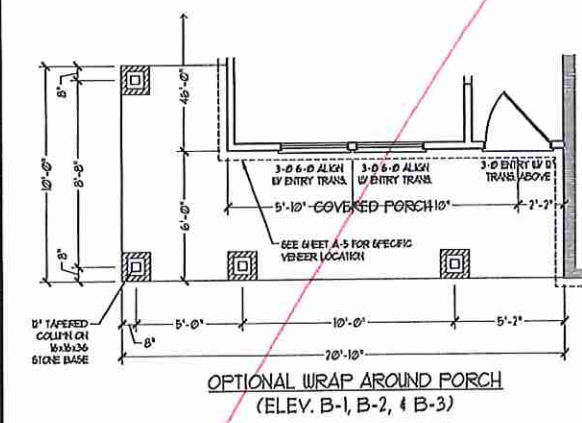
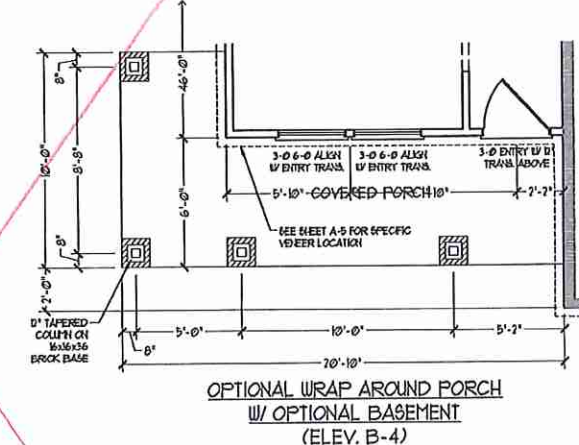
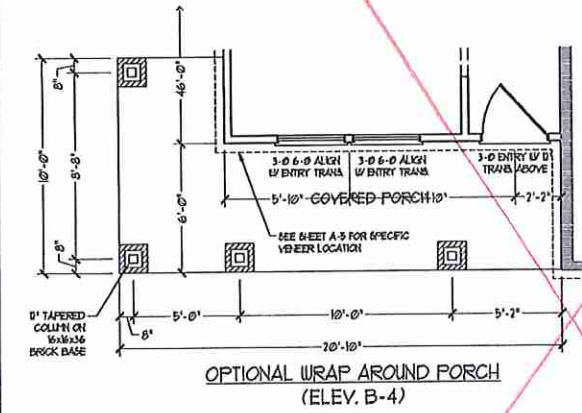
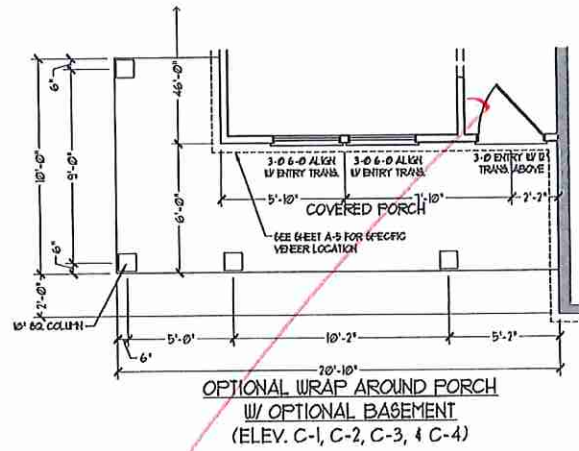
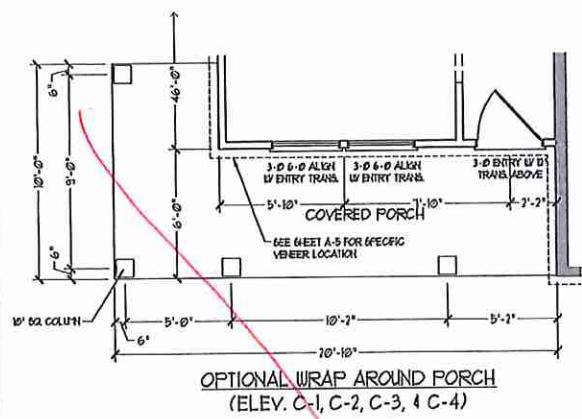


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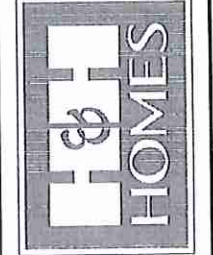
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SCALE: 1/4" = 1'-0"  
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ENGINEERED BY:  
REVIEWED BY:  
FIRST FLOOR  
OPTIONS w/ OR  
w/o BASEMENT

A-6.1



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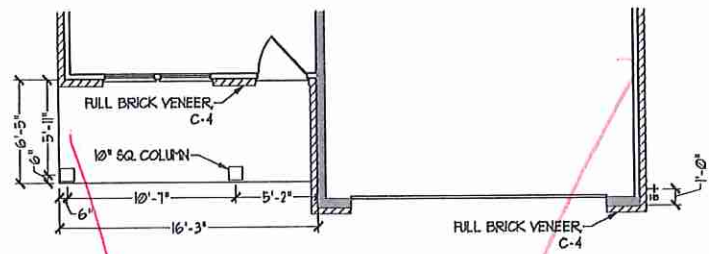


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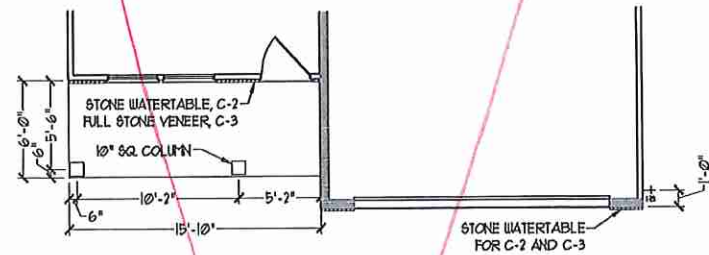
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**JORDAN**

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ENGINEERED BY:  
REVIEWED BY:  
FIRST FLOOR  
OPTIONS w/ AND  
w/o BASEMENT

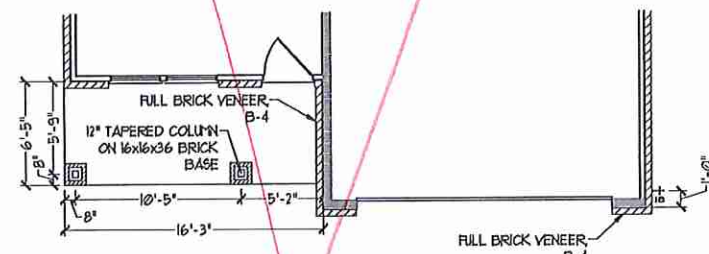
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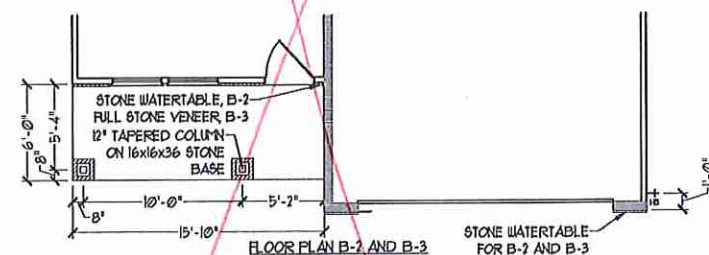
FLOOR PLAN C-4  
(W/ OPTIONAL BASEMENT)



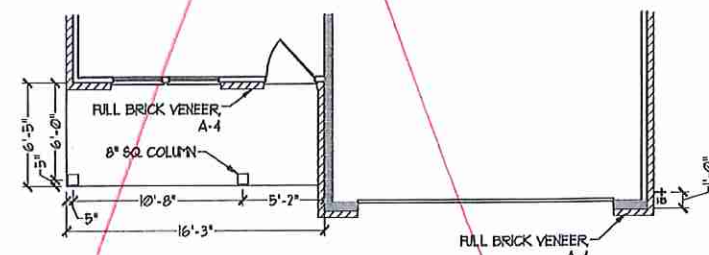
FLOOR PLAN C-2 AND C-3  
(W/ OPTIONAL BASEMENT)



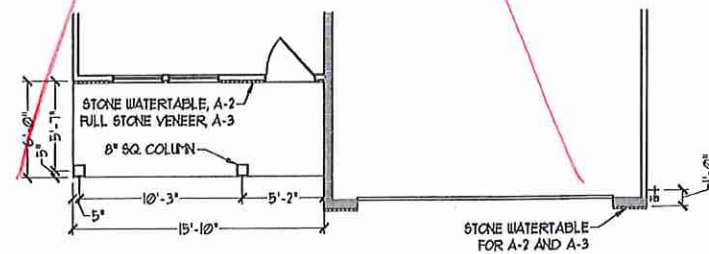
FLOOR PLAN B-4  
(W/ OPTIONAL BASEMENT)



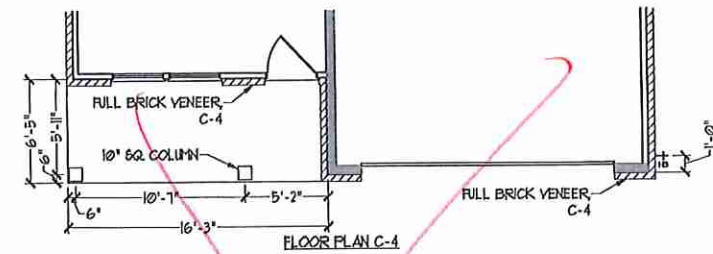
FLOOR PLAN B-2 AND B-3  
(W/ OPTIONAL BASEMENT)



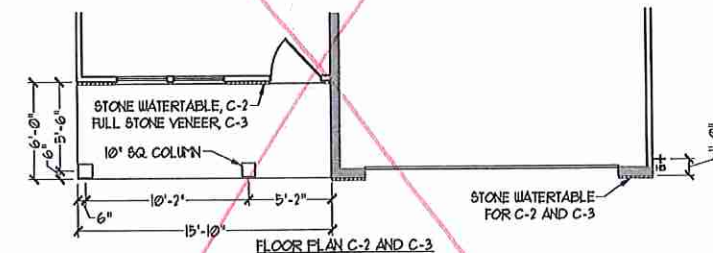
FLOOR PLAN A-4  
(W/ OPTIONAL BASEMENT)



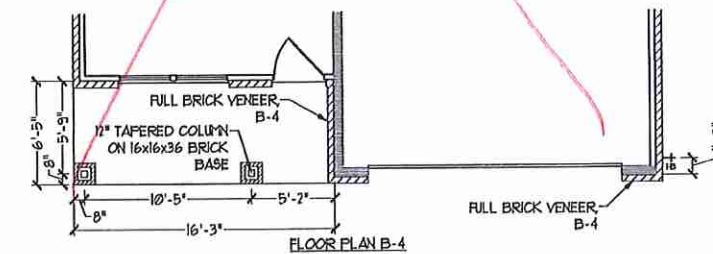
FLOOR PLAN A-2 AND A-3  
(W/ OPTIONAL BASEMENT)



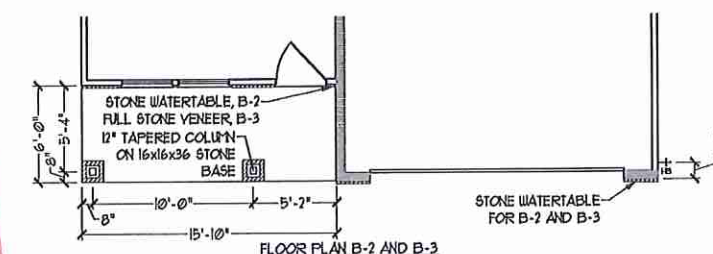
FLOOR PLAN C-4



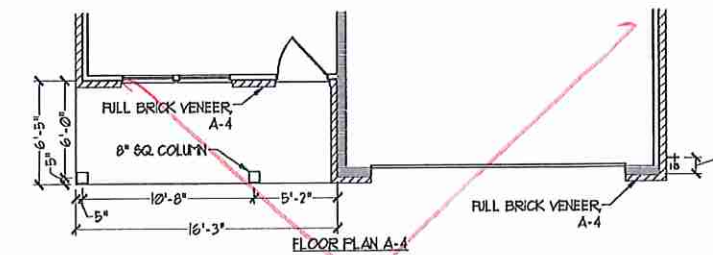
FLOOR PLAN C-2 AND C-3



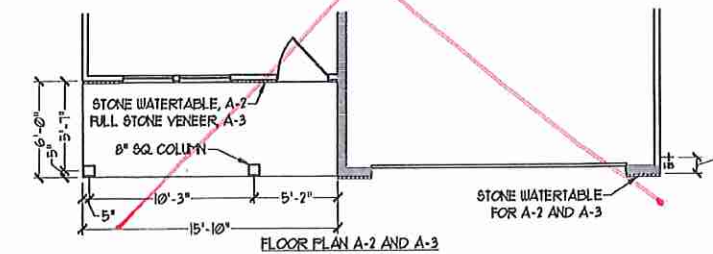
FLOOR PLAN B-4



FLOOR PLAN B-2 AND B-3

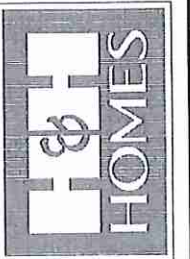


FLOOR PLAN A-4



FLOOR PLAN A-2 AND A-3

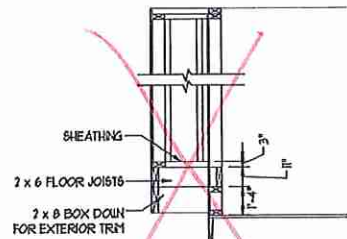
**J.S. THOMPSON  
ENGINEERING, INC.**  
600 WADE AVE., SUITE 101  
KALEIDOSCOPE, NC 27005  
PHONE: (919) 280-0519  
FAX: (919) 280-0521  
N.C. LICENSE NO. C113



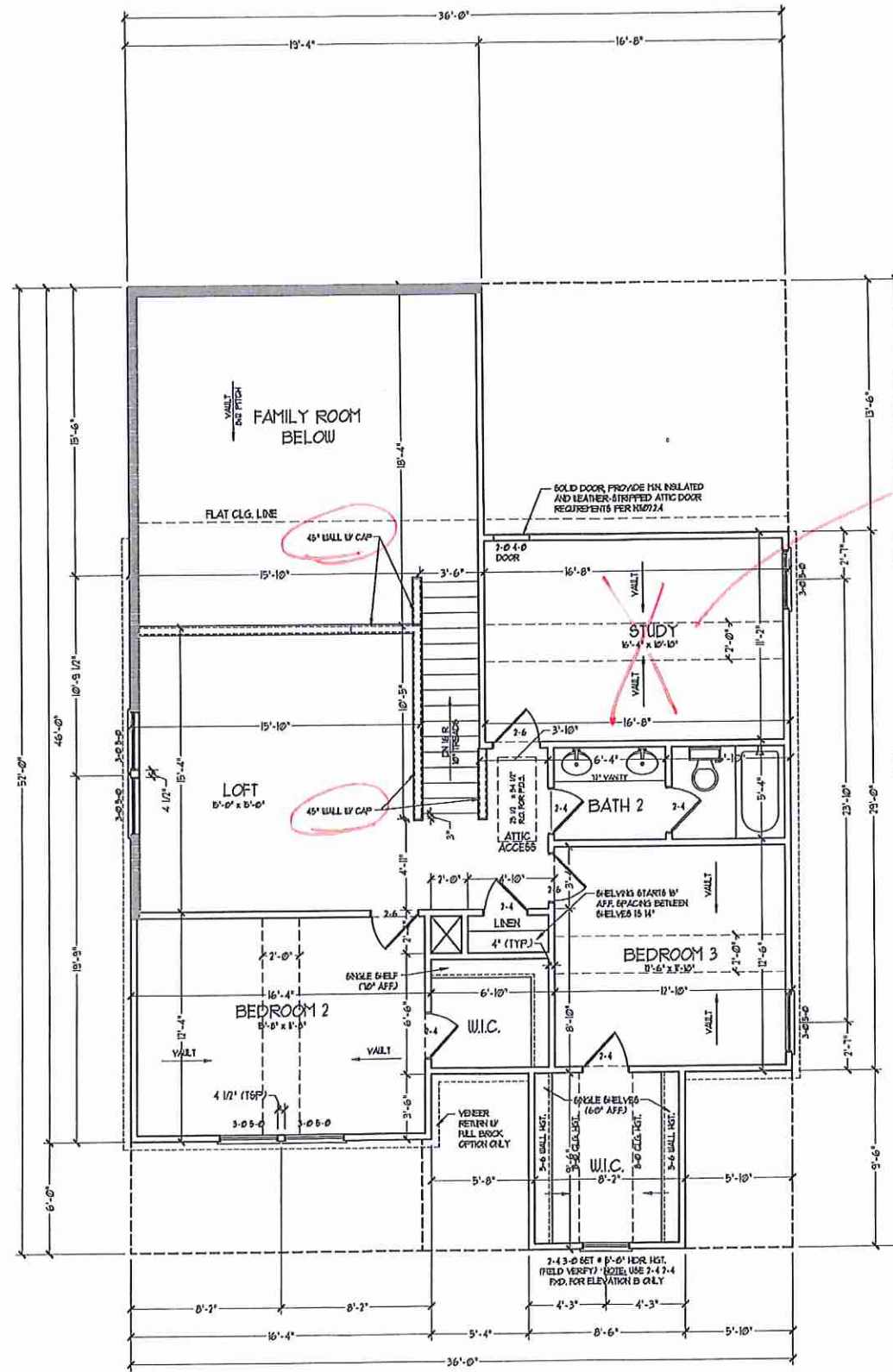
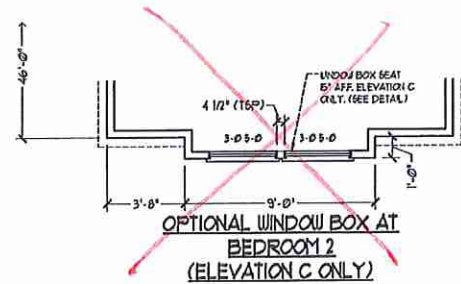
ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED.  
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE  
LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL  
BUILDING CODE. MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE  
WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS  
ARE ESTIMATED AND MAY VARY IN ACTUAL  
CONSTRUCTION. ALL DIMENSIONS SHALL BE  
DETERMINED BY THE SITE PLAN AND LOT PLAN.  
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**JORDAN**

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:  
FIRST FLOOR  
PARTIAL PLANS  
W/ & W/O  
BASEMENT  
**A-6.3**



WINDOW BOX DETAIL  
(ELEVATION C ONLY)  
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN  
(A-1, B-1, AND C-1)

see  
PR # 4

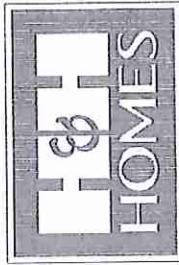
NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16" O.C. (16G). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (16G) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (16G)

2x6 WALL  
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

PROVIDE MINIMUM INSULATION IN CEILINGS AND WALLS PER SECTION N 1022

SEE PARTIAL FLOOR PLANS ON SHEET A-5/2 FOR CHANGES TO THE EXTERIOR VENEER FOR ALL ELEVATIONS

**J.S. THOMPSON ENGINEERING, INC.**  
106 W. WADE AVE., SUITE 101  
RALEIGH, NC 27605  
PHONE: (919) 786-9919  
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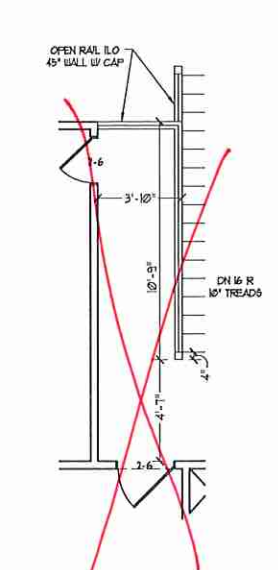
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

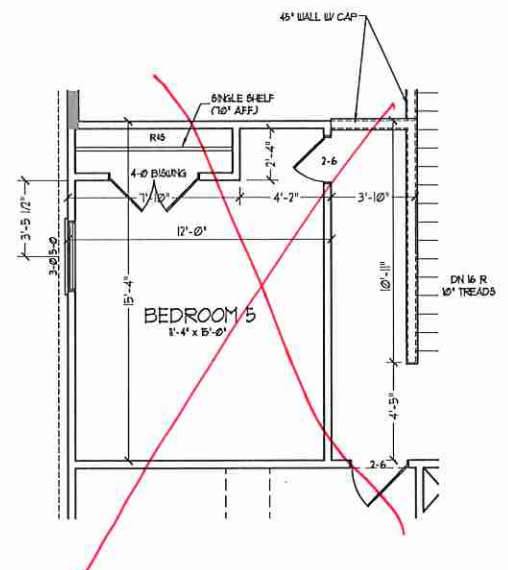
SECOND FLOOR PLAN

A-7

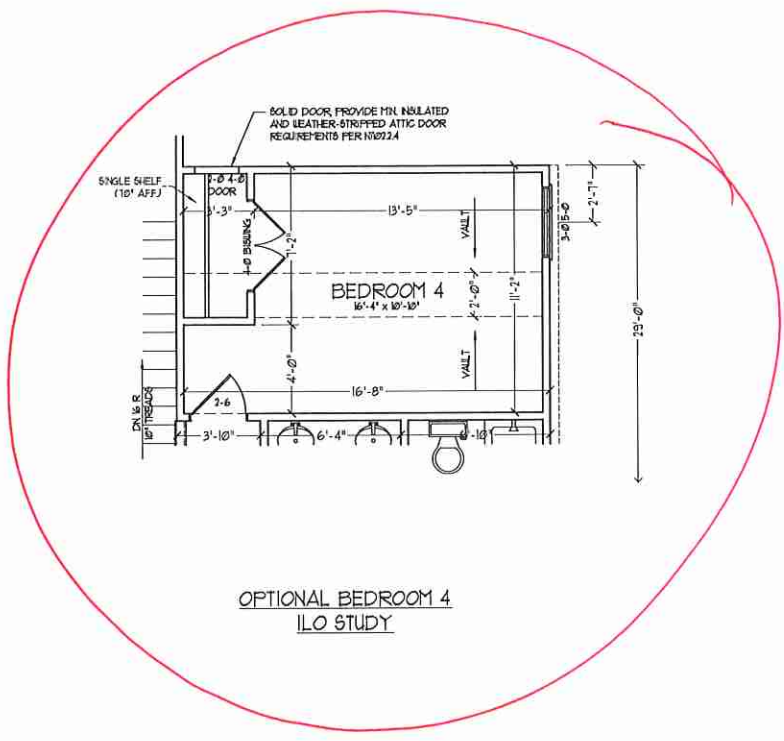




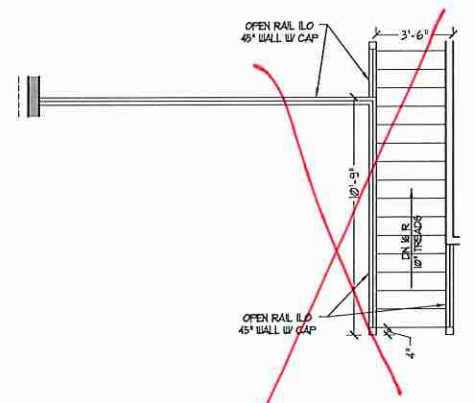
OPTIONAL OPEN RAIL ILO  
45° WALL W/ CAP W/  
BEDROOM 5 ILO LOFT



OPTIONAL BEDROOM 5  
ILO LOFT



OPTIONAL BEDROOM 4  
ILO STUDY



OPEN RAIL ILO 45° WALL  
W/ CAP

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RALEIGH, NC 27605  
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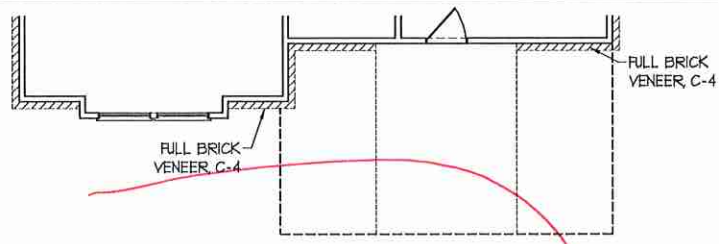


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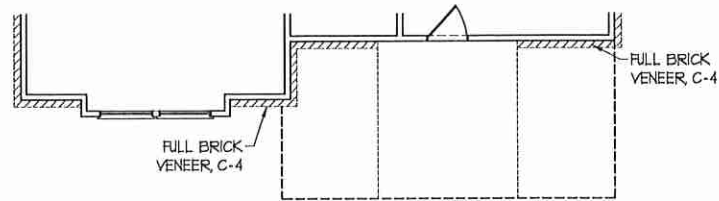
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

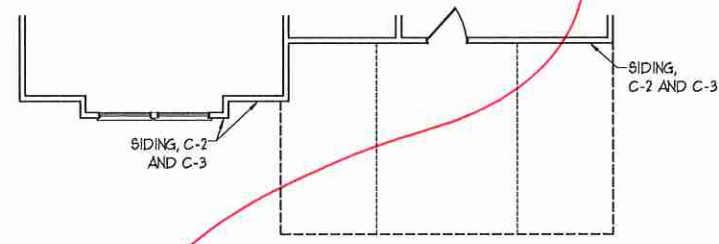
SECOND FLOOR  
OPTIONS  
A-7.1



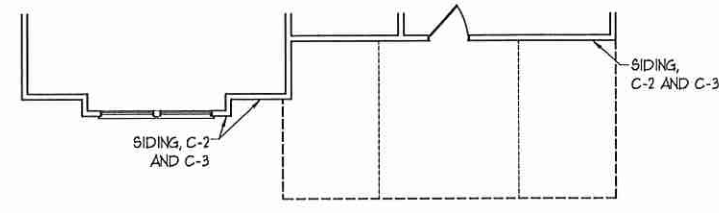
FLOOR PLAN C-4  
(w/ OPTIONAL BASEMENT)



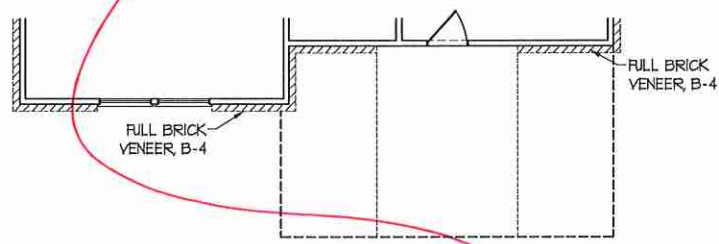
FLOOR PLAN C-4



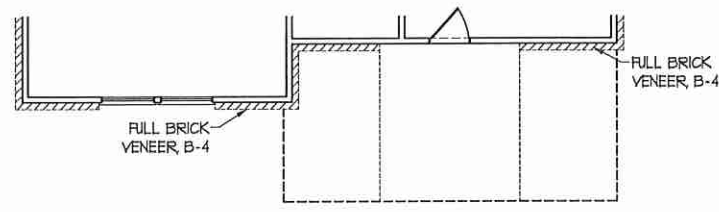
FLOOR PLAN C-2 AND C-3  
(w/ OPTIONAL BASEMENT)



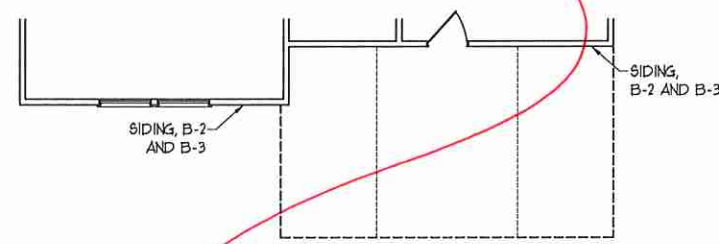
FLOOR PLAN C-2 AND C-3



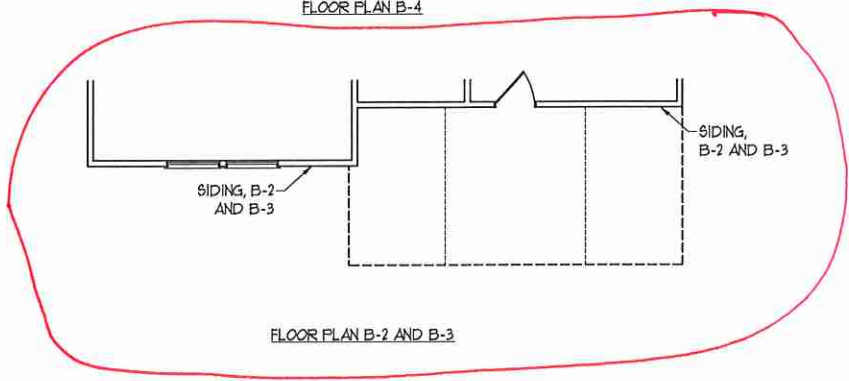
FLOOR PLAN B-4  
(w/ OPTIONAL BASEMENT)



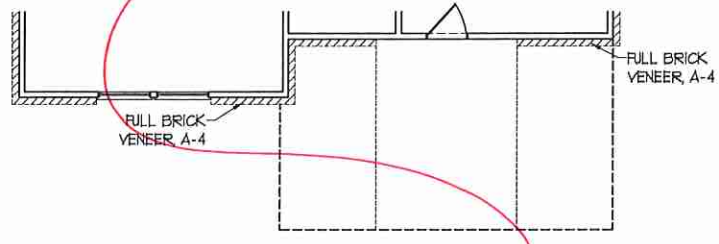
FLOOR PLAN B-4



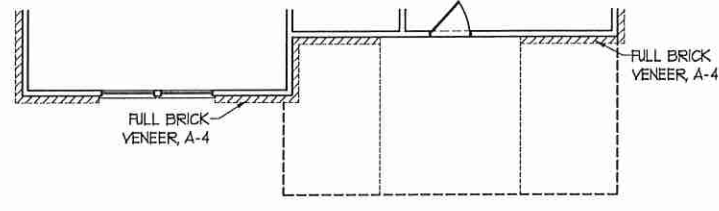
FLOOR PLAN B-2 AND B-3  
(w/ OPTIONAL BASEMENT)



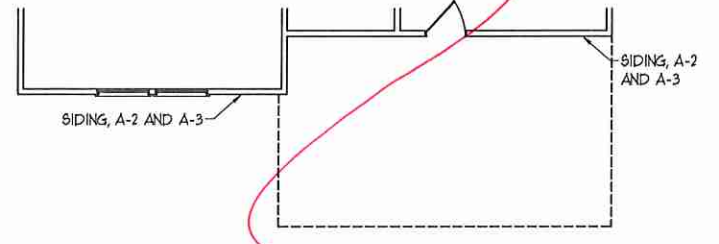
FLOOR PLAN B-2 AND B-3



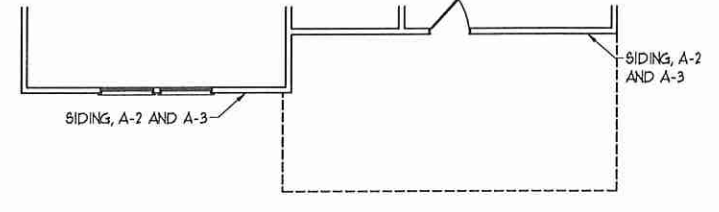
FLOOR PLAN A-4  
(w/ OPTIONAL BASEMENT)



FLOOR PLAN A-4

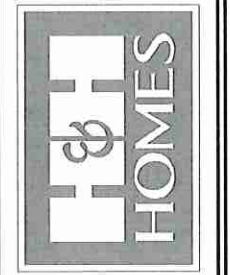


FLOOR PLAN A-2 AND A-3  
(w/ OPTIONAL BASEMENT)



FLOOR PLAN A-2 AND A-3

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600 WATKINS AVE., SUITE 100  
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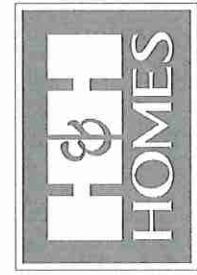
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
REV.: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

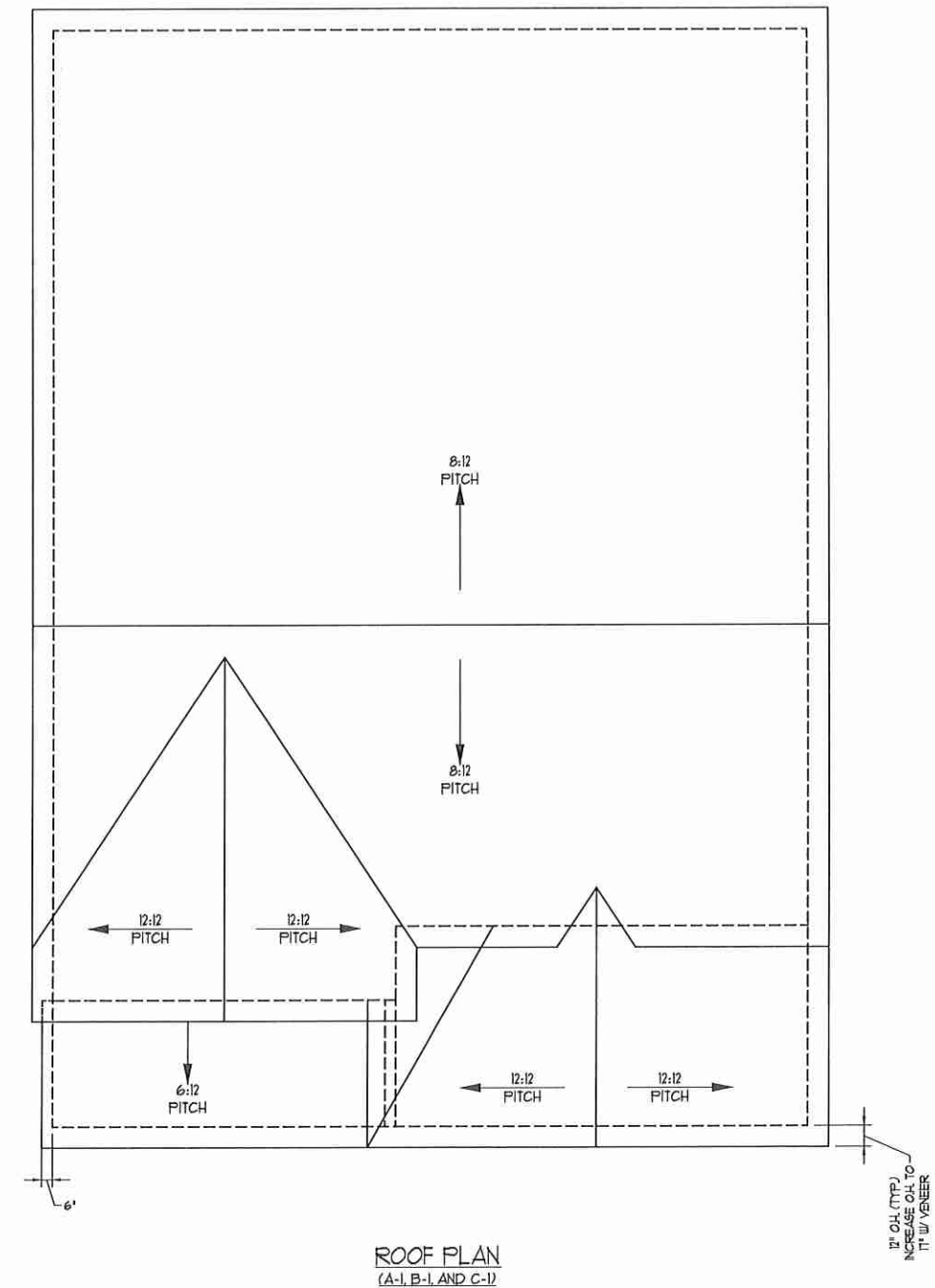
SECOND FLOOR  
PARTIAL PLANS  
A-7.2

TOTAL UNDER ROOF AREA:	162 SQ. FT. / 30'	162 SQ. FT.		
VENTING AREA REQUIRED:	107 SQ. FT. / 20'	535 SQ. FT.		
TOTAL REQUIREMENTS:	107 SQ. FT. / 20'	OFFER: 274		
LOWER AREA VENTING				
SOFTII VENT	SIZE:	PER USE:	FUNTS:	PROVIDED:
	84" SILE	102" 0"	42	
LOWER AREA VENTING PROVIDED:				
UPPER AREA VENTING				
ROOF VENT	SIZE:	PER USE:	FUNTS:	PROVIDED:
	125 SILE	32" 0"	40	
UPPER AREA VENTING PROVIDED:				
TOTAL AREA PROVIDED:				82
SOFTII AND ROOF VENT:				

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608 VALLEY AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 289-0919  
FAX: (919) 289-0921  
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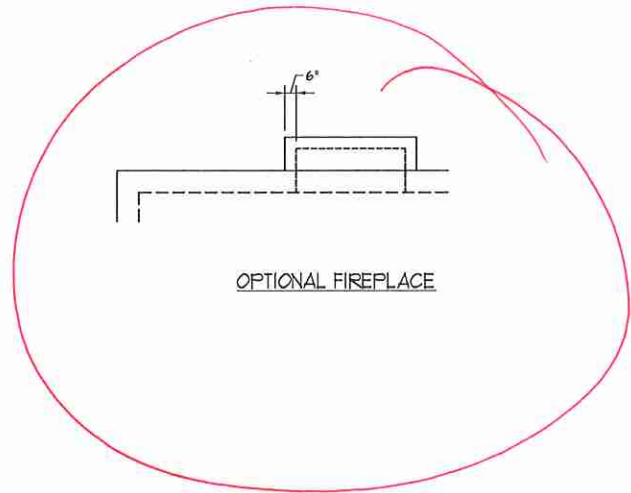
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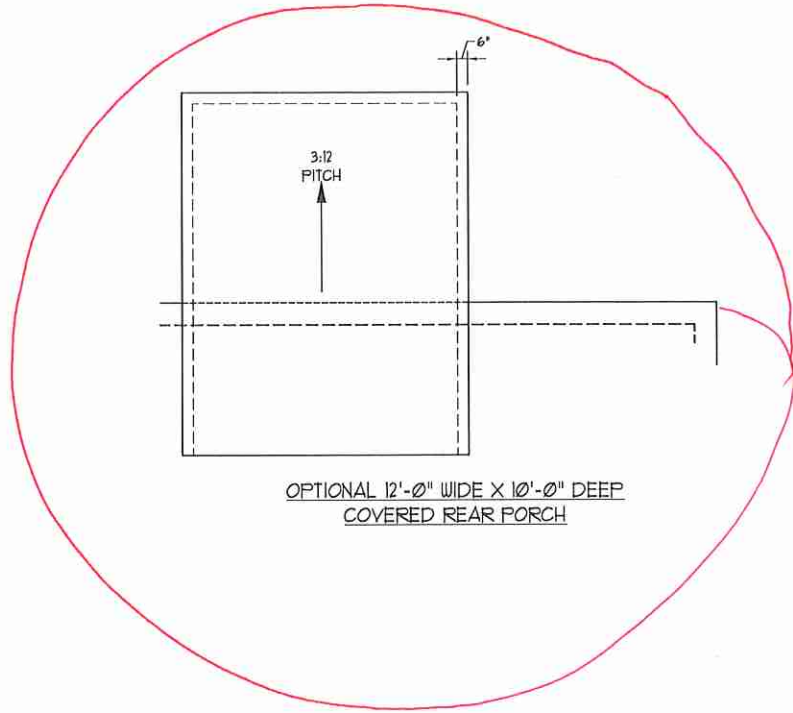
ROOF PLAN  
(A-1, B-1, AND C-1)

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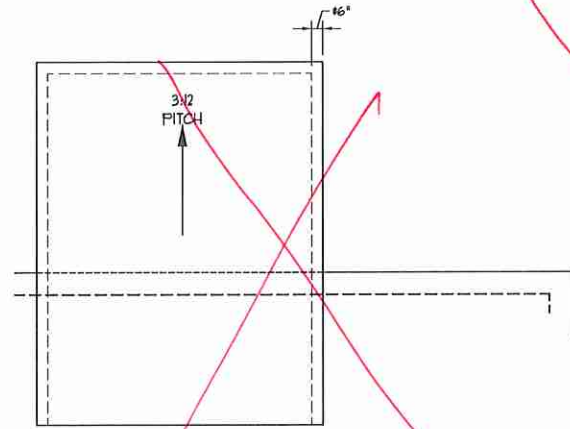
DATE: MARCH 15, 2019  
REV: MAY 01, 2020  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:  
ROOF PLAN  
ELEVATIONS  
A&B  
A-8



OPTIONAL FIREPLACE



OPTIONAL 12'-0" WIDE X 10'-0" DEEP  
COVERED REAR PORCH



OPTIONAL 12'-0" WIDE X 10'-0" DEEP  
COVERED REAR PORCH W/ PATIO

**J.S. THOMPSON  
ENGINEERING, INC.**  
630 WATKINS AVE., SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 785-9919  
FAX: (919) 785-9921  
N.C. LICENSE NO. G1733

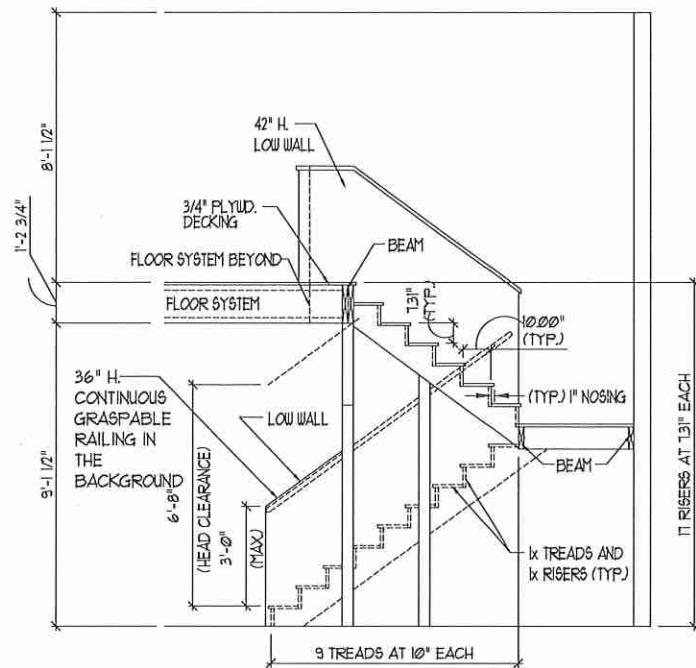


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SCALE: 1/4" = 1'-0"  
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ENGINEERED BY:  
REVIEWED BY:  
ROOF PLAN  
ELEVATION - A/B  
& C

A-8.2



TYPICAL STAIR DETAIL  
(NTS)

STAIR NOTES:

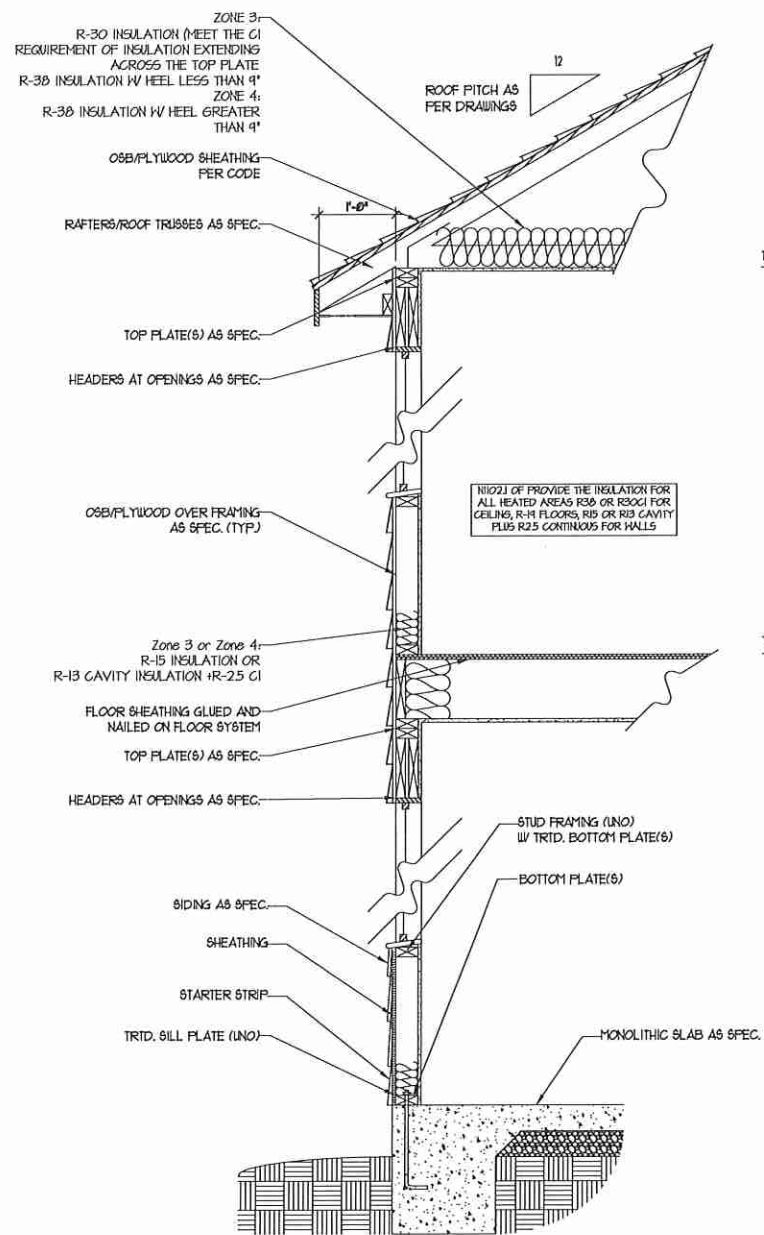
**RAILING**  
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.

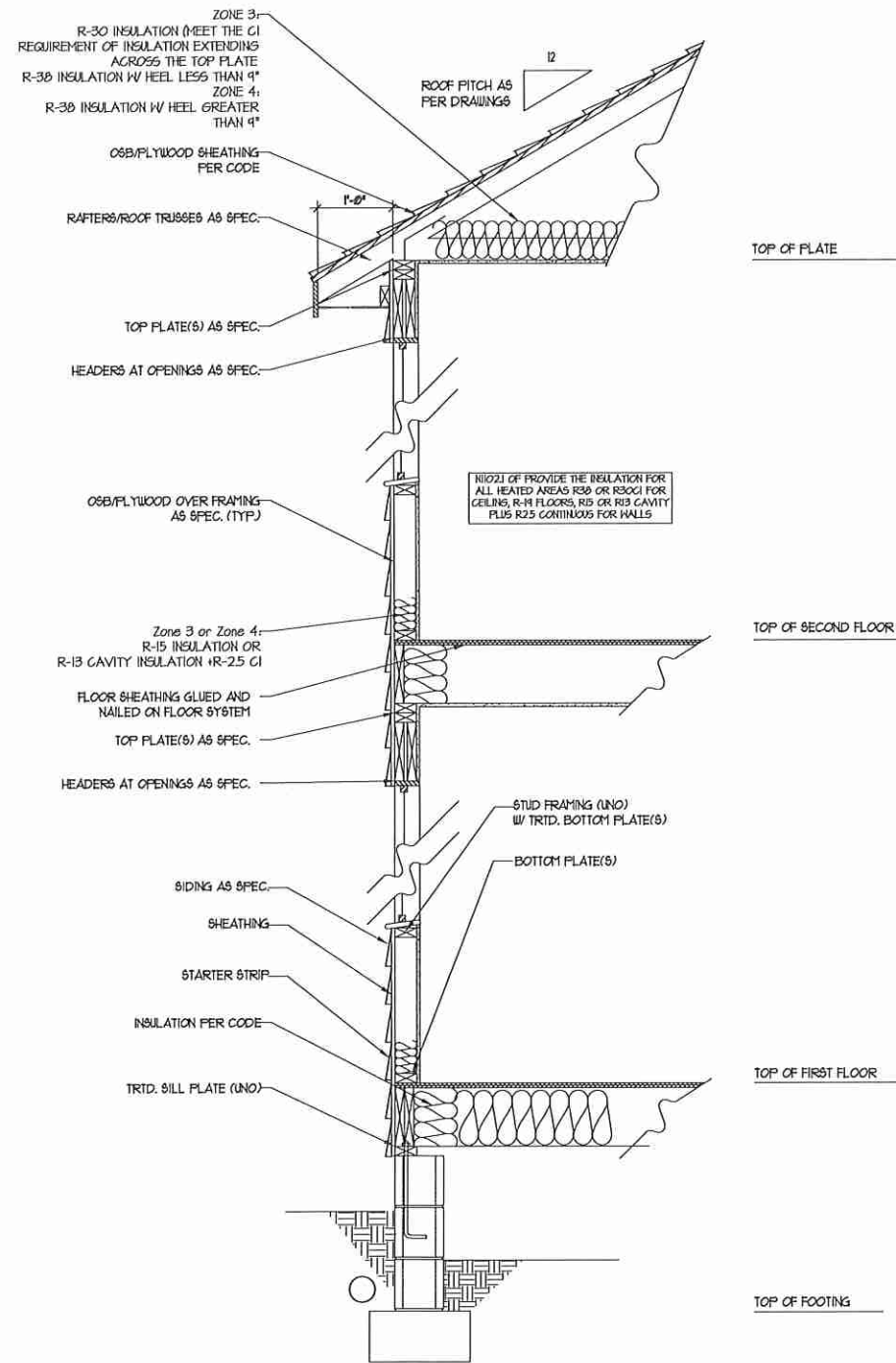
OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.

**HANDRAILS**  
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2 INCH BETWEEN THE WALL AND HANDRAILS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA

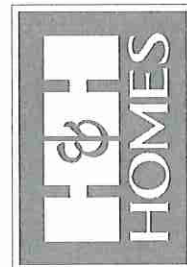


WALL SECTION W/ SLAB  
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE  
W/ STD. SIDING SHOWN (NTS)

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ENGINEERING, INC.  
600 W. VALENTINE, SUITE 104  
RALEIGH, NC 27605  
PHONE: (919) 789-9919  
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DATE: MARCH 15, 2019

REV.: MAY 01, 2020

SCALE: 1/4"=1'-0"

DRAWN BY:

ENGINEERED BY:

REVIEWED BY:

WALL SECTIONS  
AND STAIR  
DETAIL

AD-1

*see fireplace*

*see covered porch*

RECESSED CAN

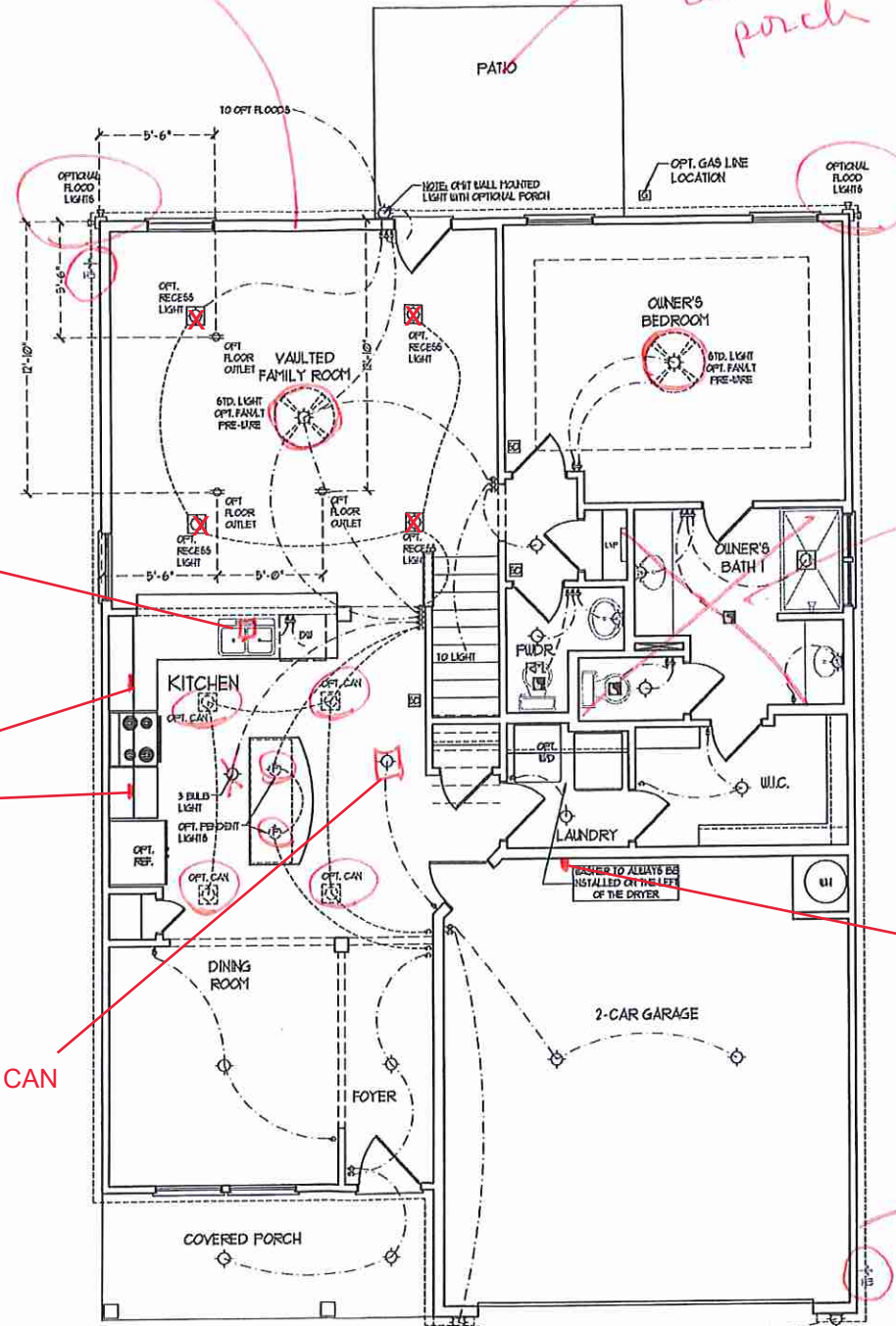
2 UNDER CABINET LIGHTS

RECESSED CAN

*see Owner's Bath Opt # 2*

DEDICATED 110V GFCI OUTLET

*see Switch Down*



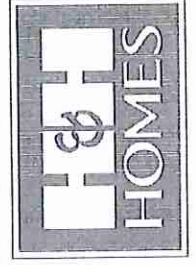
**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET # 50" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
- 4) PLACE SWITCHES 6" FROM ROUGH OPENING

**ELECTRICAL LEGEND**

	120 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	MINI CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRES
	BREAKER
	DOORBELL CHIME
	120 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN w/ LIGHT

**J.S. THOMPSON ENGINEERING, INC.**  
 600 W. WALKER AVE., SUITE 101  
 RALEIGH, NC 27609  
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H&H HOMES, INC.  
 JORDAN

DATE: MARCH 15, 2019  
 REV.: MAY 01, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

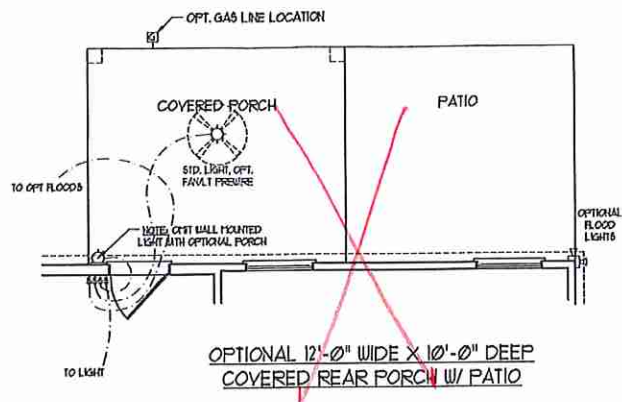
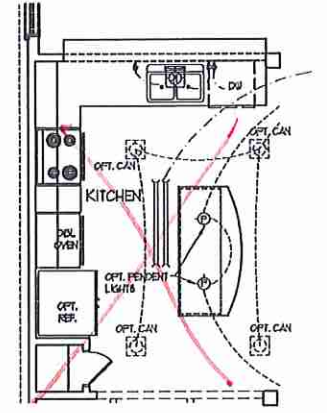
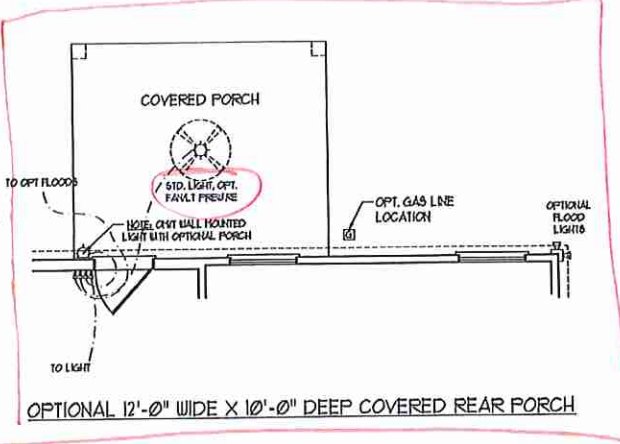
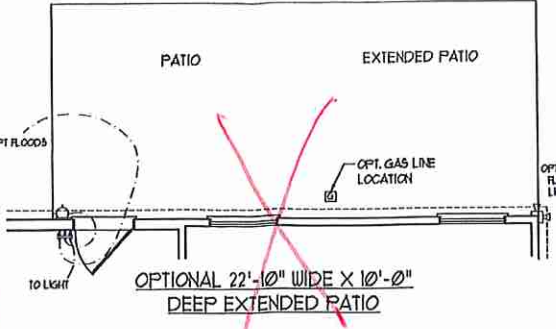
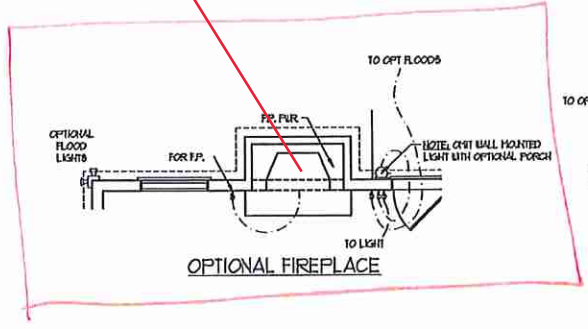
FIRST FLOOR ELECTRICAL PLAN

E-1

FIRST FLOOR PLAN  
 (A-1, B-1, AND C-1)



110 V OUTLET FOR TV

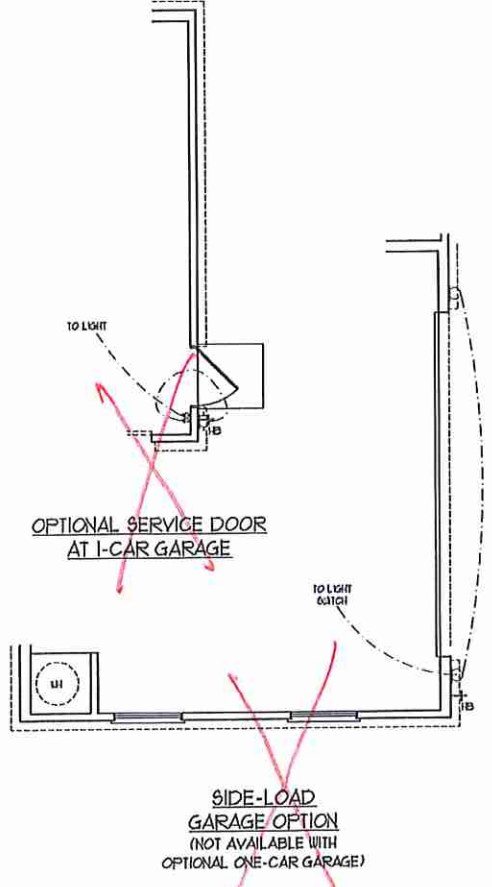
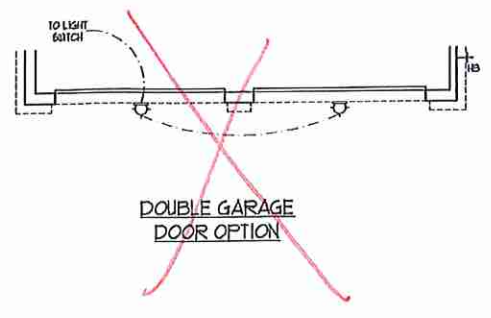
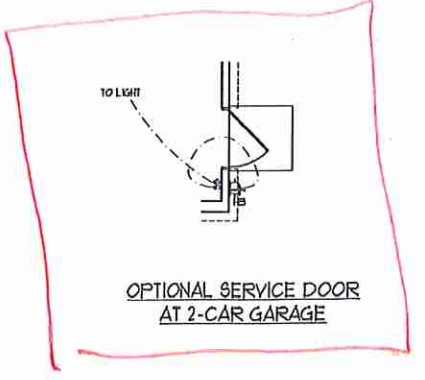
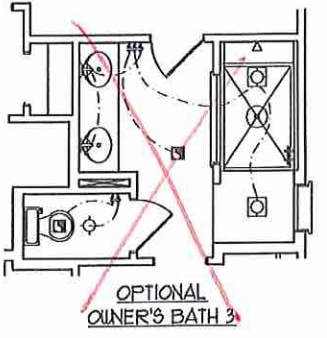
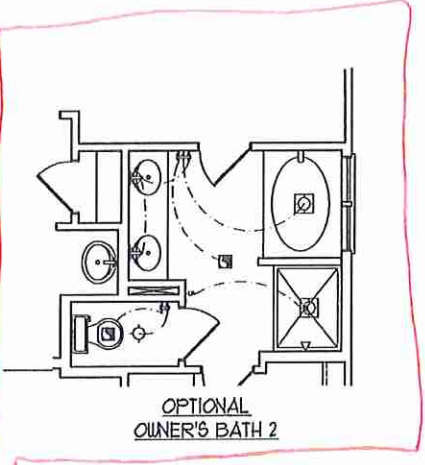
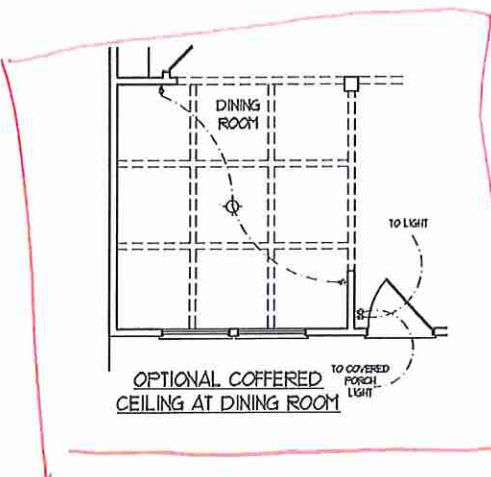


**ELECTRICAL LAYOUT NOTES:**

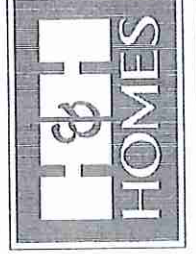
- 1) BLOCK AND HIRE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET # 30" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
- 4) PLACE SWITCHES 8" MIN FROM ROUGH OPENINGS.

**ELECTRICAL LEGEND**

	110 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	1 1/4\" CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAYER, 4\" FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CO DETECTOR FOR COMPONENT USES
	BREAKER
	DOORBELL CHIME
	110 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT



**J.S. THOMPSON ENGINEERING, INC.**  
 60 W. WEAVER, SUITE 104  
 RALEIGH, NC 27605  
 PHONE: (919) 979-9939  
 FAX: (919) 760-0021  
 N.C. LICENSE NO. C-11733



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 JORDAN

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 SCALE: 1/4" = 1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

FIRST FLOOR ELECTRICAL OPTIONS

E-1.1

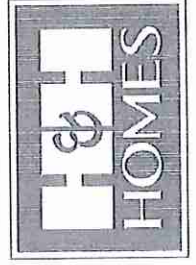
**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VARY LIGHTS TO BE SET @ 50' AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
- 4) PLACE SWITCHES 6" FROM ROUGH OPENING

**ELECTRICAL LEGEND**

	10 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	1/8" CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4 FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CIRCUIT FOR COPIED BUSES
	BREAKER
	DOORBELL CHIME
	10 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

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 RALEIGH, NC 27605  
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 FAX: (919) 286-9921  
 N.C. LICENSE NO. G-1133



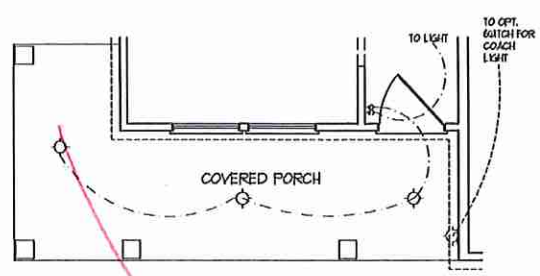
PLEASE PROMPTLY IDENTIFY FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2019 H&H HOMES

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**JORDAN**

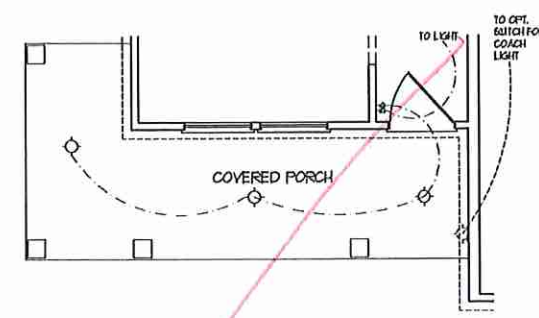
DATE: MARCH 15, 2019  
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 SCALE: 1/4"=1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

FIRST FLOOR ELECTRICAL OPTIONS

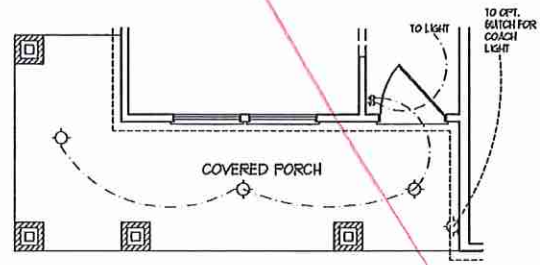
E-1.1



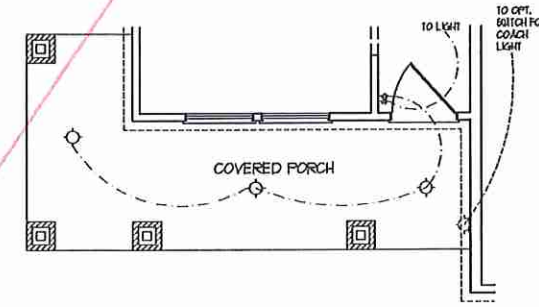
OPTIONAL WRAP AROUND PORCH  
 (ELEV. C-1, C-2, C-3, & C-4)



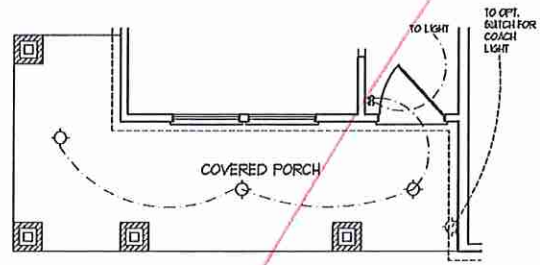
OPTIONAL WRAP AROUND PORCH  
 W/ OPTIONAL BASEMENT  
 (ELEV. C-1, C-2, C-3, & C-4)



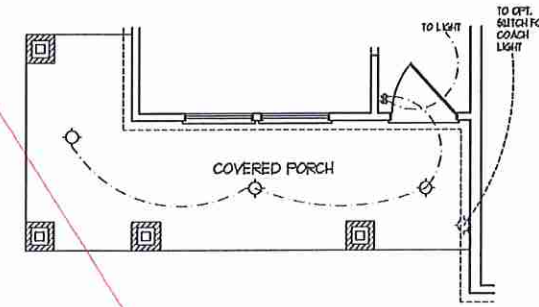
OPTIONAL WRAP AROUND PORCH  
 (ELEV. B-4)



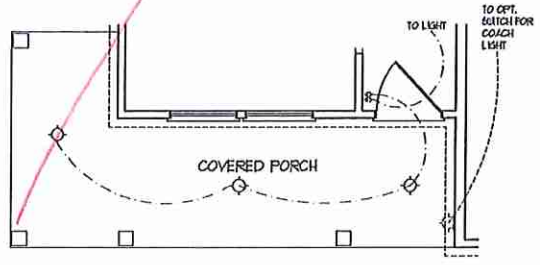
OPTIONAL WRAP AROUND PORCH  
 W/ OPTIONAL BASEMENT  
 (ELEV. B-4)



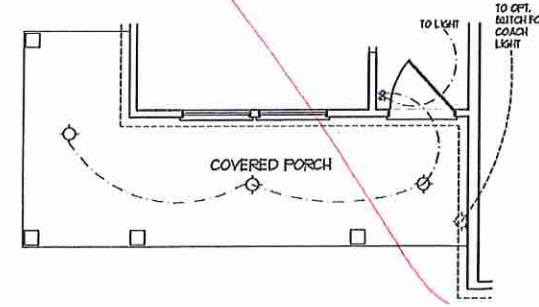
OPTIONAL WRAP AROUND PORCH  
 (ELEV. B-1, B-2, & B-3)



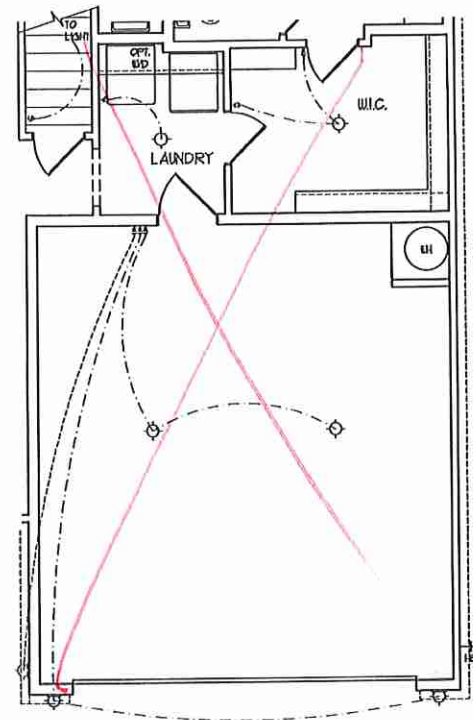
OPTIONAL WRAP AROUND PORCH  
 W/ OPTIONAL BASEMENT  
 (ELEV. B-1, B-2, & B-3)



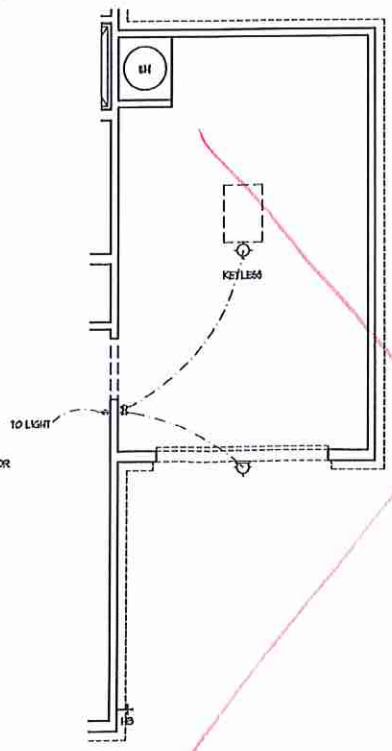
OPTIONAL WRAP AROUND PORCH  
 (ELEV. A-1, A-2, A-3, & A-4)



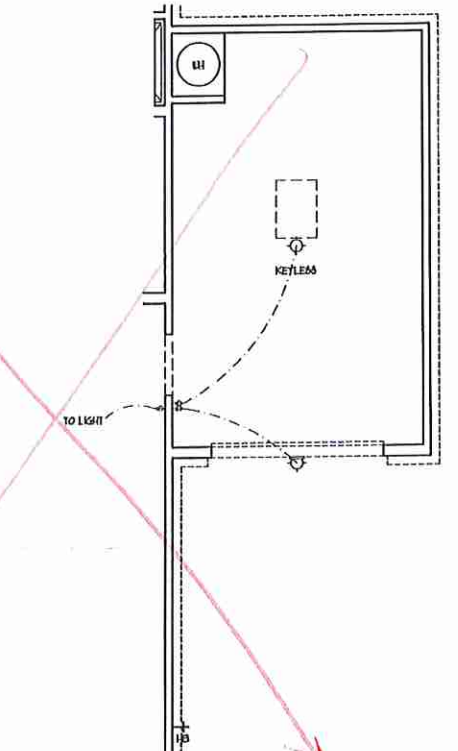
OPTIONAL WRAP AROUND PORCH  
 W/ OPTIONAL BASEMENT  
 (ELEV. A-1, A-2, A-3, & A-4)



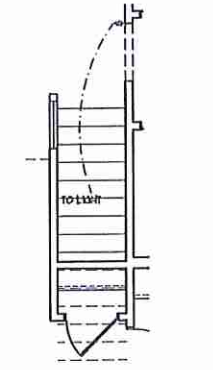
2-CAR GARAGE W/  
 OPTIONAL BASEMENT  
 (A-1, B-1, AND C-1)



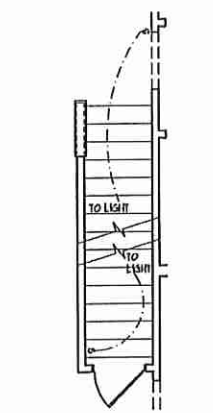
1-CAR GARAGE OPTION



1-CAR GARAGE OPTION



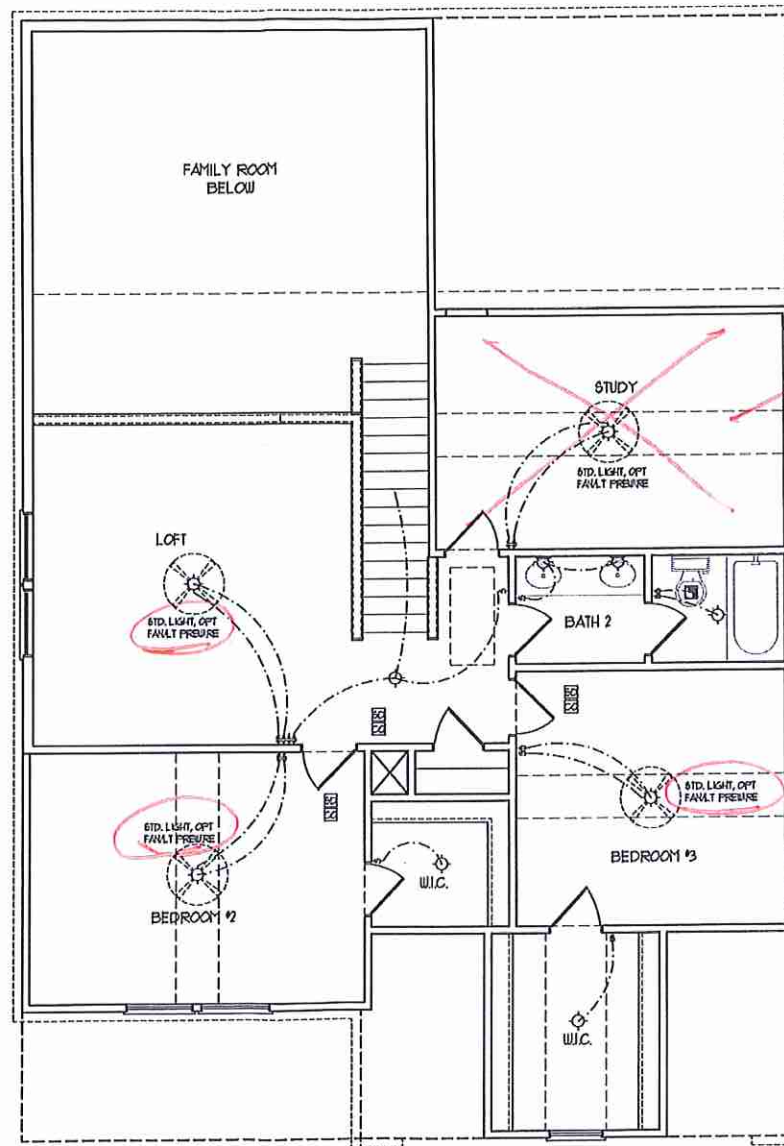
OPT. OPEN RAIL ILO  
 45" HALF WALL WITH CAP



OPT. BASEMENT STAIRS



~~OPTIONAL WINDOW BOX AT  
BEDROOM 2  
(ELEVATION & ONLY)~~



**ELECTRICAL LAYOUT NOTES:**

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET @ 50" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
- 4) PLACE SWITCHES 6" FROM FRONT ROUGH OPENINGS

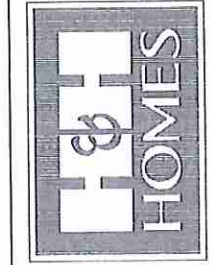
**ELECTRICAL LEGEND**

	10 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	TIN CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	3 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT WIRE
	BREAKER
	DOORBELL CHIME
	10 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

see BR #4

SECOND FLOOR PLAN  
(A-1, B-1, AND C-1)

**J.S. THOMPSON  
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RALEIGH, NC 27605  
PHONE: (919) 280-5919  
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N.C. LICENSE NO. 01733

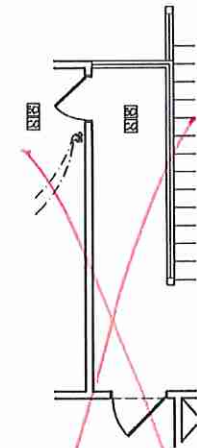


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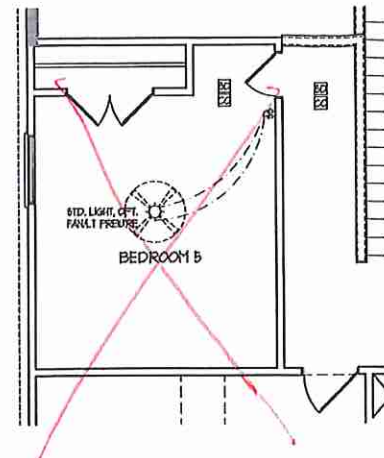
H&H HOMES, INC.  
JORDAN

DATE: MARCH 15, 2019  
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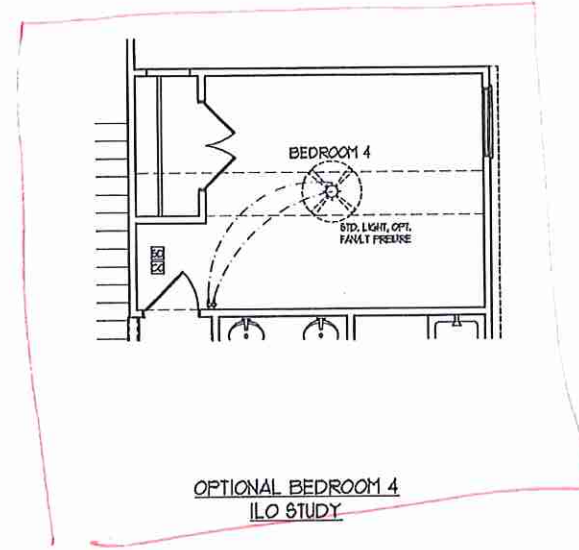
SECOND FLOOR  
ELECTRICAL  
PLAN  
E-2



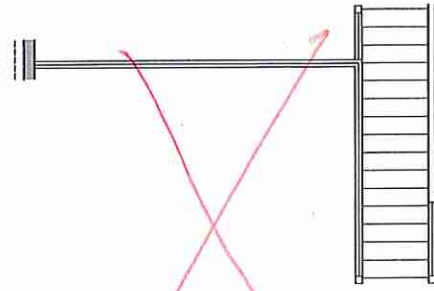
OPTIONAL OPEN RAIL ILO  
45" WALL W/ CAP W/  
BEDROOM 5 ILO LOFT



OPTIONAL BEDROOM 5  
ILO LOFT



OPTIONAL BEDROOM 4  
ILO STUDY

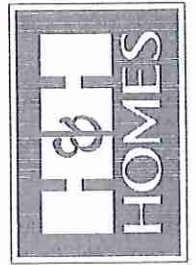


OPEN RAIL ILO 45" WALL  
W/ CAP

- ELECTRICAL LAYOUT NOTES:**
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
  - 2) VANTY LIGHTS TO BE SET @ 50" AFF. (117")
  - 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
  - 4) PLACE SWITCHES 6" FROM FINISH ROUGH OPENINGS.

ELECTRICAL LEGEND	
	10 V OUTLET
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	PENDANT LIGHT
	RECESSED CAN LIGHT
	15W CAN LIGHT
	EYEBALL LIGHT
	FLUORESCENT LIGHT
	2 LAMP, 4' FLUORESCENT LIGHT
	FLOOD LIGHT
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	CONDUIT FOR COMPONENT
	USBG
	SPEAKER
	DOORBELL CHIME
	10 V SMOKE DETECTOR
	CO DETECTOR
	EXHAUST FAN
	LOW VOLTAGE PANEL
	CEILING FAN
	CEILING FAN W/ LIGHT

**J.S. THOMPSON**  
ENGINEERING, INC.  
600 WADE AVE, SUITE 101  
RALEIGH, NC 27605  
PHONE: (919) 888-0919  
FAX: (919) 888-0921  
NC LICENSE NO. G-1333

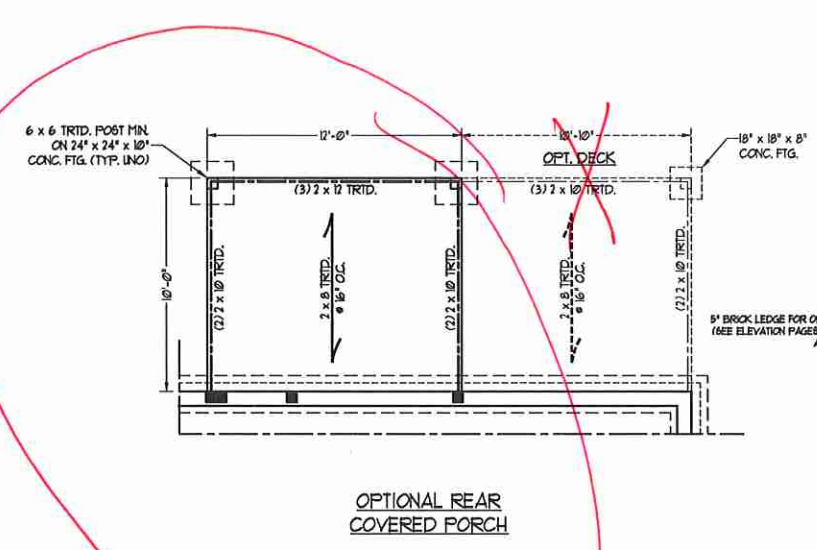


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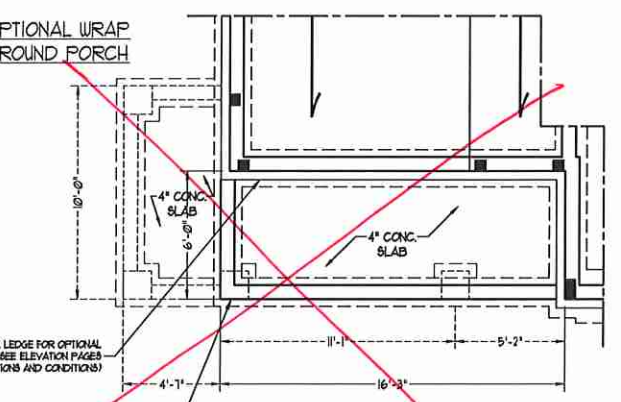
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REVIEWED BY:

SECOND FLOOR  
ELECTRICAL  
OPTIONS  
E-2.1

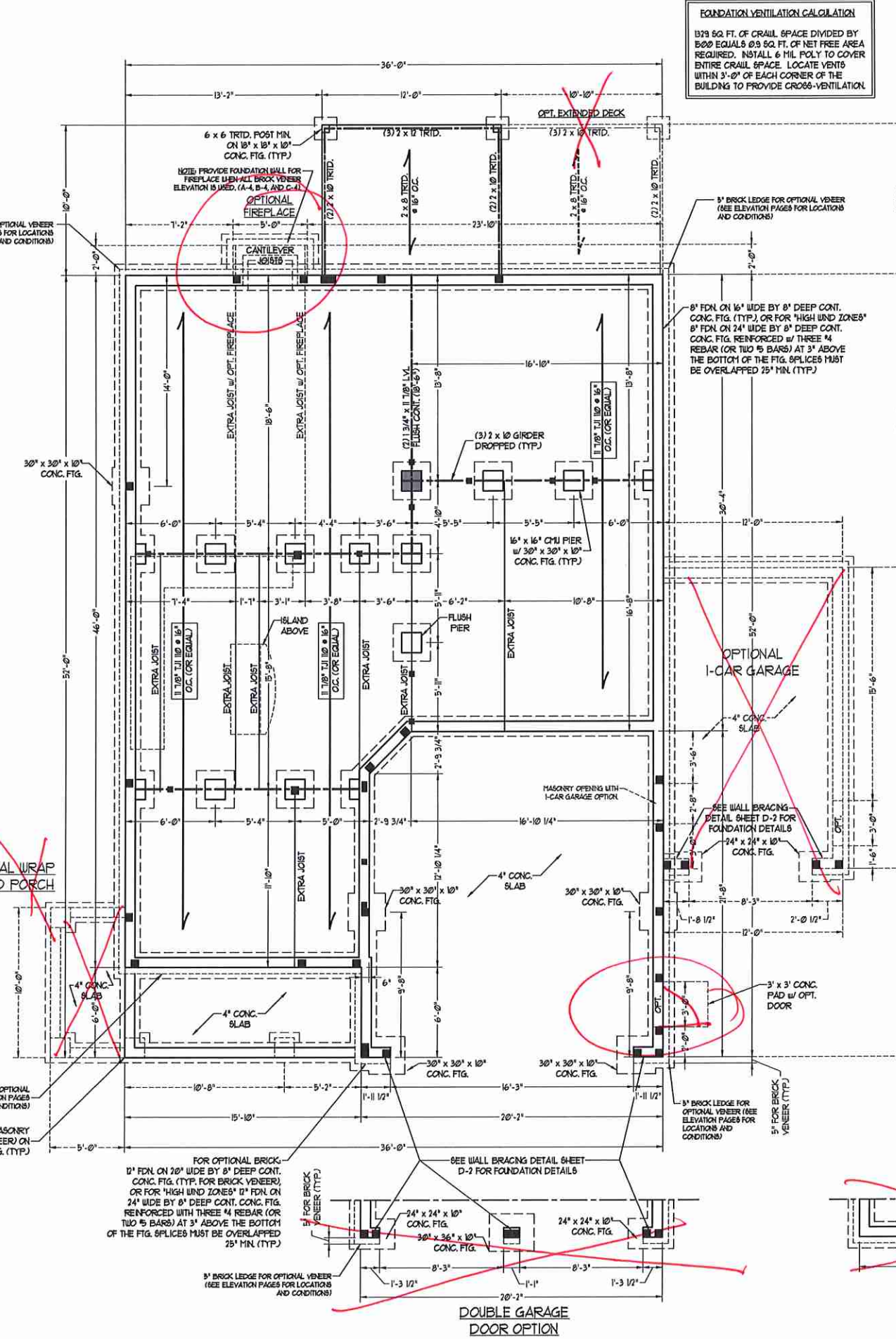


OPTIONAL REAR COVERED PORCH

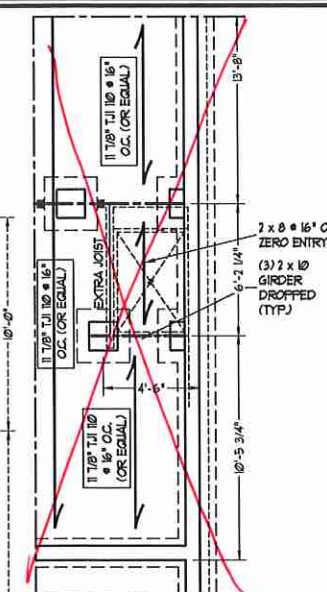


OPTIONAL WRAP AROUND PORCH

PORCH w/ FULL BRICK OPTION



**FOUNDATION VENTILATION CALCULATION**  
 1378 SQ. FT. OF CRAIL SPACE DIVIDED BY 800 EQUALS 0.9 SQ. FT. OF NET FREE AREA REQUIRED. INSTALL 6 MIL POLY TO COVER ENTIRE CRAIL SPACE. LOCATE VENTS WITHIN 3'-0" OF EACH CORNER OF THE BUILDING TO PROVIDE CROSS-VENTILATION.



PLUMBING w/ OPTIONAL OWNER'S BATH 3



- 50 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT.**
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION WITH SPECIAL CONSIDERATION TO CHAPTER 45 ("HIGH WIND ZONES") FOR 50 MPH WINDS.
  - BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONES") FOR 50 MPH WINDS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - FOUNDATION ANCHORAGE TO COMPLY WITH SECTION 4504 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - WALL CLADDING DESIGNED FOR 4.5 PSF AND -31 PSF (+/-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP.).
  - ROOF CLADDING DESIGNED FOR 42.3 PSF AND -48 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 44 PSF AND -51 PSF FOR ROOF PITCHES 2.25/12 TO 1/2.
  - INSTALL 1/2" OSB SHEATHING ON ALL EXTERIOR WALLS.
  - WALLS TO BE BRACED IN ACCORDANCE WITH SECTION 4503 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION AND AS NOTED ON PLANS.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE NRC, 2018 EDITION.

- 100 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT.**
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
  - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
  - INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 1' INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
  - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
  - EXTERIOR WALLS DESIGNED FOR 80 MPH WINDS.
  - WALL CLADDING DESIGNED FOR 48.5 PSF AND -58 PSF (+/-) INDICATE POSITIVE / NEGATIVE PRESSURE (TYP.).
  - ROOF CLADDING DESIGNED FOR 44.3 PSF AND -48 PSF FOR ROOF PITCHES 1/2 TO 2/12 AND 48 PSF AND -54 PSF FOR ROOF PITCHES 2.25/12 TO 1/2.
  - INSTALL 1/2" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION 4503 OF THE NRC, 2018 EDITION. SEE THE WALL BRACING NOTES AND DETAIL SHEET FOR MORE INFORMATION.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 8 OF THE NRC, 2018 EDITION.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE #2 SFF (UNO). ALL TREATED LUMBER TO BE #2 SYP (UNO).
  - INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
  - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADDED PIERS TO BE FILLED SOLID.
  - INSTALL LADDER WIRE @ 16" O.C. TO SECURE MULTIPLE WITH THE FOUNDATION WALLS TOGETHER.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

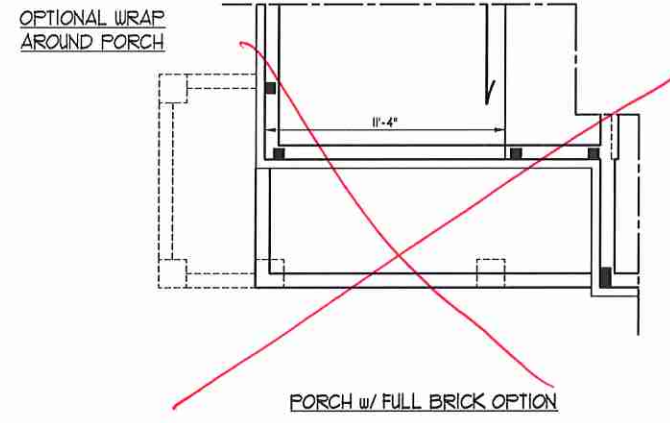
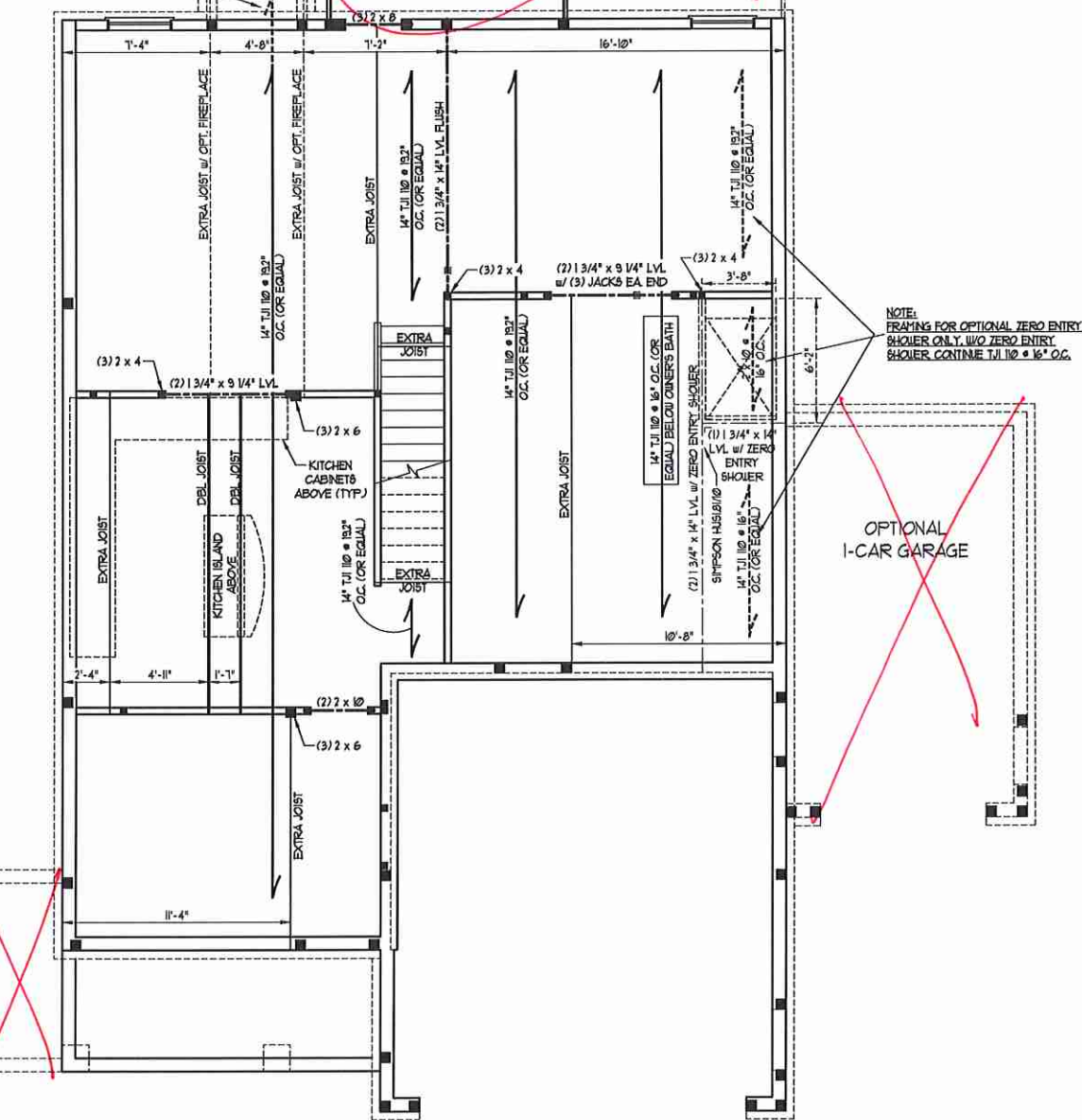
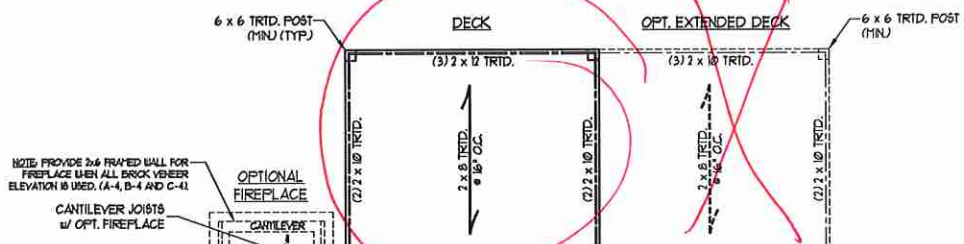
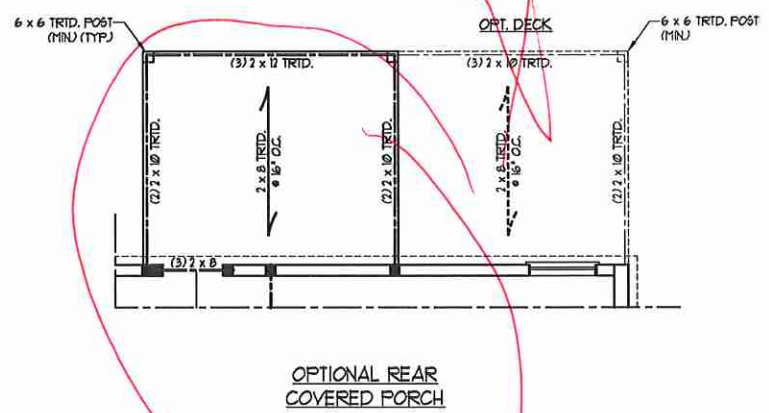
SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

**J.S. THOMPSON ENGINEERING, INC.**  
 600 WADE AVE., SUITE 104 RALEIGH, NC 27685  
 PHONE: (919) 789-9919 FAX: (919) 789-9921  
 N.C. LICENSE NO. 01733

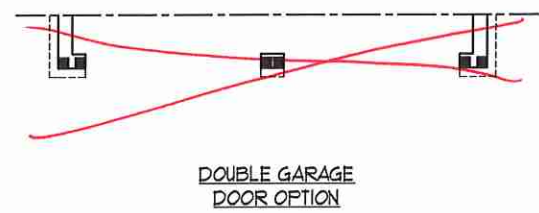
JORDAN H&H HOMES, INC.

DATE: NOVEMBER 5, 2020  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: RENAISSANCE RESIDENTIAL DESIGN  
 ENGINEERED BY: WFB

SHEET 3 OF 10  
 S-1.3  
 CRAWL FOUNDATION PLAN



~~OPTIONAL WRAP AROUND PORCH~~



DOUBLE GARAGE DOOR OPTION

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R6-02.10 OF THE NRC 2018 EDITION.
  - CS-USP REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' CONTRACTOR IS TO INSTALL 1/8\"/>

- NOTE:**
- PER SECTION R6-02.10.4.6 OF THE 2018 NRC, THE AMOUNT OF BRACING REQUIRED ON THE WALK OUT BASEMENT WALLS EXCEEDS THE AMOUNT OF BRACING ON THE WALL ABOVE MULTIPLIED BY A FACTOR OF 1.5.
  - SHEATH ALL EXTERIOR WALLS WITH 1/8\"/>

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE 2\"/>

**LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT**

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

- BRICK SUPPORT NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (NO) SEE ARCH DRWS. FOR SIZE AND LOCATION OF OPENINGS.
  - (LLV) = LONG LEG VERTICAL
  - LENGTH + CLEAR OPENING
  - EMBED ALL ANGLE IRONS MIN 4\"/>

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 N.C. LICENSE NO. G1131

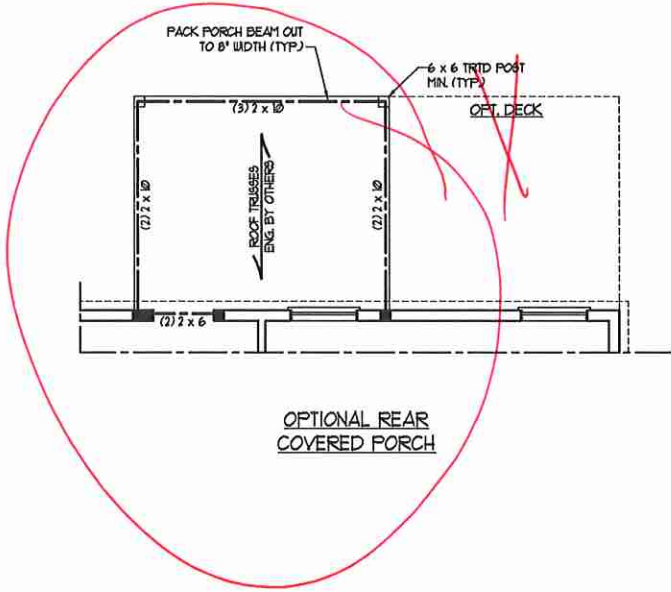
JORDAN H&H HOMES, INC.



DATE: NOVEMBER 5, 2020  
 SCALE: 1/4\"/>

SHEET 5 OF 10  
 S-1.4a  
 FIRST FLOOR FRAMING PLAN

11/6/2020



**BRACED WALL DESIGN**

RECTANGLE A		RECTANGLE B	
<b>SIDE 1A (FRONT LOAD)</b>	<b>SIDE 1B</b>	<b>SIDE 2A</b>	<b>SIDE 2B</b>
METHOD: CS-USP/PFF/PGS	METHOD: CS-USP/PFF	METHOD: CS-USP	METHOD: CS-USP
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'	TOTAL REQUIRED LENGTH: 12'	TOTAL REQUIRED LENGTH: 12'
TOTAL PROVIDED LENGTH: 13.83'	TOTAL PROVIDED LENGTH: 6'	TOTAL PROVIDED LENGTH: 10.5'	TOTAL PROVIDED LENGTH: 12'
<b>SIDE 2A</b>	<b>SIDE 2B</b>	<b>SIDE 3B / SIDE 4A CUMULATIVE</b>	<b>SIDE 3B</b>
METHOD: CS-USP	METHOD: CS-USP	METHOD: CS-USP/PFF/PGS	METHOD: CS-USP/PFF
TOTAL REQUIRED LENGTH: 16'	TOTAL REQUIRED LENGTH: 32'	TOTAL REQUIRED LENGTH: 11.4'	TOTAL REQUIRED LENGTH: 13.4'
TOTAL PROVIDED LENGTH: 10.5'	TOTAL PROVIDED LENGTH: 12'	TOTAL PROVIDED LENGTH: 40.83'	TOTAL PROVIDED LENGTH: 30.6'
<b>SIDE 3A</b>	<b>SIDE 3B / SIDE 4A CUMULATIVE</b>	<b>SIDE 4B</b>	<b>SIDE 4B</b>
METHOD: CS-USP	METHOD: CS-USP/PFF/PGS	METHOD: CS-USP	METHOD: CS-USP
TOTAL REQUIRED LENGTH: 11.4'	TOTAL REQUIRED LENGTH: 13.4'	TOTAL REQUIRED LENGTH: 7'	TOTAL REQUIRED LENGTH: 7'
TOTAL PROVIDED LENGTH: 40.83'	TOTAL PROVIDED LENGTH: 30.6'	TOTAL PROVIDED LENGTH: 11.4'	TOTAL PROVIDED LENGTH: 15.83'

**BRACED WALL DESIGN NOTES:**

- BRACED WALL DESIGN PER SECTION R602.10 OF THE NCRC 2018 EDITION.
- CS-USP REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' CONTRACTOR IS TO INSTALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- 'GB' REFERS TO 'GYPSUM BOARD' CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
- BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

**LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT**

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLV
8 AND GREATER	L 6 x 4 x 5/16 LLV

**BRICK SUPPORT NOTES:**

- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH DGS. FOR SIZE AND LOCATION OF OPENINGS.
- (LLV) = LONG LEG VERTICAL
- LENGTH = CLEAR OPENING
- EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
- FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
- FOR ALL BRICK SUPPORT @ ROOF LINE, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS w/ (4) 8d NAILS PER PLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R703.8.2.1 OF THE 2018 NCRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
- PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

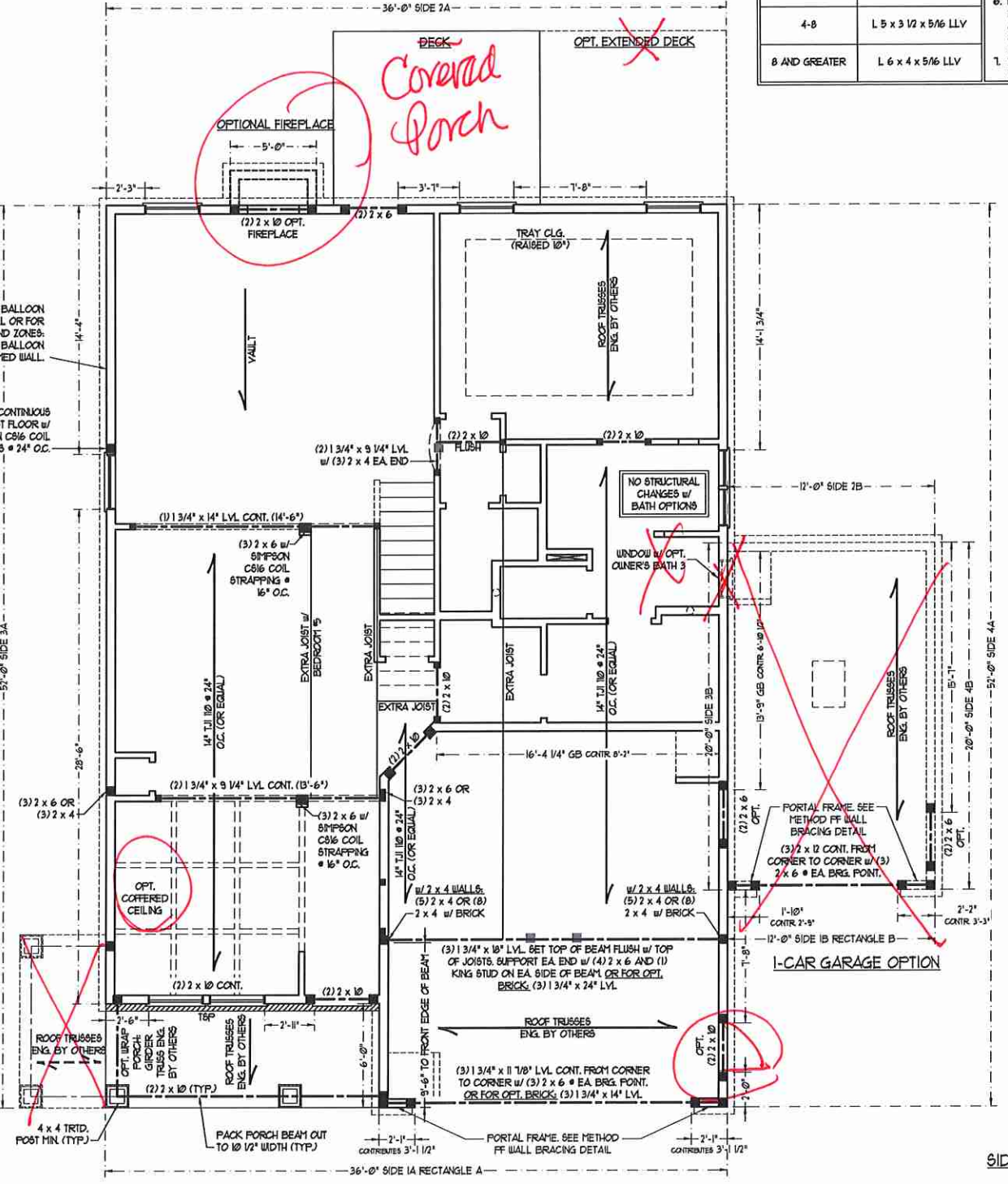
**NOTE:** ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

**STRUCTURAL NOTES:**

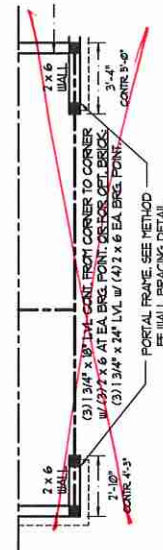
- ALL FRAMING LUMBER TO BE 6FT 7" (UNO)
- ALL TREATED LUMBER TO BE 6FT 7" (UNO)
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO)
- INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
- WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R602.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE BILL PLATES THEIR FULL DEPTH.
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON AB144 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ AB166 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

**TABLE R602.15**  
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

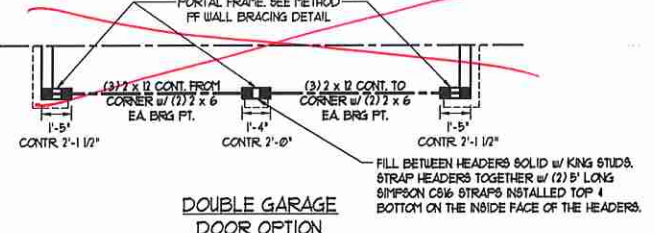
HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES) (PER TABLE R602.15)	1	2
UP TO 3'	16	1	1
4'	24	2	1
8'	32	3	2
12'	40	5	3
16'	48	6	4



OPTIONAL WRAP AROUND PORCH



**SIDE-LOAD GARAGE OPTION**  
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



**DOUBLE GARAGE DOOR OPTION**



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N.C. LICENSE NO.: C17133

**JORDAN H&H HOMES, INC.**

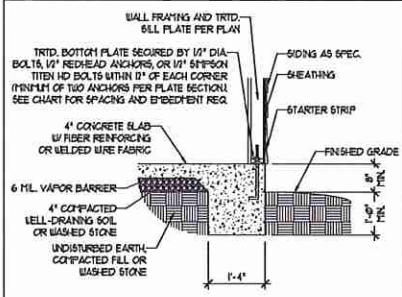
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ENGINEERED BY: WTB





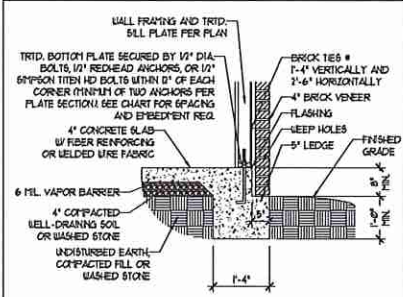
### MONOLITHIC SLAB DETAILS

DETAIL 1



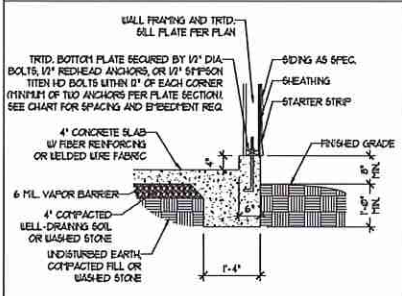
TYPICAL SLAB DETAIL

DETAIL 2



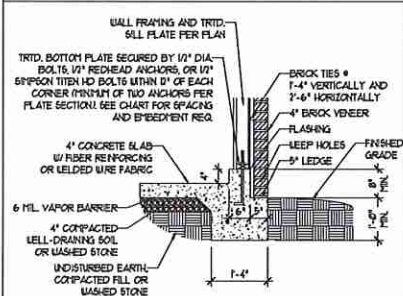
BRICK VENEER DETAIL

DETAIL 3



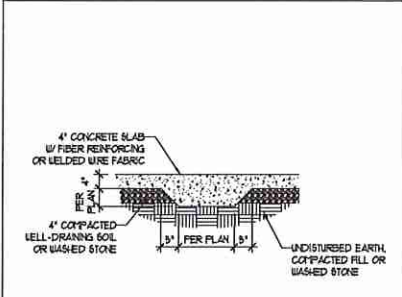
GARAGE CURB DETAIL

DETAIL 4



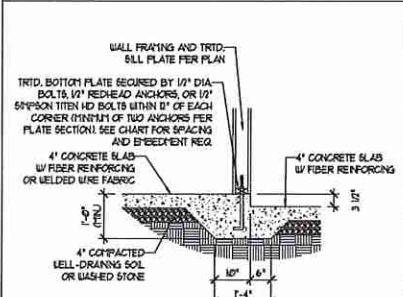
GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5



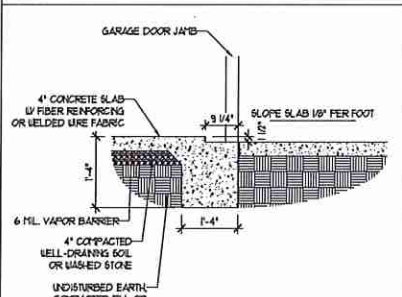
THICKENED SLAB DETAIL

DETAIL 6



STEP IN GARAGE DETAIL

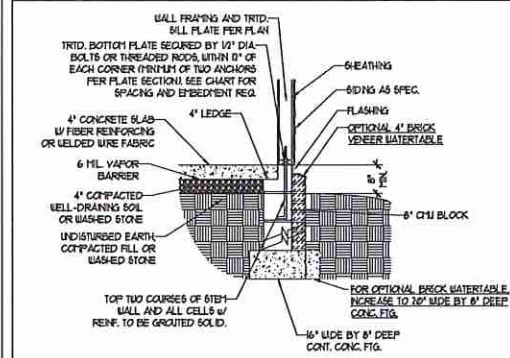
DETAIL 1



SLAB AT GARAGE DOOR DETAIL

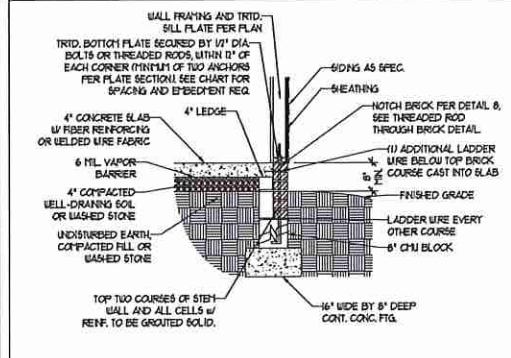
### STEM WALL DETAILS

DETAIL 1



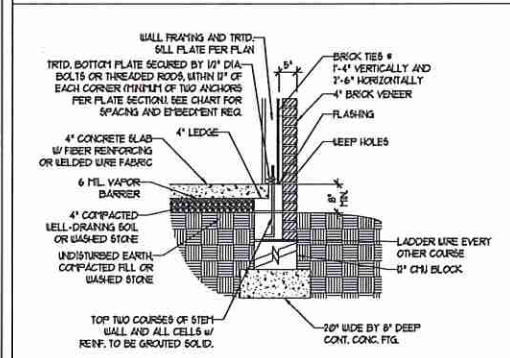
TYPICAL STEM WALL DETAIL (w/ OPTIONAL WATERTABLE)

OPTIONAL DETAIL 1



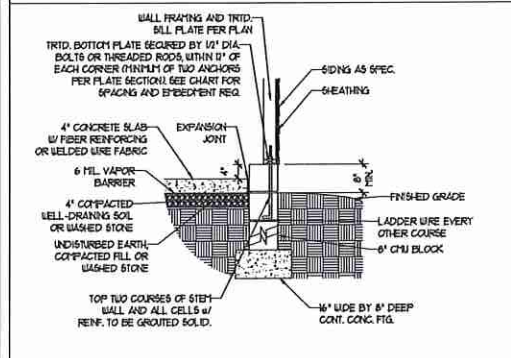
OPTIONAL STEM WALL DETAIL

DETAIL 2



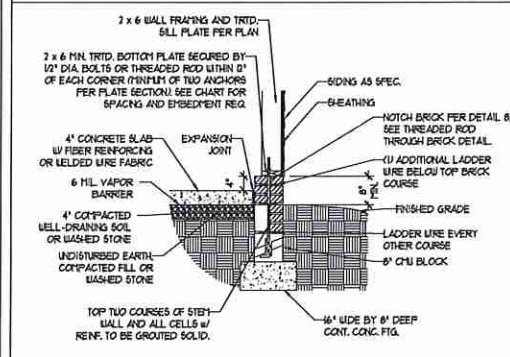
TYPICAL STEM WALL FND. w/ BRICK DETAIL

DETAIL 3



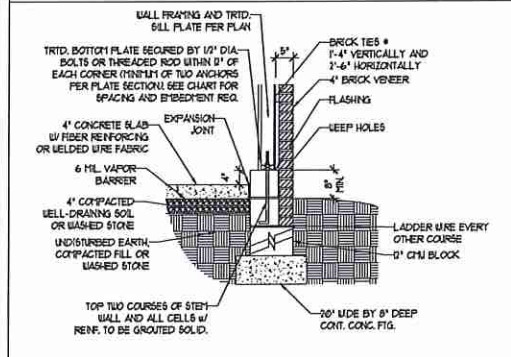
TYPICAL STEM WALL FND. DETAIL w/ CURB @ GARAGE

OPTIONAL DETAIL 3



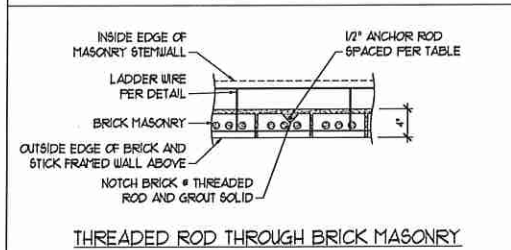
OPTIONAL STEM WALL FND. DETAIL w/ CURB @ GARAGE

DETAIL 4



TYPICAL STEM WALL FND. DETAIL w/ BRICK AND CURB @ GARAGE

DETAIL 8



THREADED ROD THROUGH BRICK MASONRY

### MASONRY STEM WALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
3	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
4	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
6	GROUT SOLID w/ #4 REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 24" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

#### STRUCTURAL NOTES:

1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
2. THE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
4. BACKFILL OF CLEAN #1 / #1 WASHED STONE IS ALLOWABLE.
5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R402.1 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
6. PREP SLAB PER RS-26.21 AND RS-26.22 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 24" LAP SPlice LENGTH.
7. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
8. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

### ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
	SPACING	6'-0" O.C.
EMBEDMENT	1'	15" INTO MASONRY 1" INTO CONCRETE

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N.C. LICENSE NO. C-1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
FOUNDATION DETAILS

DATE: NOVEMBER 14, 2018  
SCALE: NTS  
DRAWN BY: JST  
ENGINEERED BY: JES



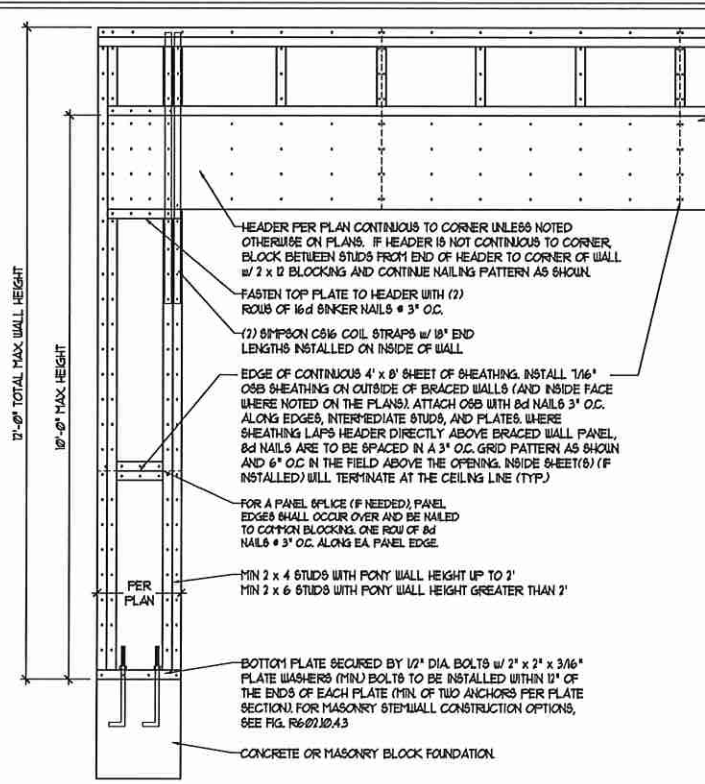
D-1  
FOUNDATION DETAILS

11/6/2020

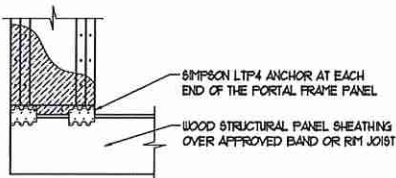


**GENERAL WALL BRACING NOTES:**

1. WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NRC.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
4. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD 'GB', GYPSUM TO BE FASTENED PER TABLE R102.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.
6. CS-WSP REFERS TO THE 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' WALL BRACING METHOD. 1/6" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (1 1/2" LONG x 0.13" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO.).
7. GB REFERS TO THE 'GYPSUM BOARD' WALL BRACING METHOD. 1/2" (MIN) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1' O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UNO.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R102.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
8. REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-WSP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 1/3 ITS ACTUAL LENGTH.

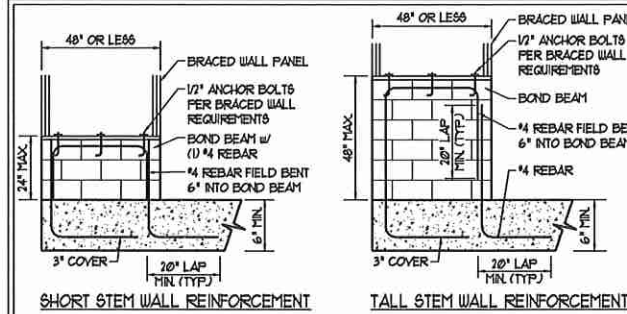


OVER CONCRETE OR MASONRY BLOCK FOUNDATION



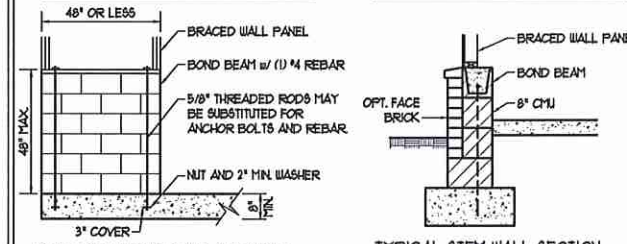
OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION  
\* APPLICABLE w/ GREATER THAN 10" KNEE WALL HEIGHTS IN CRAWL SPACE AND ABOVE FRAMED BASEMENT WALLS \*

METHOD PF-PORTAL FRAME DETAIL ①



SHORT STEM WALL REINFORCEMENT

TALL STEM WALL REINFORCEMENT



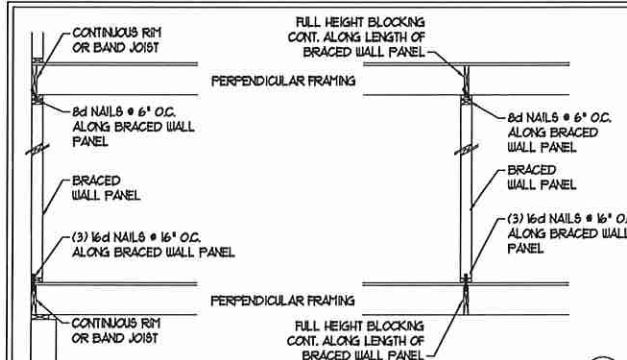
TYPICAL STEM WALL SECTION

OPTIONAL STEM WALL REINFORCEMENT

NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR THREADED RODS AND ANCHOR BOLTS

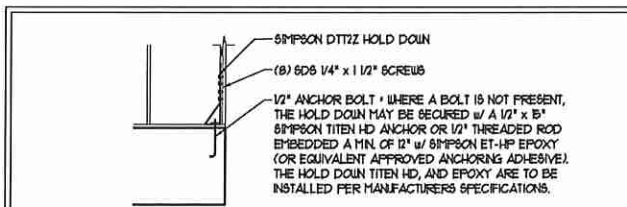
**MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS ②**

PER FIGURE R602.10.4.3



BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING ③

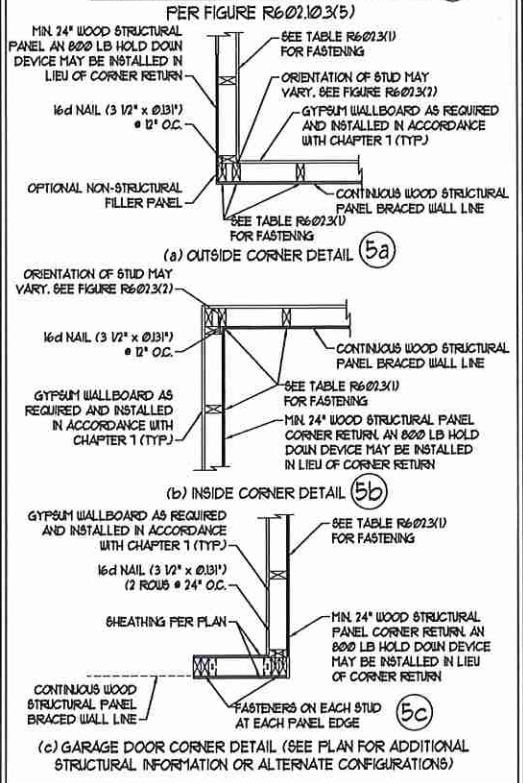
PER FIGURE R602.10.4.4(1)



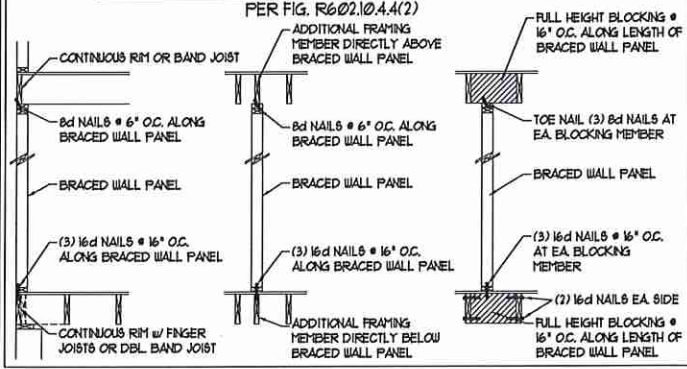
HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④

\* APPLICABLE ONLY WHERE SPECIFIED ON PLAN \*

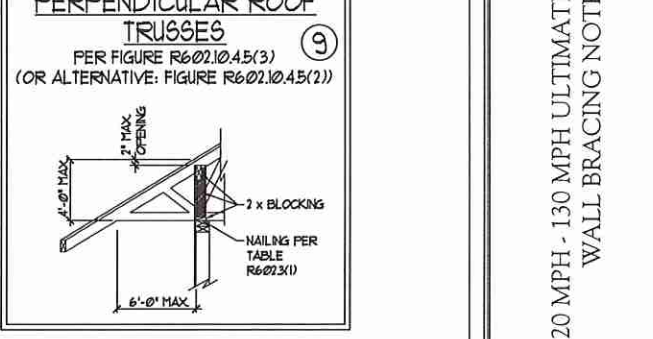
**TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING ⑤**



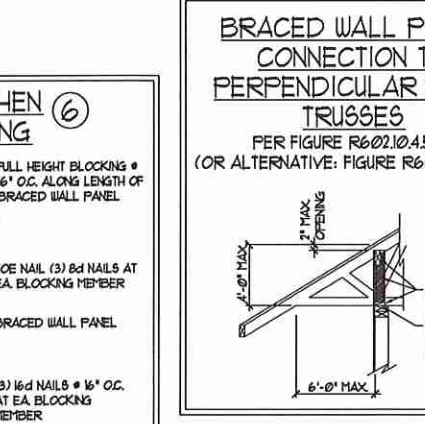
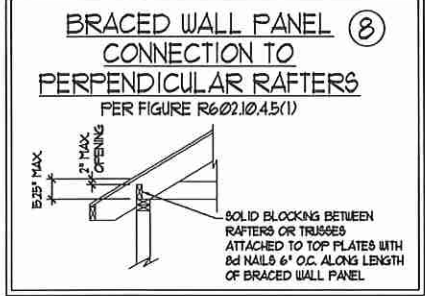
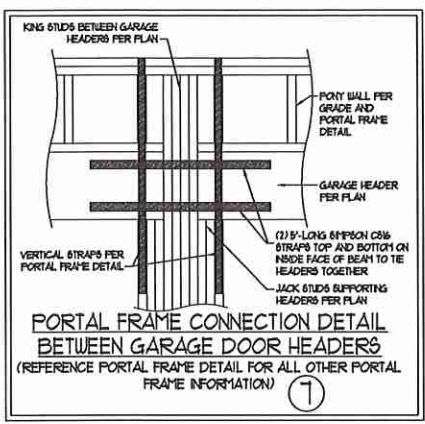
**BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑥**



**BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES ⑧**



BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES ⑧



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11/6/2020

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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
WALL BRACING NOTES AND DETAILS

DATE: NOVEMBER 14, 2018  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JST  
ENGINEERED BY: JST

D-2  
BRACED WALL NOTES AND DETAILS AND PF DETAIL

**GENERAL NOTES**

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
  - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
  - STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R301.4 - R301.7)
- | DESIGN CRITERIA:   | LIVE LOAD (PSF)     | DEAD LOAD (PSF) | DEFLECTION (IN)                   |
|--|---------------------|-----------------|-----------------------------------|
| ATTIC WITH LIMITED STORAGE                                     | 20                  | 10              | L/740 (L/360 w/ BRITTLE FINISHES) |
| ATTIC WITHOUT STORAGE  | 10                  | 10              | L/360                             |
| DECKS  | 40                  | 10              | L/360                             |
| EXTERIOR BALCONIES   | 40                  | 10              | L/360                             |
| FIRE ESCAPES   | 40                  | 10              | L/360                             |
| HANDRAILS/GUARDRAILS   | 200 LB OR 50' (PLF) | 10              | L/360                             |
| PASSENGER VEHICLE GARAGE                                       | 50                  | 10              | L/360                             |
| ROOMS OTHER THAN SLEEPING ROOM                                 | 40                  | 10              | L/360                             |
| SLEEPING ROOMS   | 30                  | 10              | L/360                             |
| STAIRS   | 40                  | 10              | L/360                             |
| WIND LOAD<br>(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE) |                     |                 |                                   |
| GROUND SNOW LOAD, Pg   | 20 (PSF)            |                 |                                   |
- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/400
  - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 15 AND 20 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.6 OF THE NRC, 2018 EDITION. FOR 30 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
  - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER II OF THE NRC, 2018 EDITION.

**FOOTING AND FOUNDATION NOTES**

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASE COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP I, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2018 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SALED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A603 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A655. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR 5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR 6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/11/19 402. MORTAR SHALL CONFORM TO ASTM C710.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 333, NCHA TR-65-A OR ACE 530/ASCE 5/11/19 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(1), R404.1(2), R404.1(3), OR R404.1(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(5) OF THE NRC, 2018 EDITION. STEEL CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (NO).

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**FRAMING NOTES**

- ALL FRAMING LUMBER SHALL BE #2 SFF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (INO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (INO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1900000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1900000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
 

A. W AND WT SHAPES:	ASTM A992
B. CHANNELS AND ANGLES:	ASTM A36
C. PLATES AND BARS:	ASTM A36
D. HOLLOW STRUCTURAL SECTIONS:	ASTM A500 GRADE B
E. STEEL PIPE:	ASTM A53, GRADE B, TYPE E OR S
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (INO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (INO):
 

A. WOOD FRAMING	(2) 1/2" DIA. x 4" LONG LAG SCREWS
B. CONCRETE	(2) 1/2" DIA. x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED)	(2) 1/2" DIA. x 4" LONG BRIMPTON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 3/16" DIAMETER HOLES @ 16" O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R6-02.1(1) AND R6-02.1(2) OF THE NRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (INO), WHICHEVER IS GREATER. ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (INO). INSTALL KING STUDS PER SECTION R6-02.15 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (INO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (INO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (INO).
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (INO).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R6-02.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (INO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 10d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R710.3(2) OF THE NRC, 2018 EDITION.
- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 10d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (INO).
- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (INO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (INO). POSTS MAY BE SECURED USING ONE BRIMPTON H6 OR L7812 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 1/2" SECTION OF BRIMPTON C86 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE BRIMPTON POST BASE.



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120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED  
 STANDARD STRUCTURAL NOTES

DATE: NOVEMBER 14, 2018  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: JES  
 ENGINEERED BY: JST

S-0  
 STRUCTURAL NOTES