

NO.	DATE	REVISION
1	03.18	FIRST SUBMITTAL
2	10.04.18	3RD GAR GARAGE OPTIONS ADDED
3	11.28.18	FRAME WALK CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

**ISSUED FOR PERMIT
CONSTRUCTION**

CLIENTS NAME:

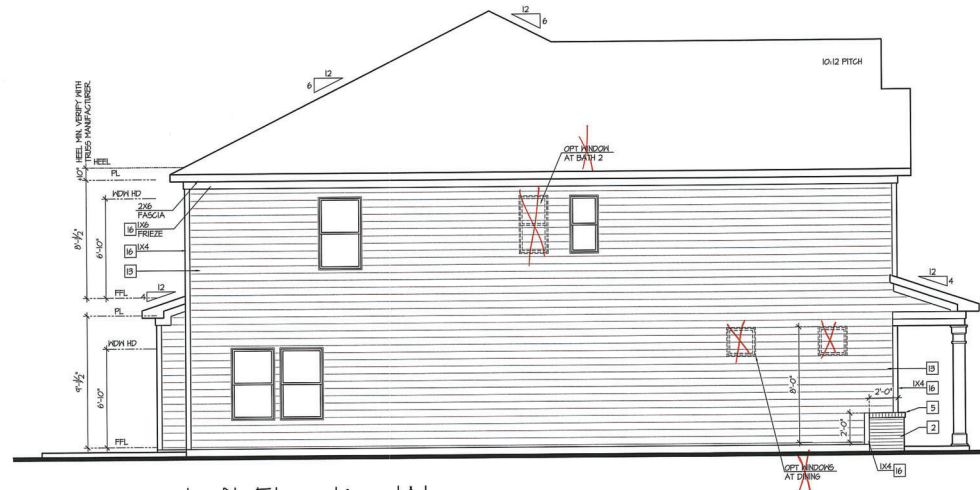
PROJECT NO: GMD-GA16014

SHEET TITLE:
**JESSAMINE - RH
EXTERIOR
ELEVATIONS 'A'**

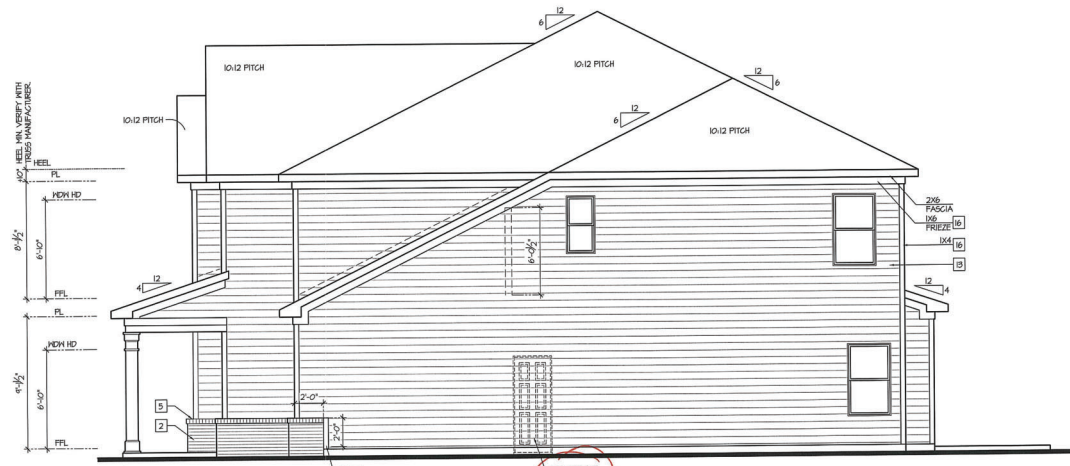
PRINT DATE:
JAN 1, 2019

SHEET NO:

A15.1



Left Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Right Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE THE ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" UNO. ON ELEVATIONS.
2ND FLOOR = 8'-0" UNO. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS. TOP OF CABINETS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POSTS, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)

KEY NOTES:

MASONRY:

- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 4 8" SOLDIER COURSE.
- 5 RAINCORK COURSE
- 6 DECORATIVE KEY. SEE DETAIL.
- 7 TYPICALS.
- 8 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- 9 CODE APPROVED TERMINATION CHIMNEY CAP.
- 10 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- 11 STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 12 DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING:

- 13 VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER
- 14 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER
- 15 VINYL OR FIBER CEMENT WAVY SIDING PER DEVELOPER
- 16 VINYL OR FIBER CEMENT PANEL SIDING W/ 1/2" BATTS AT 12" O.C.
- 17 VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED
- 18 VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN, SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-0" UNO. ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- GINNEY AS OCCURS: TOP OF GINNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF GINNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.]

KEY NOTES:

MASONRY:

- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3" SOLIDER COURSE.
- ROCKLOCK COURSE.
- DECORATIVE KEY. SEE DETAIL.

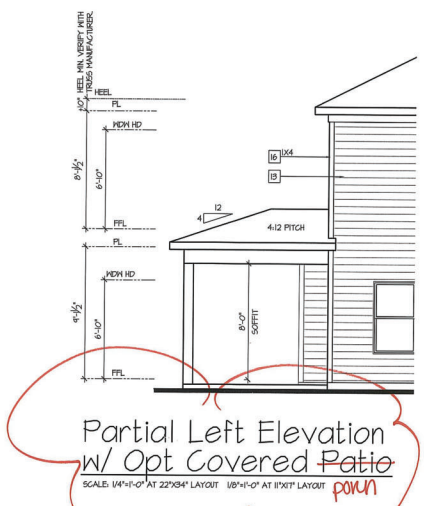
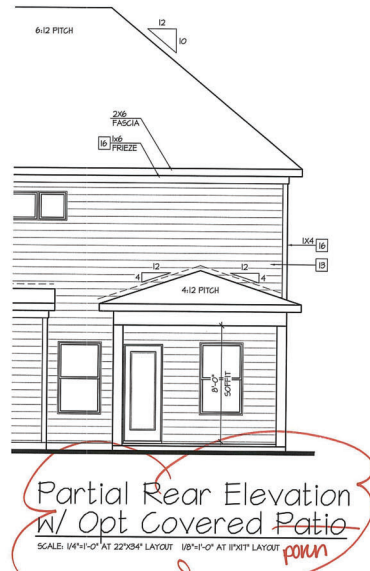
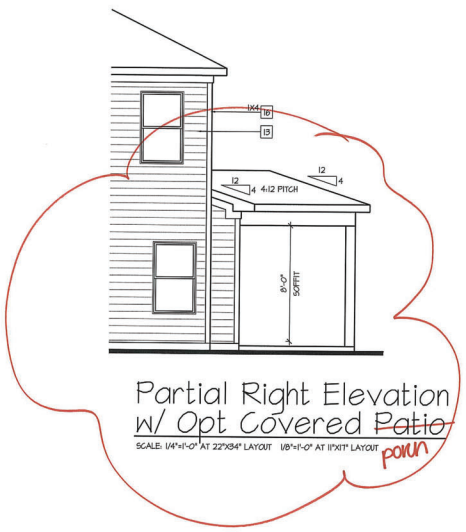
TYPICALS:

- CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED.
- CODE APPROVED TERMINATION GINNEY CAP.
- CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE THROUGH IRON. SEE DETAILS.

SIDING:

- VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER.
- VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
- VINYL OR FIBER CEMENT NAVY SIDING PER DEVELOPER.
- VINYL OR FIBER CEMENT PANEL SIDING 1/2" BATS AT 12" O.C.
- VINYL OR IX FIBER CEMENT TRIM OR EQUAL UNO. SIZE AS NOTED.
- VINYL SHUTTERS OR FIB BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.



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NO.	DATE	REVISION
1	02.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTION ADDED
3	11.28.16	FRAME WALK CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GA16014

SHEET TITLE:
JESSAMINE - RH
EXTERIOR ELEVATIONS
OPTIONS

PRINT DATE:
JAN 1, 2019

SHEET NO:
A1.5.7

NO.	DATE	REVISION
05.30.16		FIRST SUBMITTAL
10.04.16		3RD CAR GARAGE OPTION ADDED
11.28.16		FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR PERMIT
CONSTRUCTION

CLIENT NAME:

PROJECT NO: GMD-5A16014

SHEET TITLE:
**JESSAMINE - RH
ROOF PLAN 'A'**

PRINT DATE:
JAN 1, 2019

SHEET NO:

A1.5.2

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SIGN THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)
BLDG. (SQ. IN.) / 150 = 50. IN. OF VENT REQUIRED

ROOF AREA 1 = 1770 SF
1770 SQ. FT. X 144 = 254880 SQ. IN.
254880 SQ. IN. / 150 = 1699.2 SQ. IN. OF VENT REQ'D

ROOF AREA 2 = 1071 SF
1071 SQ. FT. X 144 = 154068 SQ. IN.
154068 SQ. IN. / 150 = 1027.12 SQ. IN. OF VENT REQ'D

ROOF AREA 3 = 120 SF
120 SQ. FT. X 144 = 17280 SQ. IN.
17280 SQ. IN. / 150 = 115.2 SQ. IN. OF VENT REQ'D

ROOF AREA 4 = 240 SF
240 SQ. FT. X 144 = 34560 SQ. IN.
34560 SQ. IN. / 150 = 230.4 SQ. IN. OF VENT REQ'D

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE HALL BELDN.
- LOCATE GUTTERS AND DOWNSPUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
- ALL FLASHING VENTS SHALL BE CONFINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:300 RATIO.

AS AN ALTERNATE TO THE 1/150 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SIGN THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)
BLDG. (SQ. IN.) / 300 = 50. IN. OF VENT REQUIRED

ROOF AREA 1 = 1770 SF
1770 SQ. FT. X 144 = 254880 SQ. IN.
254880 SQ. IN. / 300 = 849.6 SQ. IN. OF VENT REQ'D

ROOF AREA 2 = 1071 SF
1071 SQ. FT. X 144 = 154068 SQ. IN.
154068 SQ. IN. / 300 = 513.56 SQ. IN. OF VENT REQ'D

ROOF AREA 3 = 120 SF
120 SQ. FT. X 144 = 17280 SQ. IN.
17280 SQ. IN. / 300 = 57.6 SQ. IN. OF VENT REQ'D

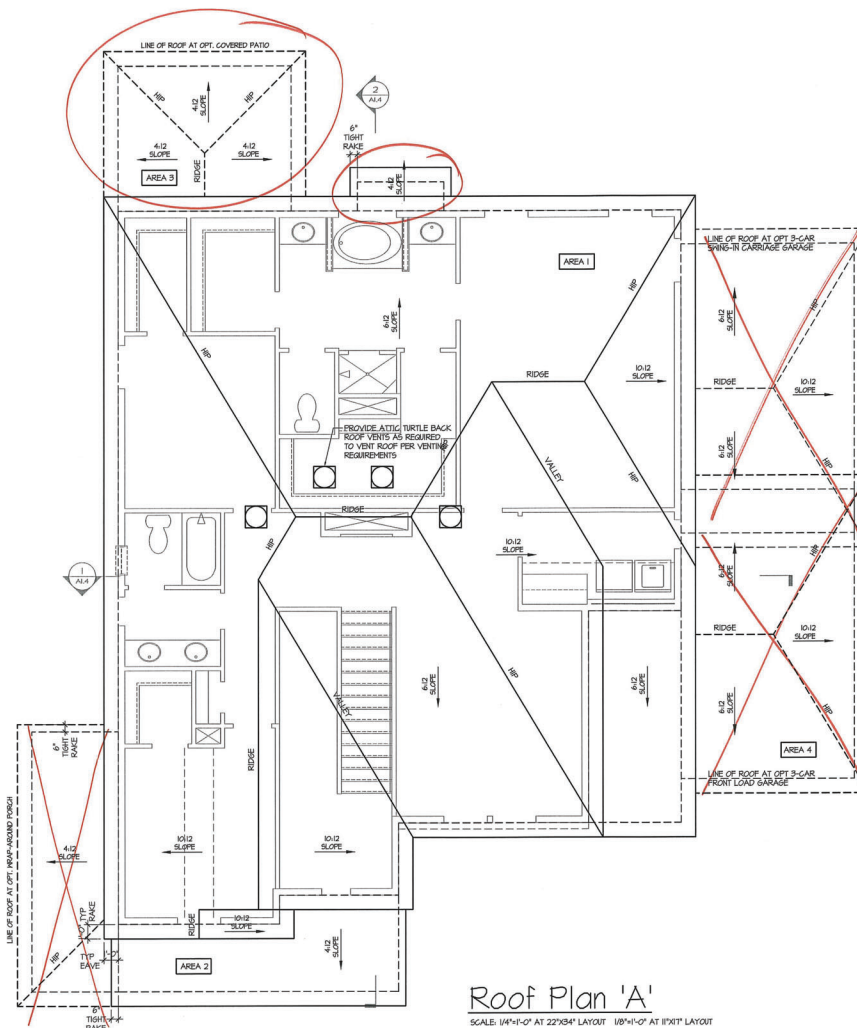
ROOF AREA 4 = 240 SF
240 SQ. FT. X 144 = 34560 SQ. IN.
34560 SQ. IN. / 300 = 115.2 SQ. IN. OF VENT REQ'D

28.8 SQ. IN. OF VENT AT HIGH + 28.8 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 4 = 240 SF
240 SQ. FT. X 144 = 34560 SQ. IN.
34560 SQ. IN. / 300 = 115.2 SQ. IN. OF VENT REQ'D

15.2 SQ. IN. / 2 = 57.6 SQ. IN.

57.6 SQ. IN. OF VENT AT HIGH + 57.6 SQ. IN. OF VENT AT LOW REQUIRED.



Roof Plan 'A'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 18'X17" LAYOUT

NO.	DATE	REVISION
1	08.04.18	FIRST SUBMITTAL
2	10.04.18	2ND CAR GARAGE OPTION ADDED
3	11.28.18	FRAME WALK CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT
CONSTRUCTION

CLIENTS NAME:



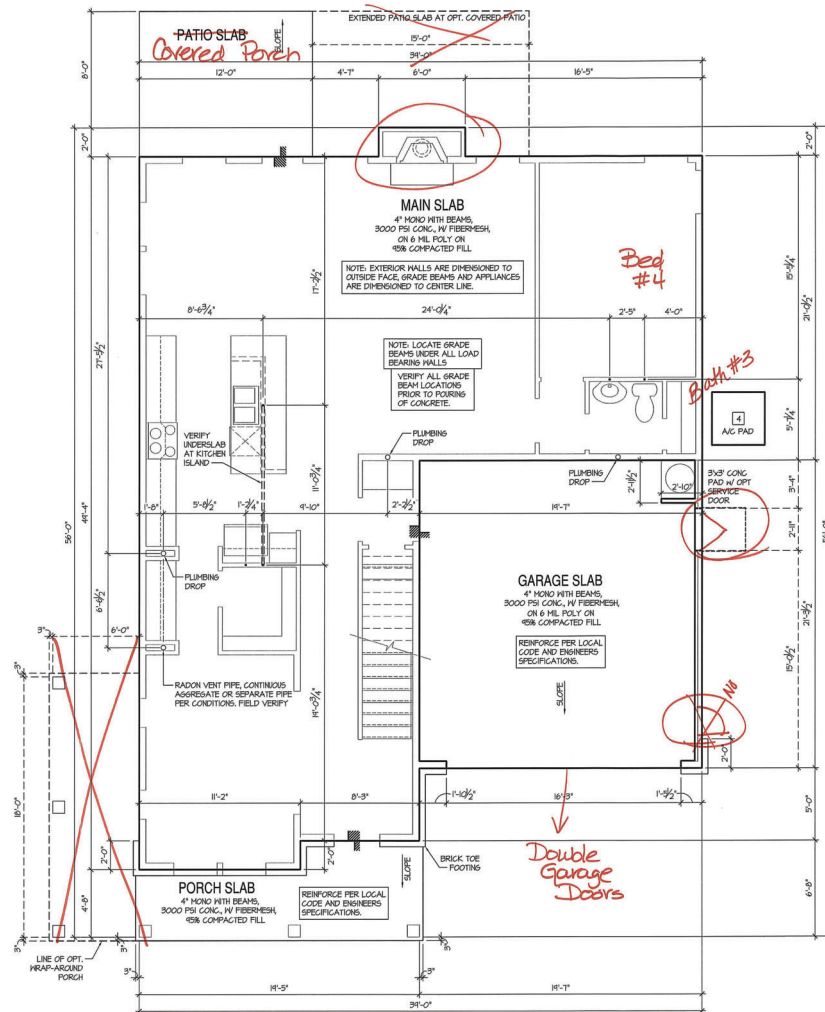
PROJECT NO: GMD-6A16014

SHEET TITLE:
**JESSAMINE - RH
MONOLITHIC
SLAB PLAN 'A'**

PRINT DATE:
JAN 1, 2019

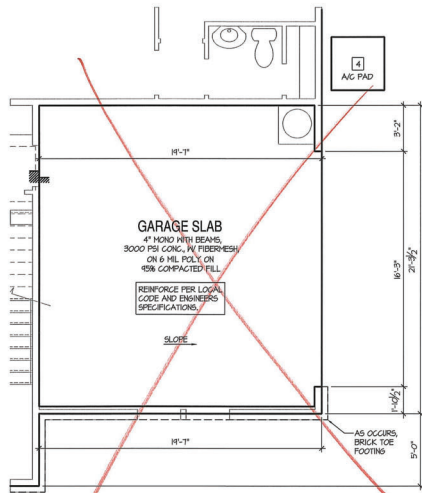
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A1.0



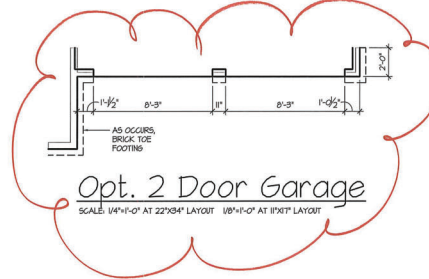
NOTES:

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOODS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB GFT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDINGS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
- PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.
- TYP STOOD AT INSING/SLIDER DOORS. 3/4" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER LOCAL CODE) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
- SOILS TREATMENT, SENTRISON BAIT STATIONS OR BODAGARE TERMITES TO BE APPLIED TO FINISH PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITES INVESTIGATION ACCORDING TO LOCAL CODES.)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL USE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR HALL SILLS IN HASTIC.



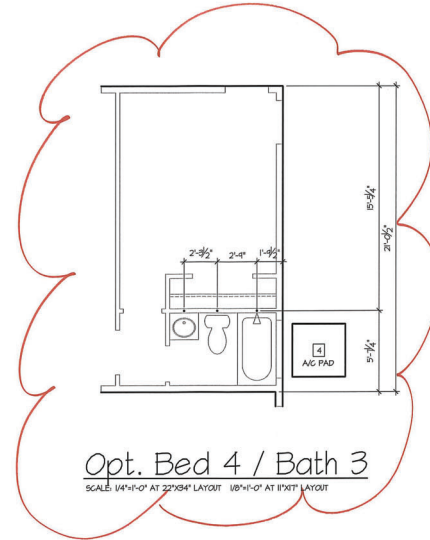
Opt. Side-Load Garage

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



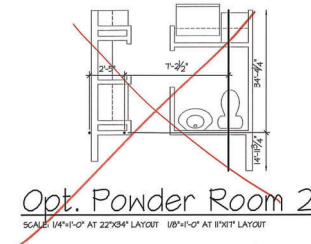
Opt. 2 Door Garage

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Opt. Bed 4 / Bath 3

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Opt. Powder Room 2

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT

NOTES:

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDINGS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
- PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.
- TYP STOOP AT INSULATED DOORS, 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM PER LOCAL CODE PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
- SOILS TREATMENT, SENTICION BAIT STATIONS OR BORACAXE TERNITE TO BE APPLIED TO FINISHING PER PRODUCT SPECIFICATIONS. PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITES INVESTIGATION ACCORDING TO LOCAL CODES.
- MOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

NO.	DATE	REVISION
1	05.16	FIRST SUBMITTAL
2	10.24.16	3RD CAR GARAGE OPTION ACCESS
3	11.23.16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GA16014

SHEET TITLE:
**JESSAMINE - RH
MONOLITHIC
SLAB PLAN
OPTIONS**

PRINT DATE:
JAN 1, 2019

SHEET NO:
A1.0.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNO. ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.

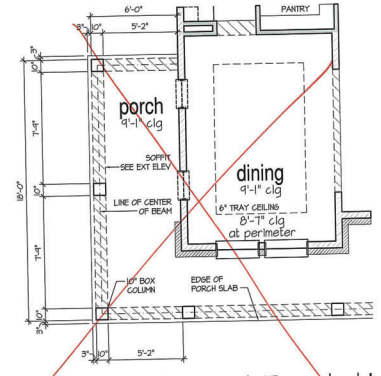
WALL LEGEND:

	FULL HEIGHT 2x4 HOOD SIDED PARTITION		FULL HEIGHT 2x6 HOOD SIDED PARTITION
	BRICK / STONE VENEER		STD HALL BELOW HEIGHT AND STD SIZE AS NOTED
	1/2\"/>		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

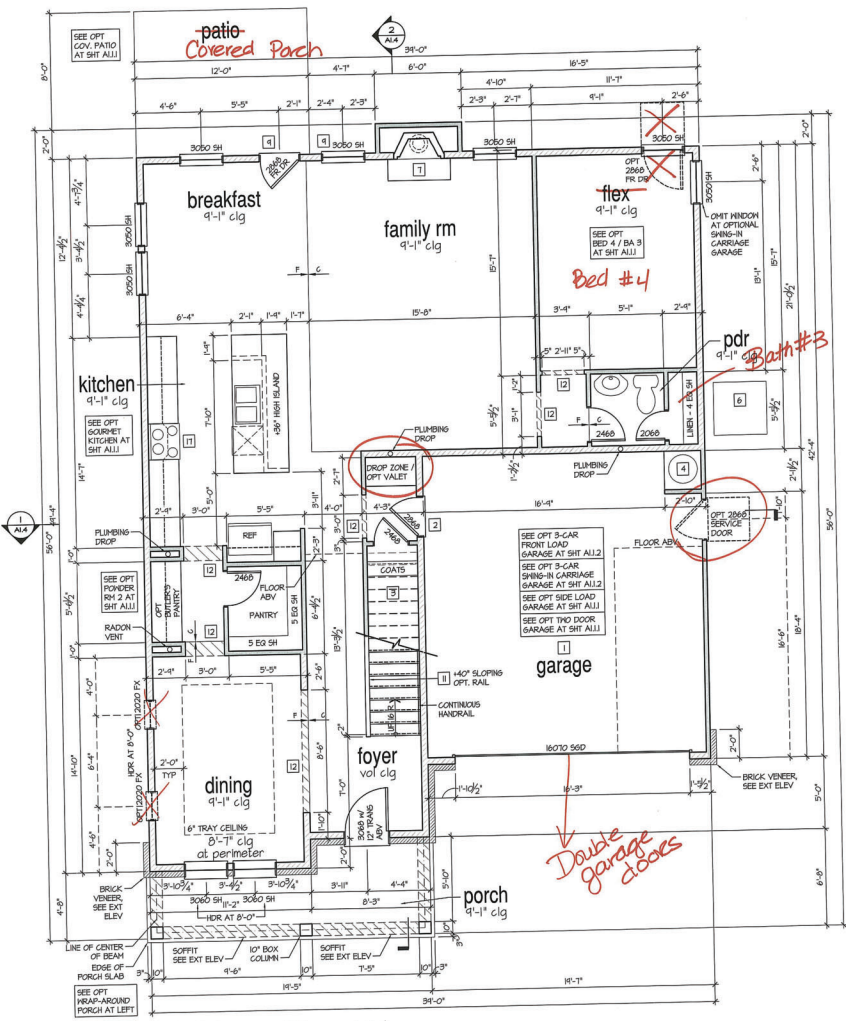
KEY NOTES:

- FIRE PROTECTION:**
- [1] HOUSE TO GARAGE FIRE SEPARATION, GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2\"/>
 - [2] HOUSE TO GARAGE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8\"/>
 - [3] HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8\"/>
 - [4] BENEATH STAIRS AND LANDINGS, 1/2\"/>
 - [5] FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE. 18\"/>
 - [6] HANG DOWN AT OPTIONAL SERVICE GARAGE
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 - [96] HANG DOWN AT OPTIONAL SERVICE GARAGE
 - [97] HANG DOWN AT OPTIONAL SERVICE GARAGE
 - [98] HANG DOWN AT OPTIONAL SERVICE GARAGE
 - [99] HANG DOWN AT OPTIONAL SERVICE GARAGE
 - [100] HANG DOWN AT OPTIONAL SERVICE GARAGE

9'-1\"/>
 (USE 1\"/>



Opt. Wrap-Around Porch 'A'
 SCALE: 1/4\"/>



1st Floor Plan 'A'
 SCALE: 1/4\"/>



ATLANTA, GEORGIA LOCATION
 1845 SATELLITE BLVD
 SUITE 150
 DULUTH, GA, 30017
 PHONES: 770-375-1251

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NO.	DATE	REVISION:
05/31/16		FIRST SUBMITTAL
10/24/16		2ND CAR GARAGE OPTION ADDED
12/31/16		PRIVATE PINK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-6A16014

SHEET TITLE:
JESSAMINE - RH
1st FLOOR
PLAN 'A'

PRINT DATE:
 JAN 1, 2019

SHEET NO:
A1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - FINISH HEAD HEIGHTS:
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO FINISHINGS AND DOORS ARE TO CENTERLINE.

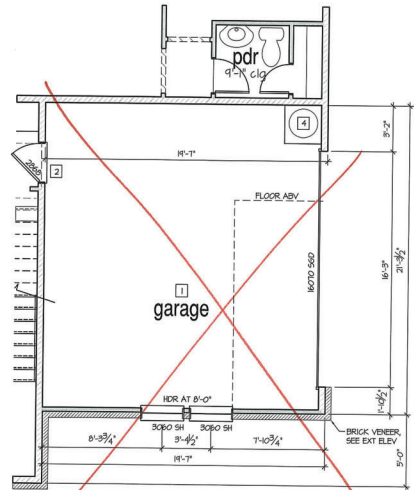
WALL LEGEND:

FILL HEIGHT 2X4 WOOD STUD PARTITION	FILL HEIGHT 2X4 WOOD STUD PARTITION
BRICK / STONE VENEER	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	DRYWALL OPENING HEIGHT AS NOTED ON PLAN.

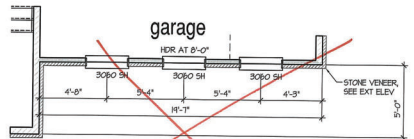
KEY NOTES:

- FIRE PROTECTION:**
- 1) NOISE TO GARAGE FIRE SEPARATION, GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, (PER LOCAL CODE). GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD, (PER LOCAL CODE).
 - 2) NOISE TO GARAGE DOOR SEPARATION PROVIDE 1-3/8" SOLID CORE DOORS OR APPROVED 20 MINUTE RATED DOOR, (PER LOCAL CODE).
 - 3) BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE) MEPS.
 - 4) FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - 5) PAU 8X8" PLATFORM, VERIFY WITH TRUSS MANUFACTURER, 18" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2X6" OVER 2X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.) A/C CONDENSER PAD (VERIFY).
 - 6) PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 7) ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED, (PER LOCAL CODE). ATTIC ACCESS LADDERS, VERIFY LOCATION AND SIZE WITH TRUSSES, (25 1/2" X 54" SIZE) TYPICAL.
 - 8) TEMPERED SAFETY GLASS, (PER LOCAL CODE).
 - 9) PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
 - 10) HALF WALL, HEIGHT AS NOTED.
 - 11) INTERIOR SOFFITS: FFL = 8'-0" U.N.O. 5FL = 7'-6" U.N.O. BATHS.
 - 12) SHOWER, TEMPERED GLASS ENCLOSURE.
 - 13) TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
 - 14) CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - 15) GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL, PER BUILDER KITCHEN.
 - 16) 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 17) 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 18) ELECTRIC OVEN WITH MICROWAVE OVEN.

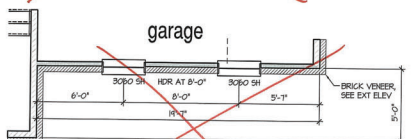
9'-1" STAIR NOTE:
 USE W/ 1.2 WITH 3/4" PLYWOOD SUBFLOOR.
 15 TREADS AT 12" EACH VERIFY
 16 RISERS AT 11" = 124 1/4" TOTAL
 RISE VERIFY.



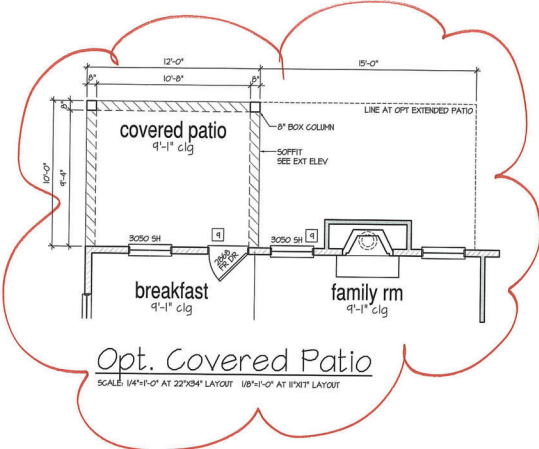
Opt. Side-Load Garage 'A'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



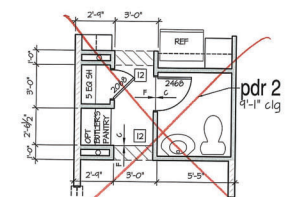
Opt. Side-Load Garage 'B'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



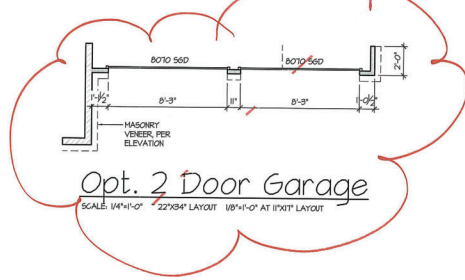
Opt. Side-Load Garage 'C'
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



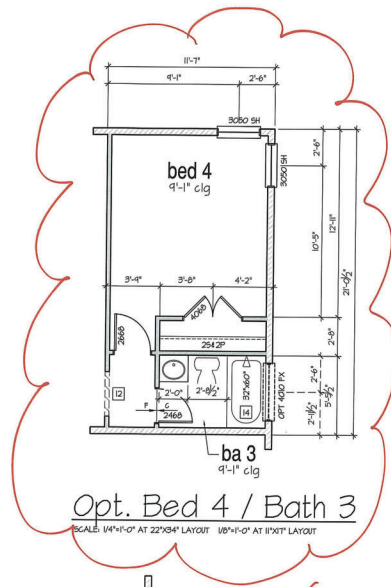
Opt. Covered Patio
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



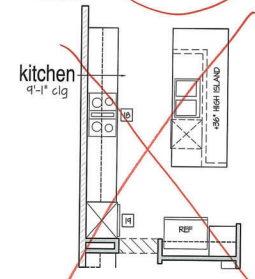
Opt. Powder Room 2
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Opt. 2 Door Garage
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Opt. Bed 4 / Bath 3
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Opt. Gourmet Kitchen
 SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



ATLANTA, GEORGIA LOCATION:
 1825 SATELLITE BLVD
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 PHONE: 770-975-7551

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NO.	DATE	REVISION
1	02/04/18	FIRST SUBMITTAL
2	02/04/18	BED GAR GARAGE OPTIONS ADDED
3	02/04/18	FRAME HULK CORNER

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GA16014

SHEET TITLE:
JESSAMINE - RH
 1st FLOOR
 PLAN OPTIONS

PRINT DATE:
 JAN 1, 2019

SHEET NO:
A1.1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - MINIMUM HEAD HEIGHTS:
 1ST FLOOR = 6'-0" UNO, ON ELEVATIONS.
 2ND FLOOR = 6'-0" UNO, ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

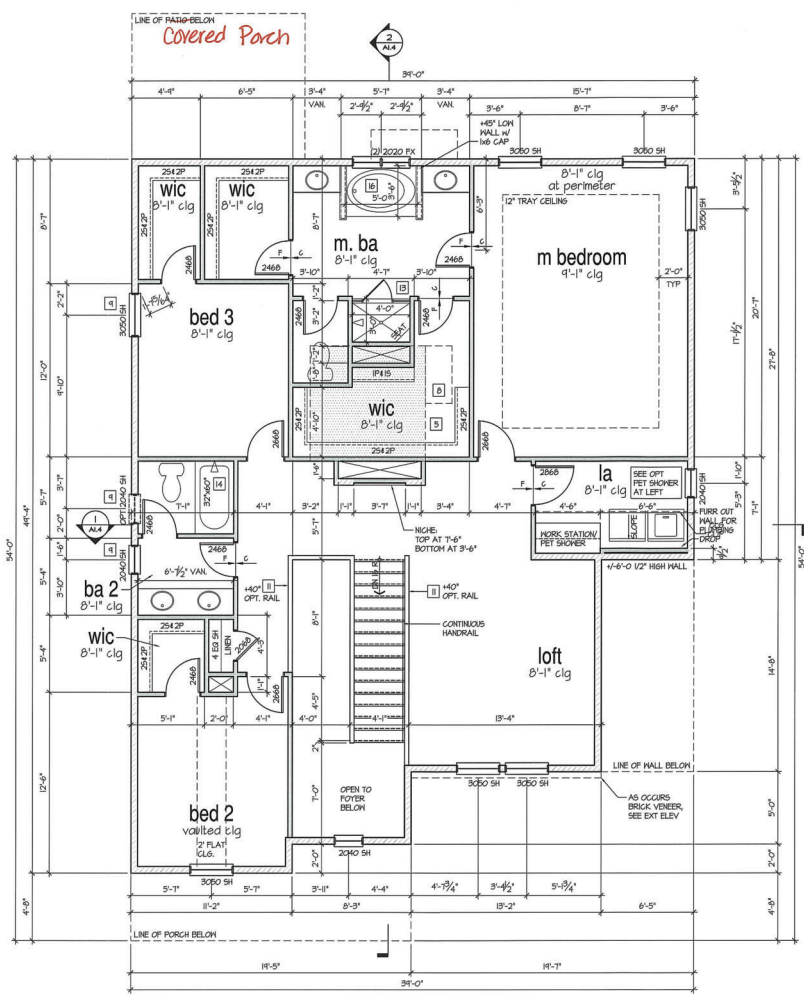
WALL LEGEND:

	FULL HEIGHT 2x4 WOOD STUD PARTITION		FULL HEIGHT 2x6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD (PER LOCAL CODE). GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD (PER LOCAL CODE).
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR (PER LOCAL CODE).
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS (PER LOCAL CODE).
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE 10' HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAI 8X8' PLATFORM, VERIFY WITH TRUSS MANUFACTURER, 6'-0" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2"X6" OVER 2"X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.) A/C CONDENSER PAD (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED (PER LOCAL CODE). ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (2" 1/2" x 3/4" SIDING)
 - TEMPERED SAFETY GLASS (PER LOCAL CODE)
 - PLYWOOD SHELF ABOVE WITH DRYHALL FINISH OVER, HEIGHT AS NOTED.
 - HALF HALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-1" UNO. SFL = 7'-6" UNO.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER KITCHEN.
 - 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

9'-1" STAIR NOTE:
 (USE 1" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TRENDS AT 12" EACH VERIFY
 16 RISERS AT 4" TYP = 64 1/4" TOTAL
 RISE VERIFY



2nd Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



ATLANTA, GEORGIA LOCATION
 1845 SATELLITE BLVD
 SUITE 200
 DALUTH GA, 30011
 PHONE: 770-515-1333

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NO.	DATE	REVISION
05.01.10	05.04.10	FIRST SUBMITTAL
05.02.10	05.04.10	3RD GAS GARAGE OPTION ADDED
05.03.10	05.04.10	FRAME W/LK CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT CONSTRUCTION

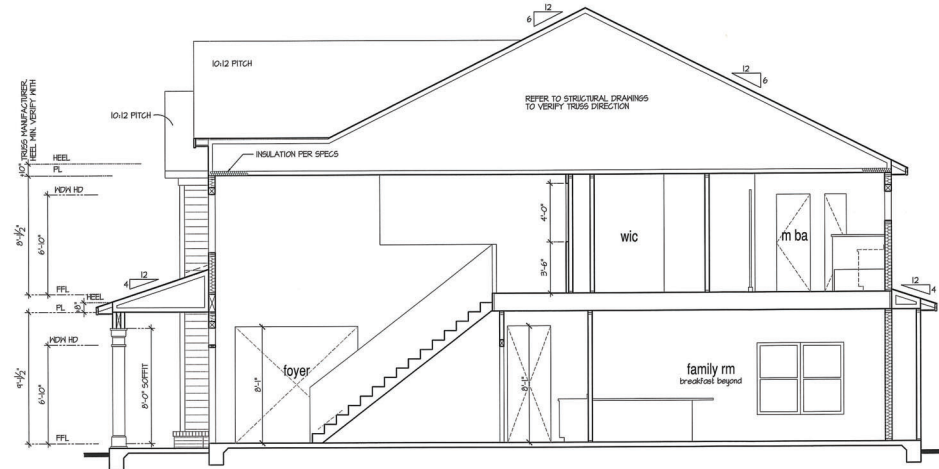
CLIENTS NAME:

PROJECT NO: **GMD-GA16014**

SHEET TITLE:
**JESSAMINE - RH
 2nd FLOOR
 PLAN 'A'**

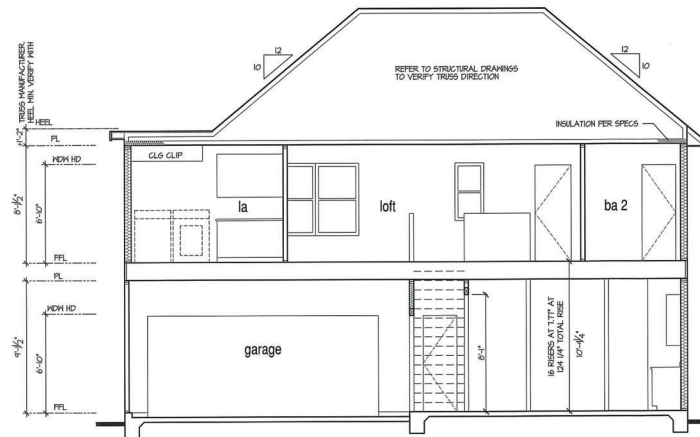
PRINT DATE:
 JAN 1, 2010

SHEET NO:
A1.2



Building Section 2

SCALE: 1/4"=1'-0" AT 22'35" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Building Section 1

SCALE: 1/4"=1'-0" AT 22'35" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

4'-1" STAIR NOTE:
 USE 1" x 1.5" WITH 3/4" PLYWOOD SUBFLOOR
 15 TREADS AT 12" EACH VERIFY
 15 RISERS AT 4" TTT = 124 1/4" TOTAL
 RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUME SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- FLOOR FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
 - EXTERIOR WALLS ZONE 3: R-19 BATTIS MINIMUM VERIFY
 - EXTERIOR WALLS ZONE 4: R-19 BATTIS MINIMUM VERIFY
 - CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-30 BATTIS MINIMUM VERIFY
 - CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES): R-30 BATTIS MINIMUM VERIFY
- FLOOR OVER GARAGE: R-19 BATTIS MINIMUM VERIFY
- ATTIC: KNEEWALL: R-19 BATTIS MINIMUM VERIFY
- CRAWL SPACE FLOORING: R-19 BATTIS MINIMUM VERIFY

PER STATE RESIDENTIAL CODE
 COMPLIANCE METHOD TO BE
 DETERMINED BY BUILDER.

WINDOW GLAZING U* FACTOR: 0.35



ATLANTA, GEORGIA LOCATION
 1845 SATELLITE BLVD
 SUITE 650
 DULUTH, GA, 30091
 PHONE: 770-375-1591

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NO.	DATE	REVISION
02.01.16		FIRST SUBMITTAL
02.04.16		REV. GAR. FINISH OPTIONS ADDED
11.28.16		FRAME WALL CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

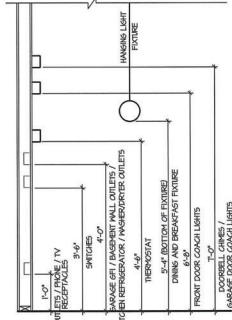
PROJECT NO: **GMD-6A16014**

SHEET TITLE:
JESSAMINE - RH BUILDING SECTIONS

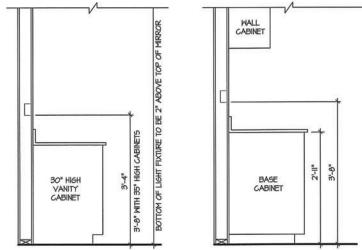
PRINT DATE:
 JAN 1, 2019

SHEET NO:

A1.4



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

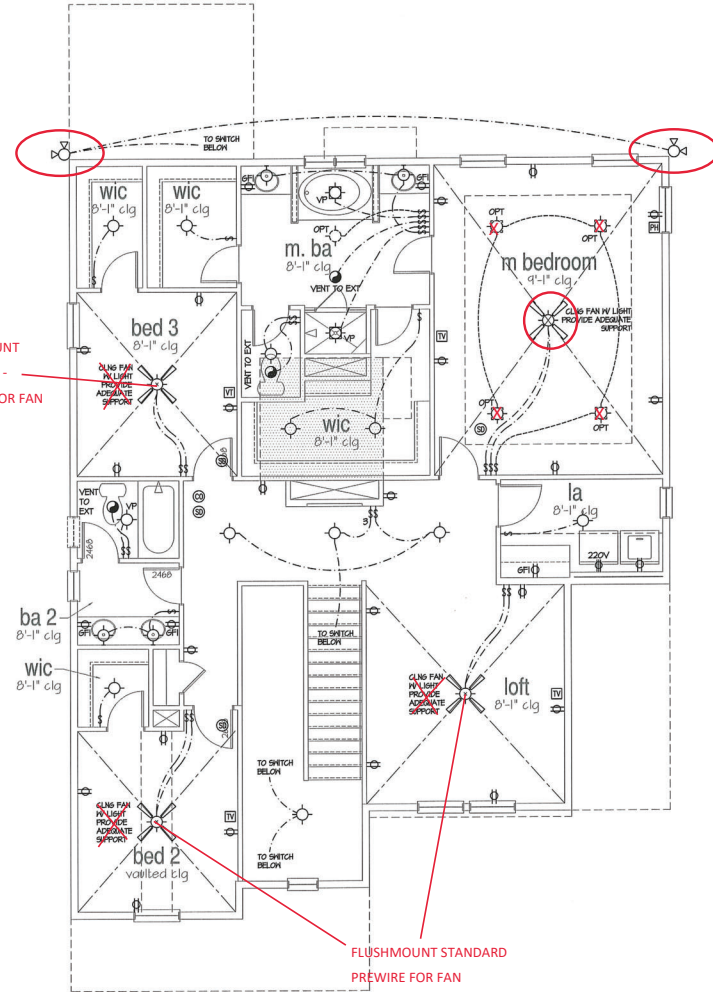
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRIFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/GITOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (PERRACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	—	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊕	HEATED/HEATRESISTANT GFI DUPLEX OUTLET	⊕	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊕	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊕	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	220V 220 VOLT OUTLET	⊕	EXHAUST FAN (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊕	EXHAUST FANLIGHT COORDINATION (VENT TO EXTERIOR)
⊕	HALL SWITCH	⊕	FLUORESCENT LIGHT FIXTURE
⊕	THREE-WAY SWITCH	⊕	TECH. HUB SYSTEM
⊕	FOUR-WAY SWITCH	⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	GFI'S	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	FISHBINATION SWITCH	⊕	GAS SUPPLY WITH VALVE
⊕	120V SMOKE DETECTOR (V BATTERY BACKUP)	⊕	NOSE BIRD
⊕	CO2 DETECTOR	⊕	1/4" WATER SIBB OUT
⊕	THERMOSTAT	⊕	HALL SCANCE
⊕	TELEPHONE		
⊕	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



FLUSHMOUNT STANDARD - PREWIRE FOR FAN



2nd Floor Plan 'A'
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



ATLANTA, GEORGIA LOCATION
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NO.	DATE	REVISION:
1	02.18.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTIONS ADDED
3	11.23.16	FRAME WALL CHANGED

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-6A16014

SHEET TITLE:
JESSAMINE - RH
2nd FLOOR
UTILITY PLAN

PRINT DATE:

May 31, 2016

SHEET NO:

E2.0



KSE ENGINEERING

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JESSAMINE

CAROLINA DIVISION

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):
• 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:
• ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
• UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
• HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
• FLOOR = 40 PSF
• FLOOR (SLEEPING AREAS) = 30 PSF
• DECK = 40 PSF
• BALCONY = 40 PSF
• STAIRS = 40 PSF

DESIGN DEAD LOADS:
• ROOF TRUSS = 17 PSF (TC=7, BC=10)
• FLOOR TRUSS = 15 PSF (TC=10, BC=5)
• FLOOR JOIST = 10 PSF
• QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.

DESIGN WIND LOADS:
• ULTIMATE WIND SPEED = 120 MPH
• EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_b=2,325 PSI, F_v=310 PSI, F_c=900 PSI
- LVL: E=2,000,000 PSI, F_b=2,600 PSI, F_v=285 PSI, F_c=750 PSI
- PSL: E=2,100,000 PSI, F_b=2,900 PSI, F_v=290 PSI, F_c=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRS R301.1.3.



Cover Sheet
Jessamine Model - RH
120 M.P.H.
Carolina Division

Project #: 105-16010
Designed By: KRK
Checked By:
Issue Date: 4/5/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

S-0

GENERAL STRUCTURAL NOTES:

- 1. THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL ELEMENTS AND THE PERFORMANCE OF THIS STRUCTURE. NO OTHER PARTY MAY REVISE, ALTER, OR DELETE ANY STRUCTURAL ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT THE WRITTEN CONSENT OF K&E ENGINEERING, P.C. OR THE SER. FOR THE PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND K&E ENGINEERING SHALL BE CONSIDERED THE SAME ENTITY.

FOUNDATIONS:

- 1. FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE BUILDING CODE. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SATURABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR.

CONCRETE & REINFORCING:

- 1. CONCRETE DESIGN BASED ON ACI 318 AND ACI 318.1 OR ACI 332. CONCRETE SHALL HAVE A NORMAL WEIGHT AGGREGATE AND A MINIMUM COMPRESSIVE STRENGTH (F'c) = 3000 PSI MINIMUM AT 28 DAYS PER CODE (VARIES W/ WEATHER), UNLESS OTHERWISE NOTED ON THE PLAN.

MASONRY:

- 1. ALL MASONRY SHALL CONFORM TO ASTM C-90, F'c=1500 PSI. ALL BRICK SHALL CONFORM TO ASTM C-216, F'c=1500 PSI. ALL MORTAR SHALL BE TYPE "S" (TYPE "M" BELOW GRADE) AND CONFORM TO ASTM C-270.

WOOD FRAMING:

- 1. SOLID SAWN WOOD FRAMING MEMBERS SHALL CONFORM TO THE SPECIFICATIONS LISTED IN THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", (NDS), UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS ARE DESIGN TO BE: SPRUCE-PINE-FIR (SPF) WITH THE FOLLOWING MINIMUM DESIGN VALUES: E=1400,000 PSI, Fv=875 PSI, Fc=135 PSI

EXTERIOR WOOD FRAMED DECKS:

- 1. DECKS ARE TO BE FRAMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND AS REFERENCED ON THE STRUCTURAL PLANS, EITHER THROUGH CODE REFERENCES OR CONSTRUCTION DETAILS.

WOOD TRUSSES (FLOOR & ROOF):

- 1. THE WOOD TRUSS MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES. SUBMIT SEALED SHOP DRAWINGS AND SUPPORTING CALCULATIONS TO THE SER FOR REVIEW PRIOR TO FABRICATION. THE SER SHALL HAVE A MINIMUM OF (5) DAYS FOR REVIEW. THE REVIEW BY THE SER SHALL BE FOR OVERALL COMPLIANCE OF THE DESIGN DOCUMENTS. THE SER SHALL ASSUME NO RESPONSIBILITY FOR THE CORRECTNESS OF THE STRUCTURAL DESIGN FOR THE WOOD TRUSSES.

WOOD STRUCTURAL PANELS:

- 1. FABRICATION AND PLACEMENT OF STRUCTURAL WOOD SHEATHING SHALL BE IN ACCORDANCE WITH THE APA DESIGN/CONSTRUCTION GUIDE "RESIDENTIAL AND COMMERCIAL," AND ALL OTHER APPLICABLE APA STANDARDS.

STRUCTURAL FIBERBOARD PANELS:

- 1. STRUCTURAL FIBERBOARD SHEATHING SHALL ONLY BE USED WHERE SPECIFICALLY NOTED ON THE STRUCTURAL PLANS.

STRUCTURAL STEEL:

- 1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND OF THE MANUAL OF STEEL CONSTRUCTION "LOAD RESISTANCE FACTOR DESIGN" LATEST EDITIONS.

MECHANICAL FASTENERS:

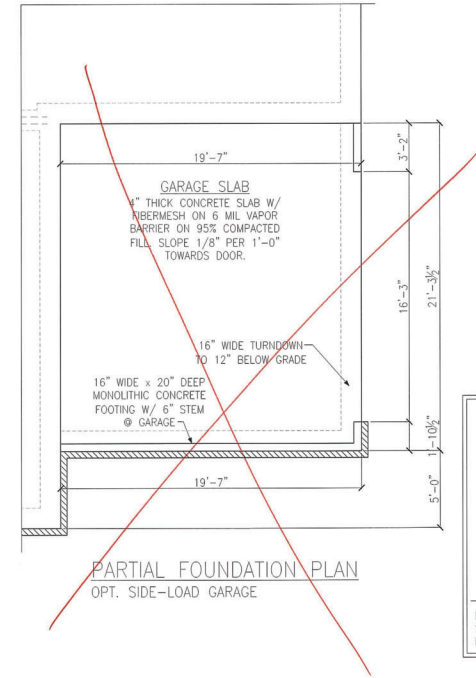
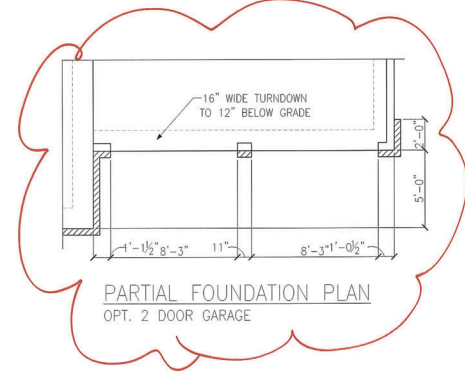
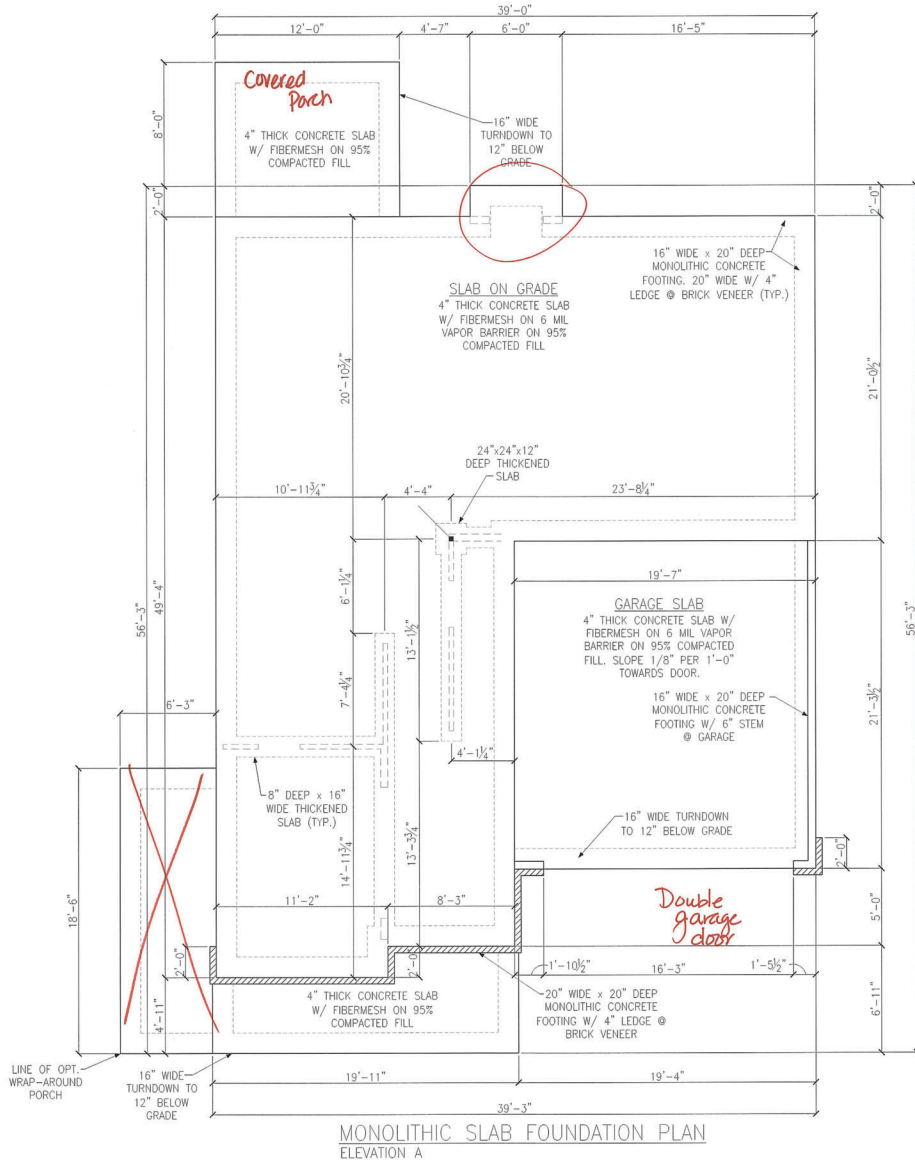
- 1. ALL METAL HARDWARE AND FASTENERS TO BE SIMPSON STRONG-TIE OR APPROVED EQUIVALENT.

LEGEND: PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE. INTERIOR BEARING WALL ABOVE. INTERIOR BEARING WALL. WALL BRACING/SHEAR WALL. SEE HOLD DOWN SCHEDULE AND DETAILS FOR TYPICAL INSTALLATION. AREA OF OVERFRAMING.

BRICK VENEER Lintel Schedule table with columns: SPAN, LINTEL SIZE, END BEARING. Rows include spans up to 3'-0" and 9'-6" with corresponding lintel sizes and end bearing requirements.



Project #: 105-19000. Designed By: K&K. Checked By: [blank]. Issue Date: 1/1/19. Re-Issue: [blank]. Scale: 1/8"=1'-0" @ 11x17. 1/4"=1'-0" @ 22x34. K&E ENGINEERING 1900 AM DRIVE, SUITE 202, GAITHERSBURG, PA 19381 www.k&e-eng.com. I & H HOMES 120 M.P.H. Carolina Division. S-0.1



LEGEND

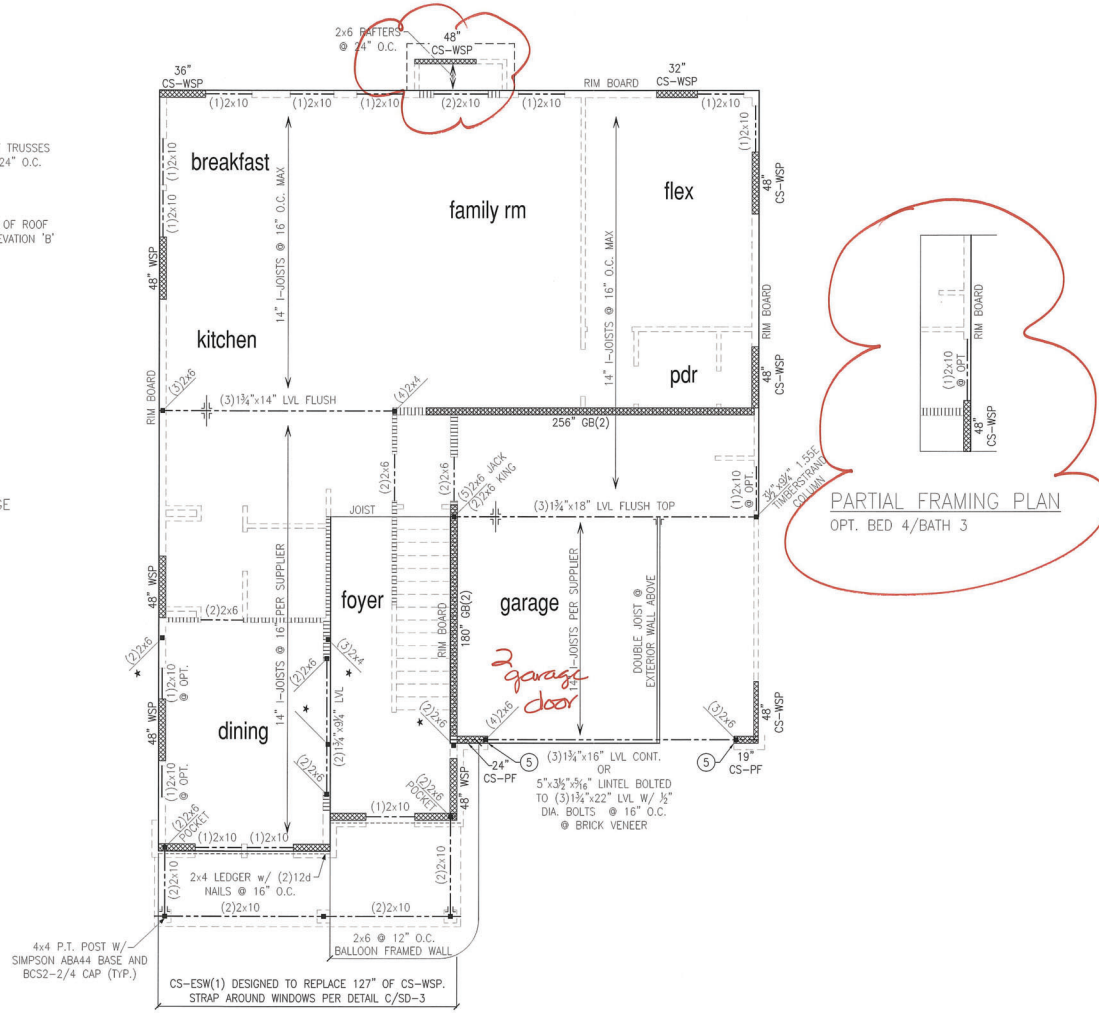
- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- ▬ BEARING WALL ABOVE
- ▬ INTERIOR BEARING WALL
- ▬ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- ▬ LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

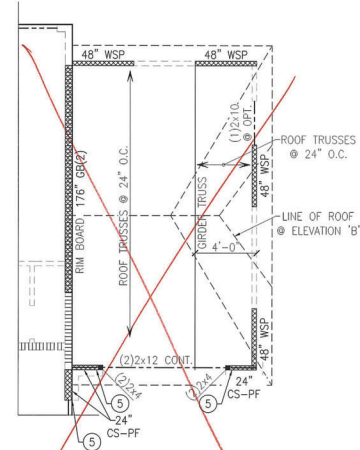




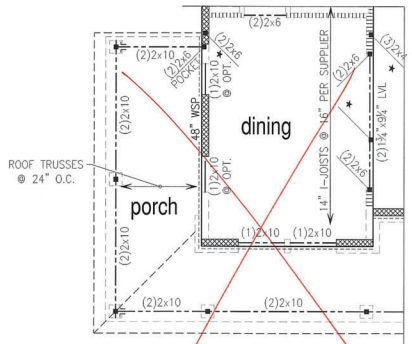
LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.	
KEYNOTES:	
④	INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
⑤	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



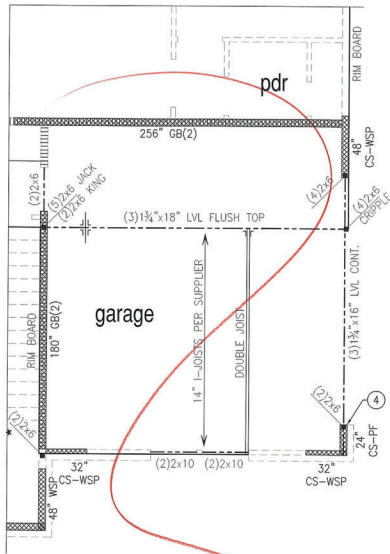
SECOND FLOOR FRAMING PLAN
ELEVATION A



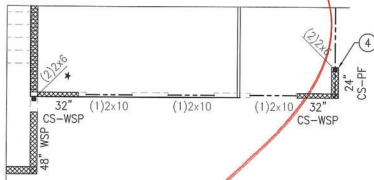
PARTIAL FRAMING PLAN
OPTIONAL 3-CAR SWING IN CARRIAGE GARAGE



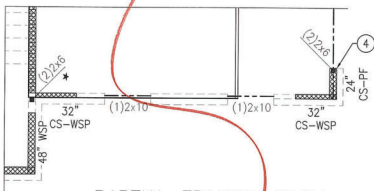
PARTIAL FRAMING PLAN
OPT. WRAP-AROUND PORCH
ELEVATION A



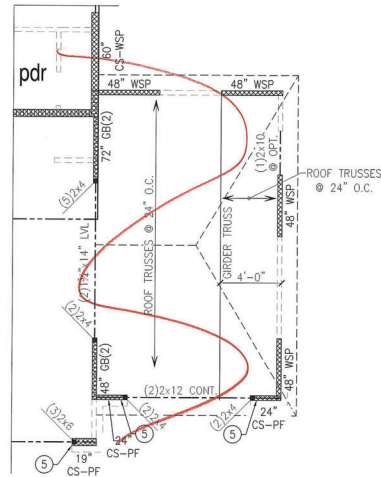
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION A



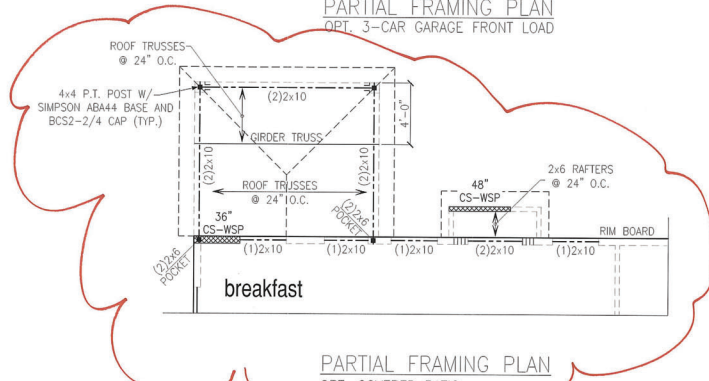
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION B



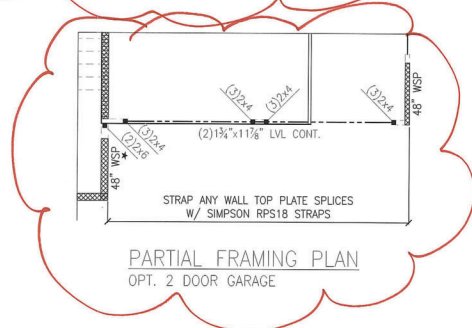
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION B



PARTIAL FRAMING PLAN
OPT. 3-CAR GARAGE FRONT LOAD



PARTIAL FRAMING PLAN
OPT. COVERED PATIO



PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

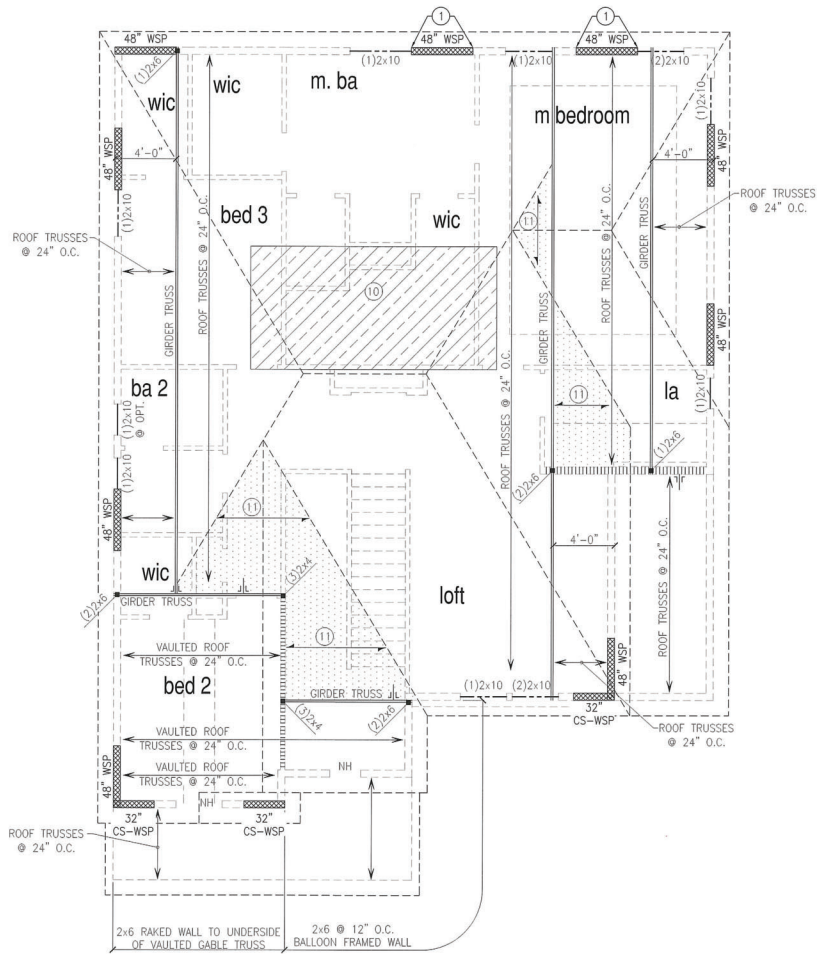
PLAN DESIGNED WITH 9\"/>

FLOOR FRAMING TO BE 14\"/>

KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





ROOF FRAMING PLAN
ELEVATION A

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE.
- INTERIOR BEARING WALL.
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
-

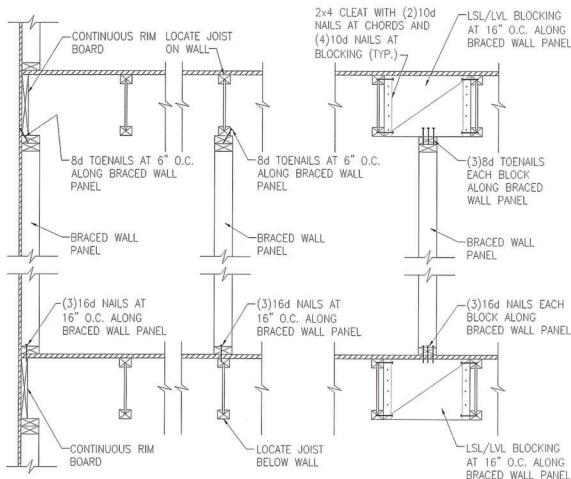
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8" WALL PLATES

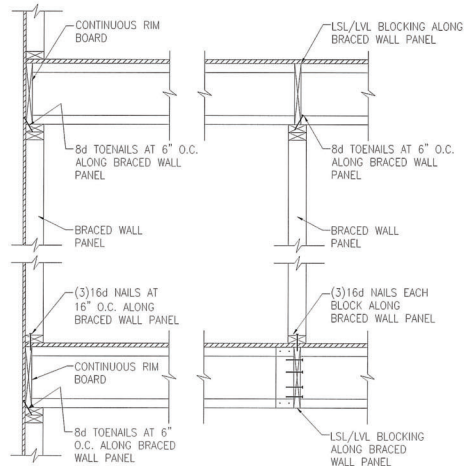
KEYNOTES:

- 1 CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.
- 10 8'x16" HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- 11 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)

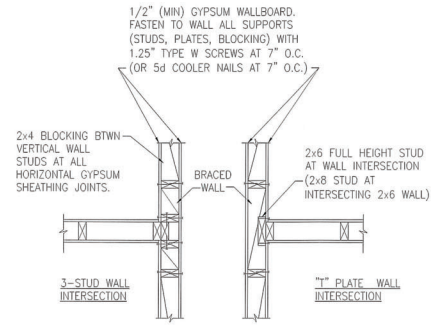




(A) TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS

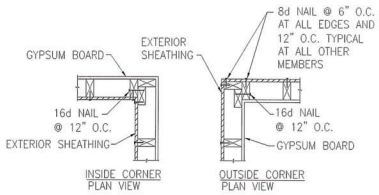


(B) TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

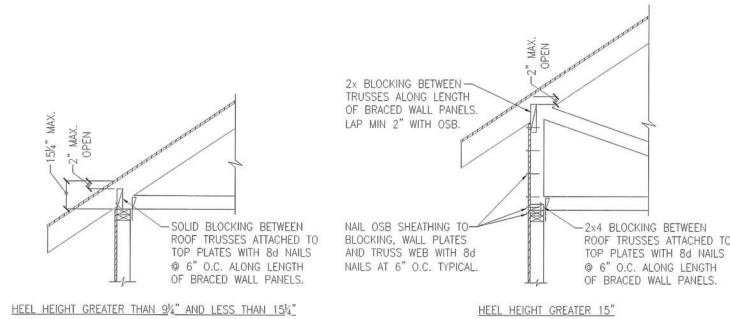


BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

(C) METHOD GB(1) AND GB(2) INTERSECTION DETAILS

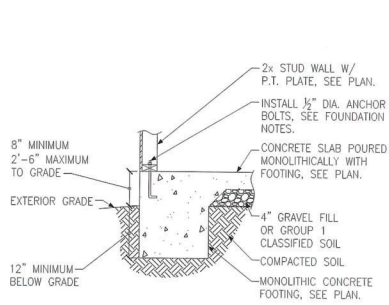


(D) TYPICAL EXTERIOR CORNER WALL FRAMING

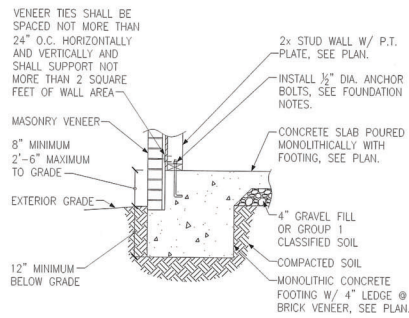


(E) ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS

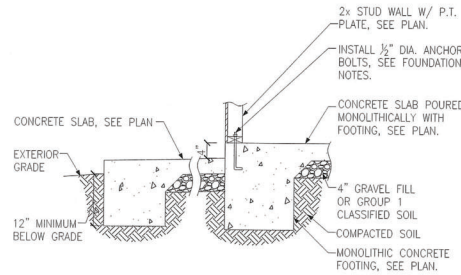




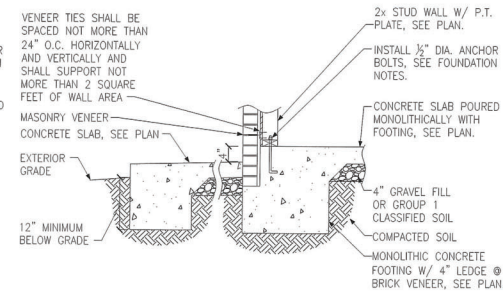
A FOUNDATION SECTION
EXTERIOR WALL



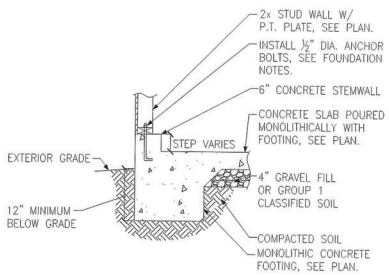
B FOUNDATION SECTION
EXTERIOR WALL @ MASONRY
VENEER



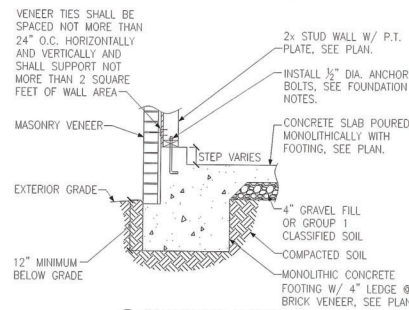
C FOUNDATION SECTION
EXTERIOR WALL AT PORCH



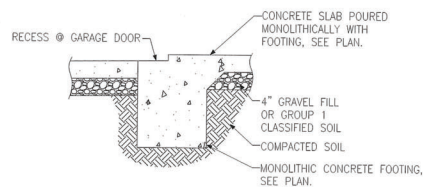
D FOUNDATION SECTION
EXTERIOR WALL AT PORCH W/ MASONRY
VENEER



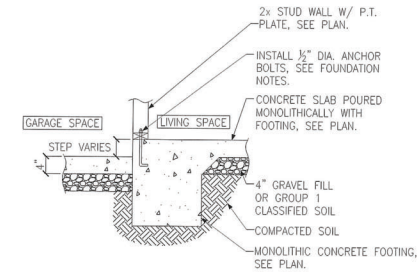
E FOUNDATION SECTION
EXTERIOR GARAGE WALL



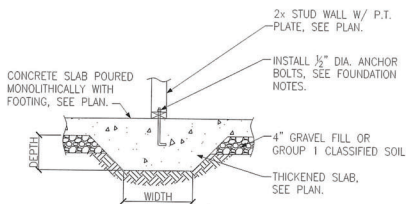
F FOUNDATION SECTION
EXTERIOR GARAGE WALL @ MASONRY
VENEER



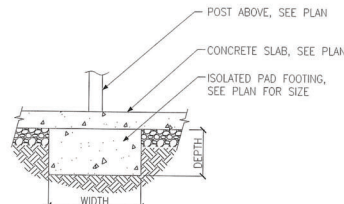
G FOUNDATION SECTION
GARAGE DOOR



H FOUNDATION SECTION
INTERIOR GARAGE WALL



J FOUNDATION SECTION
THICKENED SLAB



K FOUNDATION SECTION
ISOLATED PAD FOOTING



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