40' PLANS

JESSAMINE -

gma design group of georgia

ATLANTA, GEORGIA LOCATION. 1845 SATELLITE BLVD 9JITE 850 DULITH, GA. 30097 PHONE: T10-315-1351

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0000	FIRST SUBHITTAL
0.0436	OPTIONS ADDED
23.16	FRAME HALK

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CONSULTANTS:

PLAN CHANGES:

DESCRIPTION:

FIRST SUBMITTAL

DATE

05.31.16 10.04.16

1	BUILDER
	H4H HOMES 2919 BREEZEWOOD AVE, STE 400 FAYETTEVILLE, NC. 28303 PHONE: (910) 486-4864
	CONTACT: JAMIE GODWIN EMAIL: JAMIEGODWINGHHHOMES.COM

- 3RD CAR GARAGE OPTION ADDED - FRAMING MALK COMMENTS FROM HICKORY PLAN CARRIED THROUGH THIS PLAN SET

DESIGNER 6MD DESIGN GROUP 1845 SATELLITE BLVD, STE 850 DULITH, GA. 3004T PHONE: (T10) 315-1351

TRUCTURAL ENGINEER KSE ENGINEERING 1900 AM DR. STE 201 GUAKERTOWN, PA. 18951 PHONE: (215) 541-2271

CONTACT: KENNETH KEEN EMAIL: KENøKSE-ENG.COM

8 HOMES

PROJECT NO: GMD-GAIGOI4

TITLE SHEET

JAN 1, 2019

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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MCDIFIED OR REVISED IN ANY MAY NETHOUT THE EXPRESSED MRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCOMENTENCES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS

ALL TRUSS DRAMINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL BIGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED. PROVIDE FIREBLOCKING. (PER LOCAL CODE)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL, AT ALL BATHROOMS AND POWDER ROOMS, VERIFY LOCATIONS AT FRAMING WALK.

BATHROUGH AND POWDER ROOTH, VERIT LOCATURE AT FRAMER PAUL.

BATOMERS GETE HINDSPROOTHS, RIDNEH AND BITCH, ALL HATBEROOFHS

CAPILLEE, A 40 HL, SELF-ADERSIN PM-BRANE OF RUBBERIZED

ARPHALT RIBERALY BORDER OF DATE THE SELF SELF SIN, OR EDAIL.

BISTALL PER MARKACITHERS AND TRAVEL ASSOCIATIONS PRINTED

BETALLERIN RIBERCIONES, OF HINDSPLAY OF AT ALL ADJUSTED HAT SIRFACES.

TO THE DESIGNERS SIGN LEDGE THESE DOOLPHITS ARE IN CONCREMENT HIS RESULTED FOR THE BULDING AMPLIANT HE REQUIRED HIS OF THE BULDING AMPLIANT HE WAYNE ALBERDATION OF THE BULDING AMPLIANT HE WAYNE SHOP DAMBER REVIEW AND DISTRIBUTION, ALONE HITH PRODUCT GREATTLES, REQUIRED HIS OFFICE CONSTRUCTION CONCREDING WHICH HE PRODUCT GREATTLES, RESPONDED IT OF THE GREAT CONTRACTION, UNLESS DIRECTED OTHERWISE MORE A SEPANCE MARKETION.

DEVANTAGE PROMITEGE DOZUMENTS IN THE CONSTRUCTION PHAGE SHALL BE REVIDED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF HORK IN QUESTION, ANY DEVANTAGE PRIOR THESE DOZUMEN'S INFILLOT PRIOR REVIEW, SHALL BE THE SOLD RESIGNABILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLIDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BILLION SHALL PURSES ANY AND ALL REPORTS RECEIVED FROM THE GEOTIFICACIO, THE SHEET SHOULD AN THE SHEET OF THE PROPOSED SHEET THE DESIGNESS PROGRESSING DISCOVERY OF ORDERAL CONTROLOGY. IN THE ENGINE OF GEOTIFICACIO, REPORTS DISCOVERY OF ORDERAL CONTROLOGY. IN THE PRINCIPACIO DESIGNATION OF THE PROPOSED SHALL DISCOVERY OF THE PRINCIPACIO DESIGNATION OF THE PROPOSED SHALL DISCOVERY OF THE PRINCIPACIO DESIGNATION OF THE PROPOSED SHALL DISCOVERY OF THE CONTROLOGY. OR THE PROPOSED SHALL DESIGNATION OF THE PROPOSED SHALL DISCOVERY OF THE CONTROLOGY.

THE CRITERIA.

ALL HORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND
COMPONEN HITH LOCAL, AND STATE BILLIDING COMES, ORDINAVES AND
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GENERAL CONTRACTOR IS RESPONSIBLE TO BE ANAME OF THESE REGULATIONS
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MINDOM SUPPLIER TO VERIFY AT LEAST ONE MINDOM IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.1 SO FT WITH MIN, DIMENSION OF 24" IN HEIGHT AND 20" IN MIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE PLOOR, (PER LOCAL, CODE) ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPIERE CANNOT PASS BETWEEN BALLUSTERS, (PER LOCAL CODE)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER PER LOCAL CODE

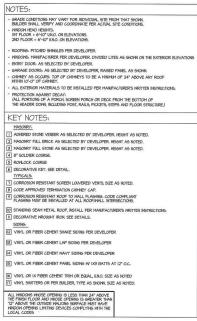
BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A TRALEPES SET OF COMPRISITION DOCUMENTS AND GENERAL WORTH SERSIANTIES RETERRED TO AS TH, AND SET OF PLANS IS SETUPLENT TO DESIRE AND ARRIVED SET OF ALL PATRICIALS AND MEMORS OF COMPRISION RECEIVED TO COMPRISIT THE PROJECT AND SECURIOR. THEY OF THE PLANS AND SERVICE THE THE PROJECT AND SECURIOR. THEY OF HATERIALS, AND SERVIL PRINCIPLE OF ASSETS HAVE OF A SECRETARY OF THE PROJECT OF SETUPLICALAR PRODUCTS OF OTERS SETUPLOS OF ANY CLIENT COMPANY. BY ROCKET OF SETUPLICAL PRODUCTS OF THE TANKS OF A CLIENT COMPANY. SETUPLICATION OF THE TANKS OF THE PLANS AND A CLIENT COMPANY. SETUPLICATION SECRETARY TO THE PRODUCT OF THE PLANS AND CLIENT COMPANY. SETUPLICATION SECRETARY TO THE PRODUCT THE AND THE OF COSTRICTION.

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JESSAMIN	E SQUARE	FOOTAGE	E 5
AREA	ELEV 'A'	ELEV 'B'	ELEV 'C'
HA FLOOR	1344 SF	1344 SF	1344 SF
2nd FLOOR	1503 SF	1503 SF	1503 SF
TOTAL LIVING	2852 SF	2852 SF	2852 SF
GARAGE	42I SF	421 SF	421 SF
PORCH	101 SF	101 SF	101 SF
OPT, COVERED PATIO	+120 SF	+120 SF	+120 SF
OPT, HRAP-AROUND PORCH	+108 SF	+108 SF	+108 SF
COT BUCAD GARAGE	240 SF	240 SF	240 5

AREA CALCULATIONS











ATLANTA, GEORGIA LOCATION 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 30041 PHONE: T10-315-1351

NO	DATE	REVISION:
Δ	05.3U6	FIRST SUBMITTAL
A	10.04.16	SRD GAR GARAGE OPTIONS ADDED
⅓	11.2336	FRAME HALK CHANGES

PROJECT TITLE:

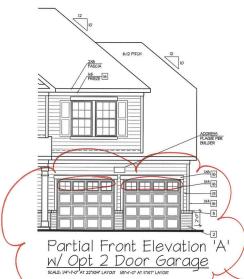
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

PROJECT NO: GMD-GAI6014

JESSAMINE - RH **EXTERIOR ELEVATIONS 'A'**

JAN 1, 2019



GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS. MINDOW HEAD HEIGHTS: 15T FLOOR = 6'-10" UNO, ON ELEVATIONS, 2ND FLOOR = 6'-10" UNO, ON ELEVATIONS ROOFING: PITCHED SHINGLES PER DEVELOPER. MNDOMS: MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS. - BNTRY DOOR: AS SELECTED BY DEVELOPER. - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN. CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10"-0" OF CHIMNEY. WHIN KUYO'OF CHIMPET. A. LE DITEROR MERELLAS TO BE INSTALLED FER MANIFACTIRERS WRITTEN INSTRUCTIONS. **PROJECTION AGAINST DECAST (ALL PORTIONS OF A PORCIAL SPEEM PORCIA OR DECK FROM THE BOTTOM OF THE HEADER DOWN INCLIDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)

KEY NOTES:

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NOTES:

I ADRERED STORE VENEER AS SELECTED BY DEVELOPER, REIGHT AS NOTED,

MACORRY FULL BRICK AS SELECTED BY DEVELOPER, REIGHT AS NOTED,

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GORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.

(I) STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

(II) DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER

19 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER

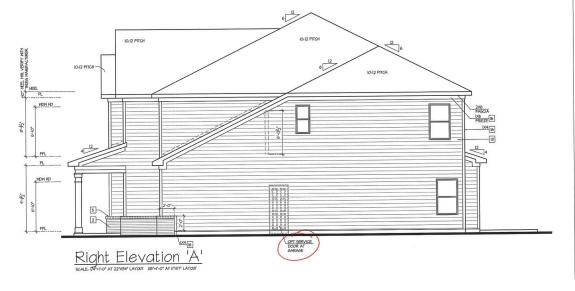
4 VINYL OR FIBER CEMENT HAVY SIDING PER DEVELOPER

IS VINYL OR FIBER CEMENT PANEL SIDING W IX3 BATTS AT 12" O.C.

| 16 VINYL OR IX FIBER CEMENT TRIM OR EQUAL, UN.O. SIZE AS NOTED | IT VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN, SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND INHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE MALKING SURFACE MIST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES







of georgia

NO:	DATE	REVISION:
Δ	05.31.16	FIRST SIEMITTAL
◬	10.04.16	SRD CAR GARAGE OPTIONS ADDED
⅓	11.2336	PRAME HALK CHANGES

PROJECT TITLE:

40' Plans

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

JESSAMINE - RH EXTERIOR ELEVATIONS 'A'

PRINT DATE: JAN 1, 2019

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NOTES: - GRADE CONDITIONS MAY VARY FOR NONYDUAL, SITE FROM THAT SHOWN, BUILDER SHALL VERRIFY AND COORDINATE FER ACTUAL SITE CONDITIONS, NEW AND A LEGAL SHE CONDITIONS, BIT FLOOR + 6 40° UNIO, ON ELEVATIONS, 20° FLOOR + 9 40° UNIO, ON ELEVATIONS, ROOFING, PITCHED SHINGLES PER DEVELOPER. MINDONG, MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS. ENTRY DOOR: AS SELECTED BY DEVELOPER. GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN. CHIMIEY AS OCCURS: TOP OF CHIMIEYS TO BE A MINIMAM OF 24" ABOVE ANY ROOF WITHIN 10"-0" OF CHIMIEY. ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS. ALL EXTERIOR MATERIALS ID DE INSTALLED PER PRINTADIANAL OF THE MATERIALS IN PROTECTION ASAINST DECAY. (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE) KEY NOTES: ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED. 4 8' SOLDIER COURSE. 5 ROWLOCK COURSE 6 DECORATIVE KEY, SEE DETAIL TYPICALS: T CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED. B CODE APPROVED TERMINATION CHIMNEY CAP. CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. [0] STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. TO DECORATIVE MROUGHT IRON, SEE DETAILS. SIDING: | VINTL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER 3 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER 4 VINYL OR FIBER CEMENT WAYY SIDING PER DEVELOPER 5 VINYL OR FIBER CEMENT PANEL SIDING W IX3 BATTS AT 12" O.C.

6 VINYL OR IX FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED 17 VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN, SIZE AS NOTED.

ALL MINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MOST HAVE MINDOW OPENING LIMITING DEVICES COMPLYING MITH THE LOCAL CODES









ATLANTA, GEORGIA LOCATION: 1845 SATELLITE BLVD SUITE 850 DILLITH, GA. 30041 PHONE: T10-315-1351



40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

JESSAMINE - RH EXTERIOR ELEVATIONS OPTIONS

JAN 1, 2019

A1.5.7

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

I SQUARE INCH VENT FOR EVERY ISO SQUARE INCHES OF CEILING 144 90, IN. = 1 90, FT. ED.D. C.EILING (SP) X 144 = BLDG (SQ. IN.) BLDG. (SQ. IN.) / ISO = 50, IN. OF VENT REQUIRED

ROOF AREA I: = 1770 SF 1770 SQ. FT. X 144 = 254880 SQ. IN. 254880 SQ. IN. / 150 = 1649.2 SQ. IN. OF VENT REQ'D

ROOF AREA 2: = 107 SF

107 SQ. FT. X 144 = 15406 SQ. IN. 15408 SQ. IN. / 150 = 102.72 SQ. IN. OF VENT REQ'D

ROOF AREA 31 = 120 SF 120 SQ, FT. X 144 = 17280 SQ, IN, 17280 SQ, IN, / ISO = 115.2 SQ, IN, OF VENT REQ'D

ROOF AREA 4: = 240 SF

240 Sq. Ft. x I44 = 34560 Sq. IN. 34560 Sq. IN. / I50 = 230.4 Sq. IN. OF VENT REQ'D

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

- DASHED LINES INDICATE WALL BELON. - LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. PITCHED ROOFS AS NOTED.

TRUSS MANUFACTURER SHALL SUBHIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BULDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVER PRIOR TO FARRICATIONS.

ALL PLIMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS, ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:300 RATIO

AS AN ALTERNATE TO THE I/ISO RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO I/ISOO

GENERAL CONTRACTOR SHALL VERRY'T THE NET FREE VARILATION OF THE VISH PRODUCT SELECTED BY ORDER VARILATION OF THE VISH PRODUCT SELECTED BY ORDER VARILATION OF THE VISH PRODUCT SELECTED BY ORDER TO BE REGISTED. VISH LATION SHALL BE MANDARD. THE REGISTED VISH LATION SHALL BE MANDARD. THE REGISTED VISH LATION SHALL BE MANDARD. THE REGISTED BY THE BULDING OFFICIAL. ALL OFFICIAL PRODUCT SHEAR PRODUCT SELECTED SHALL BENGES OF THE SHALL OFFICIAL PRODUCT SHALL BENGES OF THE VISH OFFI ALL OFFI SHALL BENGES OF THE VISH OF

DE VENIDO INCEPCIÓN I TO COS ASSISTEMENTS.

PER DEVELOPRA AT ALL CAMPILEURED FLOORS,
CASTILIVERED ARCHITECTURAL POP-CUTS, AND ANY COUBLE
FRAMIS PER JECTIONS THAT ARE SEPARATED FROM THE
VENTING CALCILLATIONS SHOWN ABOVE, PROVIDE A
CONTRIOLS 2" CORSIGN RESISTANT SOFFIT VENIT AT
INDERSIDE OF FRAMED ELEMENTS.

I SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING 144 50, II. 1 50, FT.

BLDs. (5EI, IN) 7 800 S0, IN, OF VENT REGUIRED

90, IN, OF VENT REGUIRED / 2 = 50% AT HIGH & 50% AT LONL

ROOF AREA Is = 1770 SF

ITTO 5Q. FT. X 144 = 254880 SQ. IN. 254880 SQ. IN. / 300 = 8446 SQ. IN. OF VENT REQID 8446 SQ. IN. / 2 = 424.8 SQ. IN.

424.6 SQ. IN OF VENT AT HIGH & 424.6 SQ. IN OF VENT AT LOW REQUIRED

POOF APPA 2. . IOT SE

107 50, FT, X 144 = 15406 50, IN.
15406 50, IN / 300 = 1366 50, IN OF VENT REQTD
53,56 50, IN / 25 = 25,66 50, IN
25,66 50, IN OF VENT AT HIGH ¢ 25,66 50, IN OF VENT AT LOW REQUIRED.

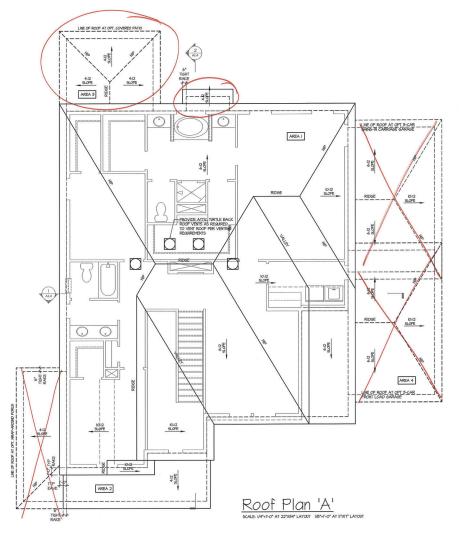
ROOF AREA 31 = 120 SF

120 SQ, FT, X 144 = 17280 SQ, IN, 17280 SQ, IN, / 300 = 57.6 SQ, IN, OF VENT REQID 57.6 SQ, IN, / 2 = 28.8 SQ, IN

28.8 SQ. IN. OF VENT AT HIGH & 28.8 SQ. IN. OF VENT AT LOW REQUIRED. ROOF AREA 4 = 240 SF

240 50, FT. X 144 = 34560 50, IN. 34560 50, IN. / 300 = 115.2 50, IN. OF VENT REQID 115.2 50, IN. / 2 = 51.6 50, IN

57.6 SQ. IN. OF VENT AT HIGH & 57.6 SQ. IN. OF VENT AT LOW REQUIRED.





ATLANTA, GEORGIA LOCATION. 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3009T PHONE: 710-315-1351

FIRST SUBMITTAL
OPTIONS ADDED
FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

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PROJECT NO: GMD-GAIGOI4

JESSAMINE - RH **ROOF PLAN 'A'**

JAN 1, 2019

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NOTES:

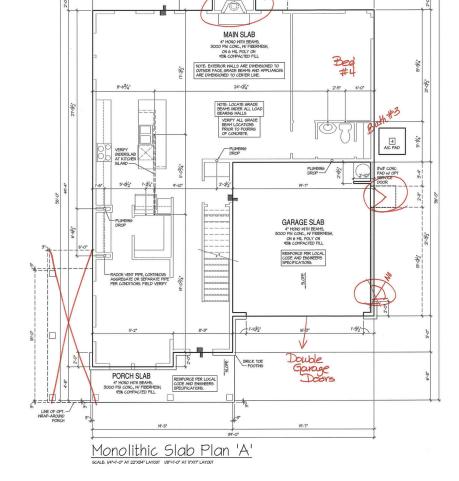
- IRRIGATION SYSTEM SHALL BE DESISED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
 THIS PERSPETEN DIMENSION RUM IS FOR DIMENSIONAL INFORMATION ONLY.
 SLOPE ALL STOOK AND IMPROCACE WHATERIAL, MAY FOR BILLDING.
 TYPICAL.
 SLOPE GARAGE FLOOR 189* PER FOOT TO GARAGE DOOR OPENING.

- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.

- VERIFY CRIES OUT BLOCKOUT WITH ARMSEE DOOR WARMFACTURES.
 FRETER OF OUT, DEVININGE FOR THIS SURFACE BLEVATION.
 FIRSH GRADE SHALL, PROVINE POSITHE DRAMMER WAY FROM BUILDING, REFER TO SOILS
 REPORT FOR ANY FERCH. RECRIPEMENT.
 FETERS TO STRUCKBALL DRAWNINGE FOR INLIDEOUSE, FROTTING DETAILS, GRED THICKNESS, AND
 RECOVATION HAY SHOWN ON THE FORM.
 FLATBORY FOR HAY FOR SHAPPAIR CONTINGED.
 FLATBORY FOR HAY FOR SEPARABLE, COLOURS TO ANY ELEMPTON.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES, 7 3/4" MAX AT INSKING DOORS, (PER LOCAL CODE)
- TYP STOOP AT INSHING/SLIDER DOORS, 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER LOCAL CODE) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED 6AS MATTER HEATERS IN THE GARAGE, INSTALL THE MATER HEATER PER LOCAL CODE PROTECT THE 6AS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.

- THY OF THOSE CHAPTER COCAL COLOR.

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12'-0"



ATLANTA, GEORGIA LOCATION: 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3004T PHONE: T10-915-1351

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NO: DATE: REVISION: C59Li6 FIRST SIBMITTAL
DOUBLE SRD CAR GARAGE OPTIONS ADDED 112316 FRAME WALK

PROFESSIONAL SEAL:

40' Plans

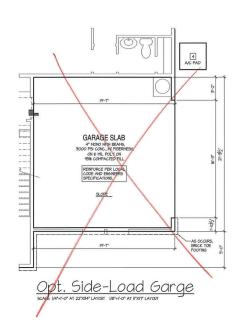
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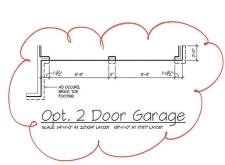


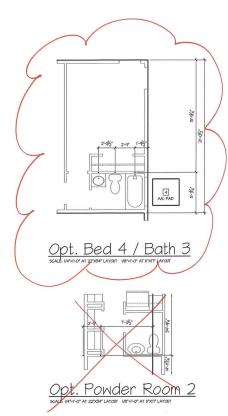
PROJECT NO: GMD-GAI6014

JESSAMINE - RH MONOLITHIC SLAB PLAN 'A'

JAN 1, 2019







NOTES:

- IRRIBATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATIRATION OF SOIL ADJACENT TO BUILDING.
 THIS PERMETER DIRESSON FLAN IS FOR DIMENSIONAL INFORMATION ONLY.

 SLOPE ALL STORMS AND INFORMATION AND THOSE BUILDING TYPICAL.

 SLOPE GARAGE FLOOR US PER FOOT TO GARAGE DOOR OPENING.

- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.

- VERIEV (VER CUT ELOCICIA) WITH GARAGE DOOR HAMPACHERER,
 FERETO COLU, PROVINGE CER PRINCE ELEVATION.
 FIRST COLUMN PROVINGE CER PRINCE ELEVATION.
 FIRST COLUMN PROVINGE CERTIFICATION FOR THE BILLION.
 FERETO COSTALIA, PROVINGE CERTIFICATION FOR THE BILLION.
 FERETO COSTALIA, DAVINGE FOR MICHAEL DOOR FOR THE BETAIN, CARB THICKNESS, AND INFORMATION INCT STORM CUT THE FLAX.
 FURTHER PRINCESS, PRINCESS, PRINCESS, ETC., APECARRIANTE, CONTRACTOR TO VERIEV, CORRI AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VORTH INE SUPPLIFOR STOPMENE COMMINS TO ART BLAND FOR GHS, MALEX OR ELECTRIC.

 VERIFY ALL DOOR RESEMBLO PLENTS TO HARD SERVACES,

 T 34" MAX AT INSMINS DOORS, FER LOCAL CODE)

 THY STOP AT THE MINISKLY, LIDER DOORS, 80" DEEP BY THE MIDTH OF THE DOOR SERVED, MINIMAN,
 (PER LOCAL CODE) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED 6AS MATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE PROTECT THE 6AS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
- INVACI PROJECUIOR PROJECUIOR SPARIO DA CALCADA CON SOCIA TERATMENTE SINTECCIO BALT STATIONE CO SOCIA TERATMENTE SINTECCIO BALT STATIONE CON PROVIDE CERVICAL TREATMENT FOR PROTECTION FROM TERMET INVESTATION FOR PROJECTION CONTROL CONTROL STATION FROM TERMET INVESTATION FOR PROJECTION CONTROL CONTROL STATION CONTROL CONTROL CONTROL STATION CONTROL CONTROL CONTROL CONTROL CONTROL CONTROL CONTROL FOR PROVIDENCE STATION CONTROL CONTROL CONTROL CONTROL CONTROL STATION CONTROL CON

design group of georgia ATLANTA, GEORGIA LOCATION. 1845 SATELLITE BLYD SUITE 850 DULUTH, GA. 3009T PHONE: T10-315-1351

NO: DATE: REVISION: OSJU6 PIRST SUBMITTAL
DICALIS SRD CAR GARAGE OPTIONS ADDED

IL29.16 FRAME HALK CHANGES

PROFESSIONAL SEAL:

40' Plans



PROJECT NO: GMD-GAI6014

JESSAMINE - RH MONOLITHIC SLAB PLAN OPTIONS

PRINT DATE: JAN 1, 2019

A1.0.1

 FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS. WINDOW HEAD HEIGHTS: IST FLOOR = 6'-10" UNIO, ON ELEVATIONS. 2ND FLOOR = 6-10" UNIO, ON ELEVATIONS

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

PULL HEIGHT 2X6 WOOD STUD PARTITION PULL HEIGHT 2X4 MOOD STUD PARTITION

STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED

BRICK / STONE VENEER

TOTAL PARTY OF THE DRYWALL OPENING, HEIGHT AS NOTED ON PLAN. LON GYPSIM BOARD WALL HEIGHT AND STILD SIZE AS NOTED

KEY NOTES:

- FIRE PROTECTION:
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE-HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER V2" GYPSUM BOARD, (PER LOCAL CODE) MITH ONE (V LATEX UP 2 STANDARD TO THE LATEX DOOR (PER LOCAL CODE)

 2 HOUSE TO GARAGE DOOR SEPARATION PROVIDE I-3/6" SOLID
 COSE DOOR OR APPROVED 20 MINUTE
 RATED DOOR (PER LOCAL CODE)
- 3 BERATH STARS AND LANDINGS, 1/2* 6*TPSIM BOARD ON MALLS AND CELLING OF BYCLOSED ACCESSIBLE AREAS, (FOR LOCAL CODE) MEPS
- METS

 I) NOR THE USE OF EMPOSED AND WATER HEATERS IN THE GARAGE,

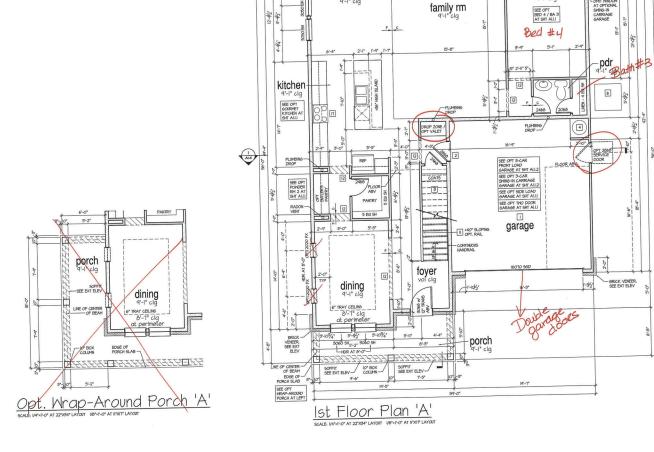
 II) NORTH THE WATER HEATER FIRE LOCAL CODE, BY MIGH PLATFORM,

 ROTTED: THE GARAGE AND PLANCE FROM FORTON WHILE.

 II) AND ADD THE LATER HEATER FIRE THE STATE OF THE LATER FROM THE PLATFORM METS HAT HE THE STATE OF THE LATER FROM THE PLATFORM METS HAT HE THE STATE OF THE CASE O
- D ATTIC ACCESS LARGE BUSINET TO REMOVE LARGEST PIECE OF EQUIPMENT BIT NOT LESS THAN 30 ACCESS AS NOTED. THE ROYAL CODE! ACCESS AS NOTED. THE ROYAL CODE! ACCESS AS NOTED. THE ROYAL CODE! ACTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (20 Let x 64 access) LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES.
- TYPICALS:

 1 TEMPERED SAFETY GLASS. (PER LOCAL CODE)
- PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED. III HALF WALL, HEIGHT AS NOTED.
- [12] INTERIOR SOFFITS: FFL = 8'-1" UNO. SFL = T'-6" UNO.
- BATHS:
- B SHOWER, TEMPERED GLASS ENCLOSURE.
- 14 TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE
- [5] CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- [6] GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER
- KITCHEN:
- 30° FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S INCITTEN INSTRUCTIONS.
- B 30° ELECTRICAL COOKTOP OR OPT, GAS COOKTOP AND HOOD VENT PER MANUPACTURER'S WRITTEN INSTRUCTIONS.
- [4] ELECTRIC OVEN WITH MICROWAVE OVEN.

91-1" STAIR NOTE: (USE IA* T.JI WITH 31/4" PLYMOOD SUBPLOOR) IS TREADS AT IO* EACH YERIPY IS RISERS AT 4-7 T.TT" = 124 1/4" TOTAL RISE YERIPY



patio

breakfast

Covered Parch

q

9 3050 SH

16'-5"

115-71

flex

9'-1" clg

4'-10"

2'-3" , 2'-7"

7

SEE OPT COV. PATIO AT SHT AU.I



ATLANTA, GEORGIA LOCATIONI 1845 STELLITE BLVD 9JITE 850 DULJTH, GA. 30091 PHONE: T10-315-1351

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NO: DATE: REVISION: 053LI6 FIRST SUBMITTAL

3RD CAR GARAGE
OPTIONS ADDED 11.29.16 FRAME HALK CHANGES

PROFESSIONAL SEAL:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

JESSAMINE - RH 1st FLOOR PLAN 'A'

PRINT DATE: JAN 1, 2019



FULL HEIGHT 2X4 HOOD STUD PARTITION PULL HEIGHT 2X6 HOOD STUD PARTITION

viiiiiiiima BRICK / STONE VENEER

STUD HALL BELOW HEIGHT AND STUD SIZE AS NOTED

LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED

KEY NOTES:

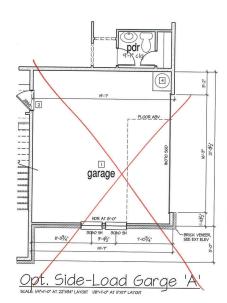
FIRE PROTECTION:

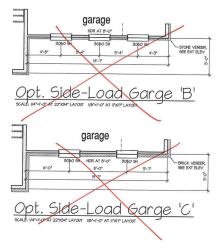
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION
 AT VERTICAL SURFACES SHALL BE PROTECTED
 WITH ONE (I) LAYER 1/2* GYPSUM BOARD. (PER LOCAL CODE) GARAGE/HOUSE SEPARATION AT HORIZONTIAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER 5/8*
 TYPE 'X' GYPSUM BOARD. (PER LOCAL CODE)
- [2] HOUSE TO GARAGE DOOR SEPARATION, PROVIDE I-3/8* SOLID CORE DOOR OR APPROVED 20 MINITE RATED DOOR, (PER LOCAL CODE)
- B BENEATH STAIRS AND LADDINGS, 1/2" GYPSIM BOARD ON HALLS AND CELING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE) MEP'S
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE.

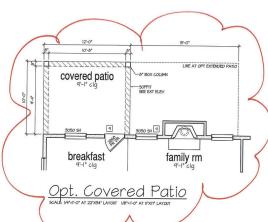
 IN STALL THE WATER HEATER FER LOCAL CODE, IS HIGH PLATFORM,
 PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE
 IMPACT PROTECTION FER LOCAL CODE.
- FAU 8/X" PLATFORM VERIFY WITH TRUS MANUFACTURER
 6'-6' MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS,
 2'X6' OVER 2'X4' BOTTON CHORD, OF TRUSS, VERIFY W TRUSSES.)

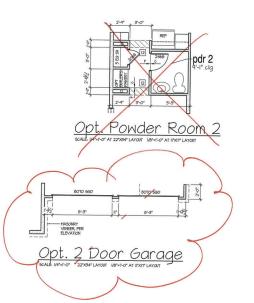
 AC CONDENSER PAD. (VERIFY)
- PRE-FABRICATED METAL FIREPLACE.
 INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- TITLE ACCESS LARGE BOUGH TO PROVIDE LARGEST PIECE
 OF EQUIPMENT BIT NOT LESS THAN 30'X22", FIEE RANGE
 ATEL ACCESS LARGE BOUGH TO PROVIDE LARGE LARGE
 ATEL ACCESS LARGE LARGE LARGE LARGE
 ATEL ACCESS LARGEST LOCALION AND SIZE WITH TRUSSES.
 TEMPERED SAFETY GLASS, PIER LOCAL CODE)
- PLYMOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED. III HALF WALL, HEIGHT AS NOTED.
- [2] INTERIOR SOFFITS: FFL = 8'-I" UNO. SFL = 7'-6" UNO.
- 13 SHOWER, TEMPERED GLASS ENCLOSURE.
- 14 TUB-SHOWER COMBO. TEMPERED GLASS BYCLOSURE.
- B CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- [6] GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER KITCHEN.
- The Standing Electrical Range or opt. Gas Range vent per Manufacturer's Mritten instructions.
- BO* ELECTRICAL COOKTOP OR OPT, GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- IF ELECTRIC OVEN WITH MICROHAVE OVEN.

9'-I" STAIR NOTE: (USE 14" T.J. WITH 3/4" PLYMOOD SUBFLOO IS TREADS AT 10" EACH VERIFY I6 RISERS AT +/- 1.11" = 124 1/4" TOTAL RISE VERIFY











Opt. Gourmet Kitchen





PROFESSIONAL SEAL:

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

JESSAMINE - RH 1st FLOOR PLAN OPTIONS

PRINT DATE: JAN 1, 2019

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- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS. MINDOW HEAD HEIGHTS: IST FLOOR = 6-IO* UND. ON ELEVATIONS 2ND FLOOR = 6-IO* UND. ON ELEVATIONS ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE. WALL LEGEND: FULL HEIGHT 2X4 HOOD STUD PARTITION FULL HEIGHT 2X6 WOOD STUD PARTITION viiiiiiiiiiii STUD HALL BELOW HEIGHT AND STUD SIZE AS NOTED BRICK / STONE VENEER - V / / I LOW GYPSUM BOARD HALL HEIGHT AND STUD SIZE AS NOTED DRYMALL OPENING, HEIGHT AG NOTED ON PLAN. KEY NOTES: FIRE PROTECTION: HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER I/2* GYPSUM BOARD, (PER LOCAL CODE) GARAGEMOJES SEPARATION AT HORIZONTIAL SUSFACES SHALL BE PROTECTED NITH ONE (I) LAYER 5/6"
THE YE OFFSM BOARD, FIRE LOCAL CODE)

[2] HOUSE TO GARAGE DOOR SEPARATION, PROVIDE I-3/6" SOLID ROPE DOOR OR AFFROVED 20 HIBME RATED DOOR, (PER LOCAL CODE) 3 BENEATH STAIRS AND LANDINGS, I/2* GYPSIM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODE) HETS
TOR THE LIES OF EXPOSED AND NATURE HEATERS IN THE GARAGE,
BISTALL THE HAVER HEATER FIRE LOCAL CODE BY HIGH PLATFORM
FRONTETS THE GARAF AND PLACE FIRE HOTORY VISICALE

IF AN EXPOSED AND PLATFORM VISITAL THE HAVE VISICALE

IF AN EXPOSED AND PLATFORM VISITAL THAT IN THE HAVE VISICALE

OF THE LOCAL PRISE OF THE HEATER HAVE HAVE VISICALE

AND CONCESSED AND HER HIGH TO HORIZONIAL PRISE MAY BE AND THE MESSES.)

IN COLUMN THE HIGH TO HORIZONIAL PRISE MAY BE AND THE MESSES

OF THE LOCAL PRISE HAVE VISITAL THAT IN THE MESSES AND THE HAVE VISICALE FINE HAVE VISICALED AND THE MESSES AND THE TYPICALS:

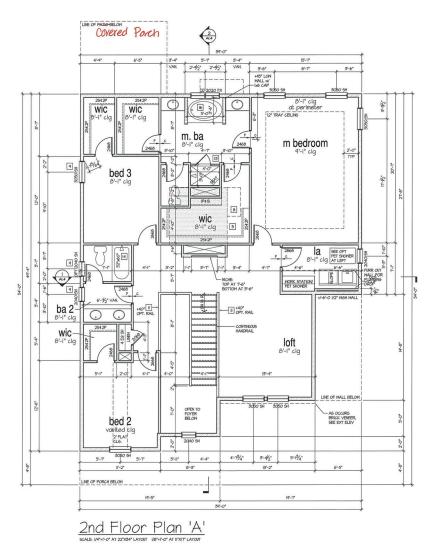
1 TEMPERED SAFETY GLASS. (PER LOCAL CODE) PLYMOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED. HALF WALL, HEIGHT AS NOTED. [2] INTERIOR SOFFITS: FFL = 8'-1" UN.O. SFL = 7'-6" UN.O. BATHS: B SHOWER, TEMPERED GLASS ENCLOSURE. [4] TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE (B) CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE. 6 GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER OF FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

B 30" ELECTRICAL COOKTOP OR OPT, GAS COOKTOP AND HOOD YENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

Q'-I" STAIR NOTE: (JSE I4" T.J. NITH 3/4" PLYMOOD SUBFLOOR) IS TREADS AT IO" EACH VERRIY I6 RISERS AT V- 1.TT" = 124 I/4" TOTAL RISE VERBLE

19 ELECTRIC OVEN WITH MICROMAVE OVEN.







ATLANTA, GEORGIA LOCATIONI 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3009T PHONE: T10-315-1351

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NO:	DATE:	REVISION:
Δ	<i>0</i> 5.3LI6	FIRST SUBMITTAL
Δ	10.04.16	BRD CAR GARAG OPTIONS ADDED
⅓	11.2336	FRAME HALK CHANGES

THU ESSENCE SEAL

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

JESSAMINE - RH 2nd FLOOR PLAN 'A'

PRINT DATE: JAN 1, 2019

9'-|" STAIR NOTE:
(USE 14" T.J NITH 314" PLYNOOD SUBFLOOR)
IS TREADS AT 10" EACH VERIFY
16 RISERS AT 10" EACH VERIFY
RISER VERIFY

NOTES:

- KUC LCD:

 REPER TO FLOOR FLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.

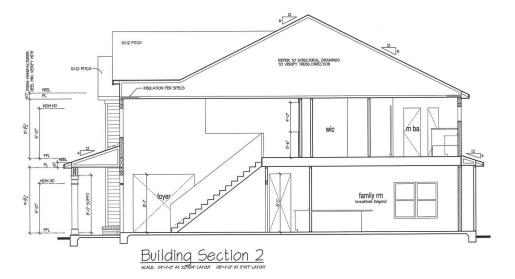
 REPER TO FLOOR FLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND A TRAIN OFFICIAL FOR CONTINUES, REPER TO WANH TLOCK FLAN AND A LIBENSHE FLOOR. THAN SPOR REPORTATION FOR THE PROTECTION OF THE PROTE

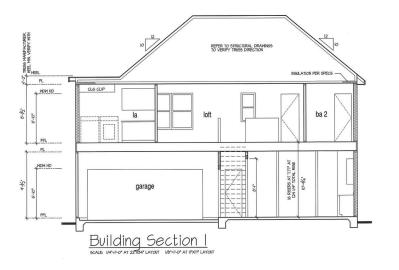
- YERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.

MITH LOCAL CODES.

BIRLATION
BIRLATI

WINDOW GLAZING "U" FACTOR: 0.35







PROJECT TITLE:

40' Plans

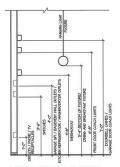
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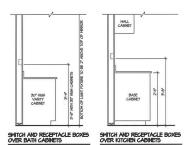
PROJECT NO: GMD-GAI6014

JESSAMINE - RH BUILDING SECTIONS

JAN 1, 2019



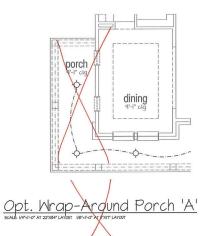
STANDARD ELECTRICAL BOX HEIGHTS

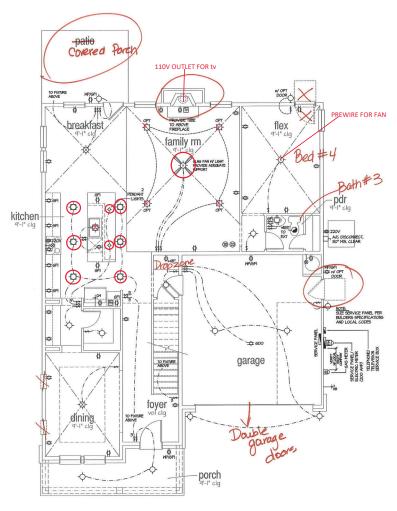


NOTES:

- PROVIDE BROMDING ELECTRICAL ROD PER LOCAL CODES.
 PROVIDE BROMDING LECTRICAL ROD PER LOCAL CODES.
 PROVIDE BROMDING AND INSTALL RICE PALL CRECITI-METERRIPES (PACI) AND REGILIRED BY INATIONAL ELECTRICAL CODE (SEA) AND PEREITING RECORREPIENTS OF ALL GOVERNMEN CODES.
 ALL DEVINET FAME SHALL HIVE BROCKDENT DAMPERS.
 PARALISHIS IN HEITOMP LOCATIONS SHALL BE LABLED STATISTIES FOR HET OR DAMP LOCATIONS. ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENSINEERED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (6F) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAG CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SWIP PI DRAIN TILE SWIP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

_EGE	END:	>	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
Ø	DUPLEX OVILET		CELLING MOUNTED INCANDESCENT LIGHT FIXTURE
фирия	HEATHERPROOF 6FI DUPLEX OUTLET	岭	HALL MOINTED INCANDESCENT LIGHT FOXTIRE
Р оп	6ROIND-FAILT CIRCUIT-INTERRUPTER DUPLEX CUTLET	Ö	RECESSED INCANDESCENT LIGHT FIXTURE
Ø	HALF-SHITCHED DUPLEX OUTLET	· ·	(VP) = VAPOR PROOF
∯220V	220 VOLT OVILET	9	EXHAUST FAN (VENT TO EXTERIOR)
0	REINFORCED JUNCTION BOX	4	ENNAST FANJANT COMBINATION AFIRT TO EXTERIOR)
\$	HALL SHITCH	_	THE TO EXILABITY
\$3	THREE-WAY SHITCH	\bowtie	FLUORESCENT LIGHT FIXTURE
\$4	FOUR-HAY SHITCH		TECH HUB SYSTEM
Θ	CHMES	1	CELING FAN
9	PUSHBUTTON SHITCH	1	(PROVIDE ADEQUATE SUPPORT)
8	NOV SHOKE DETECTOR NV BATTERY BACKUP	34	CELLING FAN HITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
0	CO2 DETECTOR	1	(PROVIDE ADDIGATE SEPPORT)
0	THERMOSTAT		GAS SIPPLY WITH VALVE
m	TELEPHONE		
[5]	TELEVISION	-+P	HOSE BIBB
۵	ELECTRIC METER	-+	1/4" HATER STUB OUT
	ELECTRIC PANEL	CN	PT PRICE SILV ON
4	DISCONECT SHITCH		WALL SCONCE





Ist Floor Plan SCALE: I/4'=I'-O" AT 22'X34" LAYOUT I/8'=I'-O" AT II'XIT" LAYOUT



ATLANTA, GEORGIA LOCATION: 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3009T PHONE: TIO-315-7351

NO:	DATE	REVISION:
Δ	05.3Ll6	FIRST SUBMITTAL
A	10.04.16	OPTIONS ADDED
⅓	11.29.16	FRAME HALK CHANGES
251		CHANGES

PROJECT TITLE: 40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

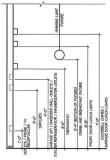


PROJECT NO: GMD-GAI6014

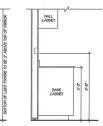
JESSAMINE - RH 1st FLOOR UTILITY PLAN

PRINT DATE: JAN 1, 2019

E1.0



STANDARD ELECTRICAL BOX HEIGHTS



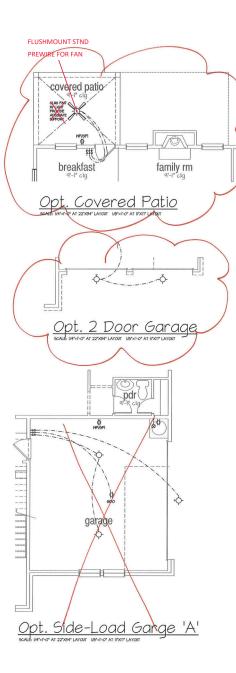
SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFC.) AS REQUIRED BY NATIONAL ELECTRICAL CODE (REC.) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- PANLIGHTS IN VET/DAMP LOCATIONS SHALL BE LABLED "SUTABLE FOR WET OR DAMP LOCATIONS.
 ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE EMSINEERED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NPPA) AND MEETING THE REQUIREMENTS OF ALL COVERNING CODES,
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFU) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- ALL ELECTRICAL AND RECVANICAL EQUIPMENT PRINACES, ACCUNTS, ELECTRICAL PARELS, SANTARY SAMP PIT DRAIN TILE SMP, AND NATIOR REATINGS ARE SIGNED TO RELOCATION DOES THE DC CONTINUED.
 PROVIDE POPER, LIGHT AND SMITCH AS REGULERED FOR ATTIC PURPACE PER CODE AND

LEGI	END:	>	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
Ø	DUPLEX OUTLET		CELING MOINTED INCANDESCENT LIGHT FIXTURE
Фириял	HEATHERPROOF 6FI DUPLEX OUTLET	Ю	HALL HOUNTED INCANDESCENT
∯ erı	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET		LIGHT FIXTURE RECEISED INCANDESCENT LIGHT FIXTURE
ø	HALF-SHITCHED DUPLEX OUTLET	· O	(VP) = VAPOR PROOF
∯ 220V	220 VOLT OUTLET	9	EXHAUST FAN (VENT TO EXTERIOR)
0	REINFORCED JUNCTION BOX	4	EXHAUST PANLIGHT COMBINATION (VENT TO EXTERIOR)
\$	WALL SHITCH		(VENI TO EXTENDIO)
\$ 3	THREE-MAY SMITCH		FLUCRESCENT LIGHT FIXTURE
\$4	FOUR-HAY SHITCH		TECH HJB SYSTEM
E	CHIMES	00	CELING FAN
9	PUSHBUTTON SHITCH	1	(PROVIDE ADEQUATE SUPPORT)
8	NOV SHOKE DETECTOR NV BATTERY BACKUP	1	CELLING FAN WITH INCANDESCENT LIGHT PIXTURE
0	CO2 DETECTOR	1	(PROVIDE ADEQUATE SUPPORT)
0	THERMOSTAT		GAG SUPPLY WITH VALVE
29	TELEPHONE		
N	TELEVISION	1	HOSE BIBB
۵	ELECTRIC METER	-+-	Washing can on
	ELECTRIC PANEL	_	1/4" WATER STUB OUT
-	DISCONNICT SHITCH	1 -∤	HALL SCONCE









ATLANTA, GEORGIA LOCATION, 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3009T PHONE: TIO-375-1351

NO: DATE: REVISION: OS.91.6 PIRST SUBMITTAL

OC.04.16 SRD CAR GARAGE
OPTIONS ADDED 129.6 FRAME NAUK CHANGES

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

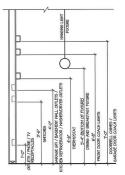
CLIENTS NAME:

PROJECT NO: GMD-GAI6014

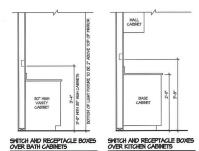
JESSAMINE - RH 1st FLOOR UTILITY PLAN

PRINT DATE: JAN 1, 2019

E1.1



STANDARD ELECTRICAL BOX HEIGHTS



NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- ALL ENVIOLE PARES SHALL BEVEN ENVIOLED SUITABLE FOR WET OR DAMP LOCATIONS.
 FLECTRICAL SYSTEMS ARE SHOWN FOR INITIAL CALL. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- FINITE AN INDIVIDUAL CONTINUES SOCIED DELICADA AN COO DETECTOR A SEGUIDED BY INPROVIDE AND BOYALL LOCALLY CENTRED SOCIED DELICADA AN COO DETECTOR A SEGUIDED BY INFINITE PROVIDE AND BENCHMAN ASSOCIATION INPRA AND VERTIC OF REQUIRED PRINTS OF ALL GOVERNING CODES.

 HOWEVER AND BENCHMAN LEGISLATE PLAT LOCALITY DESIGNATIONS (SET AS REQUIRED BY INFINITE AND THE TENTRAL CONTINUES OF ALL GOVERNING CODES.

 BENCHMAN CONTRACTOR TO PROVIDE GRANDED DIRECT (INCAMPRISED)

 LEGISLACAL CONTRACTOR TO PROVIDE GRANDED DIRECT (INCAMPRISED)

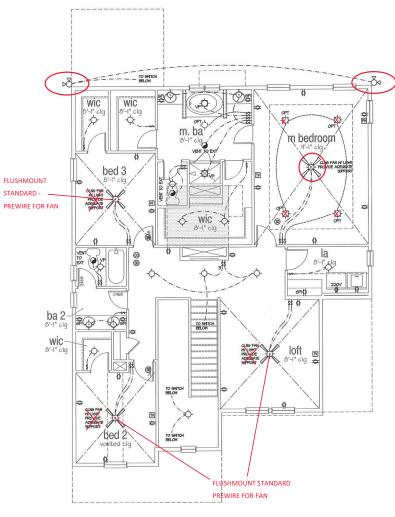
 LEGISLACAL CONTRACTOR TO PROVIDE GRANDED DIRECT (INCAMPRISED)

 THE STATEMENT OF THE TENTRAL CONTRACTOR OF THE T

- HVAG CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SIMP PITS DRAIN TILE SIMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

EGE	END:	>	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
Ø	DUPLEX CUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
фирия	HEATHERPROOF 6FI DUPLEX OUTLET	Ю	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
ф ен	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX CUTLET		RECESSED INCANDESCENT LIGHT FIXTURE
Ø.	HALF-SHITCHED DUPLEX OUTLET	¢	(VP) = VAPOR PROOF
∯220V	220 VOLT OVILET	9	EXHAUST FAN (VENT TO EXTERIOR)
0	REINFORCED JUNCTION BOX	4	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)
\$	HALL SMITCH		(TEN 10 EXECUTO
\$0	THREE-WAY SWITCH	\sim	PLUORESCENT LIGHT FIXTURE
\$4	FOUR-WAY SHITCH		TECH HUB SYSTEM
0	CHMES	00	CEILING FAN
9	PUSHBUTTON SHITCH	1	(PROVIDE ADEQUATE SUPPORT)
8	IIOV SMOKE DETECTOR N/ BATTERY BACKUP	Syl	CELING FAN HITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
0	CO2 DETECTOR		(PROVIDE ADEQUATE SUFFORT)
0	THERMOSTAT		GAS SUPPLY HITH VALVE
PH	TELEPHONE		
Ti	TELEVISION	1-1	HOSE BIBB
۵	ELECTRIC METER	-+	V4" HATER STUB OUT
	ELECTRIC PANEL		04 PAILE SILD OUT
T	DISCONNECT CHITCH	- H	WALL SCONCE









ATLANTA, GEORGIA LOCATION: 1845 SATELLITE BLVD SUITE 850 DULUTH, GA. 3009T PHONE: T10-315-7351

NO:	DATE:	REVISION:
Δ	05.91.16	FIRST SUBMITTAL
⅓	10.0416	BRD GAR GARAGE OPTIONS ADDED
⅓	11.23.16	FRAME HALK CHANGES
/3\	11.23.16	

POFESSIONAL SEAL:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

JESSAMINE - RH 2nd FLOOR UTILITY PLAN

May 31, 2016

E2.0



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951 www.kse-eng.com (215) 804 - 4449

JESSAMINE

CAROLINA DIVISION

THESE DRAWINGS ARE TO BE USED IN COMMUNICTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL RENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCED BECOME APPARENT. THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTEST! THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTEST! THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONCENSION BE ACCURATE, PROMOBING LICENSED PRESIDIALS CLEAR INFORMATION. LYERY ATTEMPT HAS BEEN MADE TO PREVENT EFROR. THE BUILDER AND ALL SUBCONTRACTORS ARE RECOUNTED TO REVEW ALL OF THE INFORMATION CONTRACTOR AND REPORTS TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINIERPRETATIONS UNDERTECTED AND NOT REPORTED TO THE ENGINEER PROR TO TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

- DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):

 2018 NORTH CAROLINA RESIDENTIAL CODE, WALL BRACING PER INTERNATIONAL RESIDENTIAL
 - CODE 2015 EDITION.

- DESIGN LIVE LOADS:

 ROOF = 20 PSF (LOAD DURATION FACTOR=1,25)

 UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)

 HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF

 FLOOR = 40 PSF
 CHORD (GEFEDIUM: ARFAC) = 30 PSF

 - FLOOR (SLEEPING AREAS) = 30 PSF
 - DECK = 40 PSF BALCONY = 40 PSF STAIRS = 40 PSF

DESIGN DEAD LOADS:

- ROOF TRUSS = 17 PSF (TC=7, BC=10)

 FLOOR TRUSS = 15 PSF (TC=10, BC=5)

 FLOOR JOIST = 10 PSF
- · QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS..

- DESIGN WIND LOADS:

 ULTIMATE WIND SPEED = 120 MPH
- · EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- MICHEL LUMBER STALL HAVE. THE FOLLOWING MINIMUM DESIGN TIJ 210 SERES (SERIES AND SPACING SPER PLANS) LSL: E=1,550,000 PSI, F₈=2,325 PSI, F₈=310 PSI, F₆=900 PSI LVL: E=2,000,000 PSI, F₈=2,500 PSI, F₈=25 PSI, F₆=55 PSI PSL: E=2,100,000 PSI, F₈=2,900 PSI, F₆=290 PSI, F₆=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRANING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER INCRE 2011.





RH 1

Jessamine Model - 120 M.P.H. Carolina Division

Sheet

Project #: 105-16010 Designed By: KRK Checked By: Issue Date: 4/5/19

Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34



- GENERAL STRUCTURAL NOTES:

 1. THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWNIGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER BEARS THE RESPONSIBILITY OF THE PRIMARY STRUCTURAL ELEMENTS AND THE PERFORMANCE OF THIS STRUCTURE. STRUCTURAL ELEMENTS AND THE PERFORMANCE OF THIS STRUCTURE.

 NO OTHER PARTY MAY REVISE, ALTER, OR DELETE ANY STRUCTURAL
 ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN
 CONSENT OF KSE ENGINEERING, P.C. OR THE SER, FOR THE
 PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND KSE
- PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND KSE ENGINEERING SHALL BE CONSIDERED THE SAME ENTITY. THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE A LIFEQUIPMED THE PROPARTY BRACING DURING CONSTRUCTION TO STABILIZE THE STRUCTURE. THE SER YOUT RESPONSIBLE FOR CONSTRUCTURE SER IS NOT RESPONSIBLE FOR CONSTRUCTURE. SER IS NOT RESPONSIBLE FOR CONSTRUCTION SCOURCES, METHODS, OR TECHNIQUES IN CONNECTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HAD RESPONSIBLE FOR THE CONTRACTOR'S FALURE TO CONFORM TO THE CONTRACTOR'S FALURE TO CONTRACTOR' DOCUMENTS. SHOULD ANY NON-CONFORMITIES OCCUR.
- THE SER DOES NOT CERTIFY DIMENSIONAL ACCURACY OR THE SER DOES MOT CERTIFY DIMENSIONAL ACCORACT OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY. THE SER ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. THE SER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS
- CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS, ANY STRUCTURAL ELEMENTS OR PETALS NOT FULLY DEVELOPED ON THE CONSTRUCTION DEASHINGS SHALL BE COMPLETED LIDES THE DIRECTION OF ACCUSED PROFESSIONAL ENGINEERS. THESE SHOP DRAWNINGS SHALL BE SUBMITTED TO KEE EKONICERING FOR REVIEW BEFORE ANY CONSTRUCTION BEGINS. THE SHOP DRAWNINGS WILL BE SUBMITTED TO KEEP ACCUSED FOR THE SHOP DEASHINGS FOR DIRECTION OF THE SHOP DRAWNINGS FOR DIMENSIONS, OF FOR ACTUAL FELD CONDITIONS, IS NOT THE RESPONSIBILITY OF THE SER OR KISE ENGINEERING, P.C. NOT THE RESPONSIBILITY OF THE SER OR KISE ENGINEERING, P.C.
- NOT THE MESTOCKSHILLTY OF THE SER OF KISE EMBIRCENTING, MU-VERIFICATION OF ASSUMED FIELD CONDITIONS IS NOT THE RESPONSIBILITY OF THE SER. THE CONTRACTOR SHALL VERIFFACTION FIELD CONDITIONS FOR ACCURACY AND REPORT ANY DISCREPANCIES TO KISE ENDINEERING, P.C. BEFORE CONSTRUCTION BEGINS. THE SER IS NOT RESPONSIBLE FOR ANY SECONDARY STRUCTURAL.
- ELEMENTS OR NON-STRUCTURAL ELEMENTS, EXCEPT FOR THE ELEMENTS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. THIS STRUCTURE AND ALL CONSTRUCTION SHALL CONFORM TO A APPLICABLE SECTIONS OF THE BUILDING CODE AND ANY LOCAL
- CODES OR RESTRICTIONS.

 9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. PROVIDE MOISTURE PROTECTION AND FLASHING PER ARCHITECTURAL

FOUNDATIONS

- FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE BUILDING CODE.

 CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY
- OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL
- CONTRACTOR.

 MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN THE BUILDING CODE.

 THE SER HAS NOT PERFORMED A SUBSURFACE INVESTIGATION. VERIFICATION OF THE ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR, SHOULD ANY ADVERSE SOIL CONDITION ENCOUNTERED, THE SER MUST BE CONTACTED BEFORE
- 5. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE FOR THE REGION IN WHICH THE STRUCTURE IS TO BE CONSTRUCTED, BUT NOT LESS THAN A MINIMUM OF 12" BELOW GRADE. ALL FOOTINGS TO HAVE A MINIMUM PROJECTION OF 2" OF EACH SIDE OF FOUNDATION WALLS, MAXIMUM FOOTING PROJECTION
- EACH SIDE OF FOUNDATION WALLS. MAXIMUM FOUTING PROJECTION SHALL NOT EXCEED THE THICKNESS OF THE FOOTING.
 WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH \(\)"
 ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" O.C. INSTALL MINIMUM 2 ANCHOR BOLTS PER SECTION, 12"
 MAXIMUM FROM CORNERS. ½" DIAMETER x 8" LONG SIMPSON TITEN HD OR USP SCREW-BOLT+ SCREWS MAY BE SUBSTITUTED ON A 1 FOR 1
- ANY FILL SHALL BE PLACED UNDER THE DIRECTION OR RECOMMENDATION OF A LICENSED PROFESSIONAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY
- EXCAVATIONS OF FOOTINGS SHALL BE LINED TEMPORARILY WITH A 6 MIL POLYETHYLENE MEMBRANE IF PLACEMENT OF CONCRETE DOES

 NOT OCCUR WITHIN 24 HOURS OF EXCAVATION.

 NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING
- WATER ICE FROST OR LOOSE MATERIAL 10. PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS (SEE
- ARCHITECTURAL PLANS AND DETAILS)
- NONE OF THE FOUNDATION DESIGNS IN THESE DOCUMENTS ARE SUITABLE FOR INSTALLATION IN SHRINK/SWELL CONDITIONS. REFER TO GEOTECHNICAL ENGINEER FOR APPROPRIATE DESIGN.
- 12. LOTS SHALL BE GRADED TO DRAIN SURFACE WASTER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST TEN FEET.

 13. CRAWL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS.
- 14. PROVIDE MINIMUM 6 MIL APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MINIMUM 12" AND SEALED.

CONCRETE & REINFORCING

- CONCRETE DESIGN BASED ON ACI 318 AND ACI 318.1 OR ACI 332. CONCRETE SHALL HAVE A NORMAL WEIGHT AGGREGATE AND A MINIMUM COMPRESSIVE STRENGTH (t'c) = 3,000 PSI MINIMUM AT 28 DAYS PER CODE (VARIES W/ WEATHER), UNLESS OTHERWISE NOTED ON THE PLAN.
- CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACL 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- AIR ENTRAINED CONCRETE MUST BE USED FOR ALL STRUCTURAL ELEMENTS EXPOSED TO FREEZE/THAW CYCLES AND DEICING CHEMICALS. AIR ENTRAINMENT AMOUNTS (IN PERCENT) SHALL BE WITHIN -1% TO +2% OF 5% FOR FOOTINGS AND EXTERIOR SLABS.
- NO ADMIXTURES SHALL BE ADDED TO ANY STRUCTURAL CONCRETE WITHOUT WRITTEN PERMISSION OF THE SER. WATER ADDED TO CONCRETE ON SITE SHALL NOT EXCEED THAT ALLOWED BY THE MIX CONCRETE SLABS-ON-GRADE SHALL BE CONSTRUCTED IN ACCORDANCE
- WITH ACI 302.1R: "GUIDE FOR CONCRETE SLAB AND SLAB CONSTRUCTION" CONTROL OR SAW CUT JOINTS (CUT OR TOOLED) SHALL BE SPACED IN
- INTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 15'-0" O.C. AND IN EXTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 10'-0" UNLESS THERWISE NOTED. CARE SHALL BE TAKEN TO AVOID RE-ENTR
- CONTROL OR SAW CUT JOINTS SHALL BE PRODUCED USING CONVENTIONAL CUT OR TOOLED PROCESSES WITHIN 4 TO 12 HOURS AFTER THE SLAB HAS BEEN FINISHED.

 ALL WELDED WIRE FABRIC (W.W.F.) FOR CONCRETE SLABS-ON-GRADE
- SHALL BE PLACED AT MID-DEPTH OF SLAB, THE W.W.F. SHALL BE SECURELY SUPPORTED DURING THE CONCRETE POUR. FIBROUS CONCRETE REINFORCEMENT, OR POLYPROPYLENE FIBERS MAY BE USED IN LIEU OF W.W.F. APPLICATION OF POLYPROPYLENE FIBERS PER CUBIC IN DED OF WARF. STATE LIGHT OF THE PROPERTY OF THE STATE OF CONCRETE SHALL BE PER MANUFACTURER AND COMPLY WITH ASTOLIC HIS ANT LOCAL BUILDING CODE REQUIREMENTS AND SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARD.
 POLIPROPLEME REINFORCING TO BE 100% VIRGIN, CONTAINING NO REPROCESSED CLEFT MATERIALS AND SPECIFICALLY MANUFACTURED.
- OR USE AS CONCRETE SECONDARY REINFORCEMENT 10. STEEL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING
- O ASTM A615 GRADE 60 10 ASIM AGIS, GRADE BU.

 11. DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315; "MANUAL
- OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES". 12. HORIZONTAL FOOTING AND WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90° BENDS, OR CORNER BARS WITH
- 13. PROVIDE REINFORCEMENT LAP AS NOTED BELOW, UNLESS NOTED
- OTHERWISE: #4 BARS 30" LENGTH #5 BARS - 38" LENGTH
- #5 BARS 38 LENGTH
 #6 BARS 45 LENGTH
 WHERE REINFORCING DOWELS ARE REQUIRED, THEY SHALL BE
 COUNAEDH IN SEZ AND SPACING TO THE VERTICAL REINFORCEMENT,
 THE DOWEL SHALL EXTEND 48 BAR DUMETER AND DETAILS,
 UNDERTER SHIP THE POOTING SECOND DETAILS,
 WHERE FORTING SHET OF THE STATE O
- MATCH FOOTING REINFORCING) AS REQUIRED. WITH 2 BASS (W. MATCH FOOTING REINFORCING) AS REQUIRED. BAR SUPPORT ACCESSORIES SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, EXCEPT THAT REINFORCING SHALL BE CHAIRED ON THE BOTTOM AND/OR THE SIDES ON BOLISTERS
 SPACED NOT MORE THAN 4 FEET ON CENTER. NO ROCKS, CMU, CLAY
 TILE, OR BRICK SHALL BE USED TO SUPPORT REINFORCING.
- 17. FOR GRADE SUPPORTED SLABS, SLAB REINFORCING SHALL BE HELD IN PLACE BY BAR SUPPORTS AND ACCESSORIES AS DESCRIBED IN THE CRSI MANUAL OF STANDARD PRACTICE. BAR SUPPORTS SHALL BE SPACED A MAXIMUM OF 4'-0" O.C. BOTH WAYS IN STRAIGHT LINES ON

- ALL MASONRY SHALL CONFORM TO ASTM C-90, F'm=1500 PSI, ALL BRICK SHALL CONFORM TO ASTM C-216, F'm=1500 PSI. ALL MORTAR SHALL BE TYPE 'S' (TYPE 'M' BELOW GRADE) AND CONFORM TO ASTM C-270. COARSE GROUT SHALL CONFORM TO ASTM C-476 WITH A MAXIMUM AGGREGATE SIZE OF 34" AND A MINIMUM COMPRESSIVE STRENGTH OF 2.000
- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TMS 402 AND SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ ASCE 6/TMS 602.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NO EXCEED TEN TIMES THEIR LEAST DIMENSION, UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.

 EACH CRAWL SPACE PIER SHALL BEAR IN THE MIDDLE THIRD OF ITS
- RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS, PILASTERS TO BE BONDED TO PERIMETER
- FOUNDATION WALL.
 TOP COURSE OF MASONRY SHALL BE GROUTED SOLID.
 HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C., UNLESS SHOWN OTHERWISE ON THE DRAWINGS
- SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6". LAP WITH STANDARD 'T' AND 'L' SHAPED PIECES AT INTERSECTIONS AND CORNERS.

- WOOD FRAMING:

 1. SOLID SAWN WOOD FRAMING MEMBERS SHALL CONFORM TO THE "NATIONAL PROPERTY FORTION OF THE "NATIONAL PROPERTY FORTION OF THE "NATIONAL PROPERTY FOR THE "NATIONAL PROPERT SPECIFICATIONS LISTED IN THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION": (NDS) OTHERWISE NOTED, ALL WOOD FRAMING MEMBERS ARE DESIGNED TO
- PRUCE-PINE-FIR (SPF) WITH THE FOLLOWING MINIMUM DESIGN
- E=1,400,000 PSI, F_b=875 PSI, F_v=135 PSI
- 1.1. FRAMING: SPF #2. 1.2. PLATES: SPF #2.
- 1.3. STUDS: SPF STUD GRADE WALL STUD SPACING, (MAXIMUM 10' NOMINAL PLATE HEIGHT): 1 & 2 STORY EXTERIOR AND INTERIOR BEARING:
- 2x4 @ 16" O.C. OR 2x6 @ 24" O.C., U.N.O. BOTTOM OF 3 STORIES EXTERIOR AND INTERIOR BEARING: 2x6 @ 16" O.C., U.N.O. INTERIOR NON-BEARING:
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR
- ANCHOR SILL PLATES IN ACCORDANCE W/ GENERAL STRUCTURAL NOTES.
- ALL BEMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY BE SUBSTITUTED AS NEGLECT FOR EASE OF CONSTRUCTION, MAILS SHALL BE COMMON WIRE MAILS UNLESS OTHERWISE NOTED. BOLT HOLES AND LEAD HOLES FOR LAS SCREWS SHALL BE IN ACCORDANCE WITH HOS SOCIETATIONS.
- INDIVIDUAL STUDS FORMING A COLUMN SHALL BE ATTACHED WITH (2) ROWS 10d NAILS @ 6" O.C. STAGGERED. THE STUD COLUMN SHALL BE FULLY BLOCKED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD
- TRANSFER, WALL SHEATHING SHALL BE NAILED TO EDGE OF EACH STUD. FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS WITH (2) ROWS 16d COMMON NAILS @ 16" O.C. STAGGERED OR PER MANUFACTURER'S SPECIFICATIONS FOR ENGINEERED LUMBER, APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES.
- FASTEN 4-PLY BEAMS WITH (1) ½" DIAMETER THROUGH BOLT W/ NUTS AND WASHERS AT 12" O.C. STAGGERED TOP AND BOTTOM, 1½" MINIMUM EDGE DISTANCE. (UNLESS OTHERWISE NOTED)
- ALL BEAMS AND HEADERS SHALL HAVE (1)2x JACK STUD & (1)2x KING STUD UNLESS OTHERWISE NOTED. THE NUMBER OF STUDS INDICATED ON PLANS ARE THE TOTAL NUMBER OF JACK STUDS REQUIRED, UNLESS OTHERWISE NOTED
- 12. PROVIDE KING STUDS AT EACH END OF HEADERS AS NOTED BELOW.

 (1) STUD UP TO 6' OPENING
- (2) STUDS UP TO 8' OPENING
- (3) STUDS UP TO 9' OPENING

 13. ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATE
- BEARY FULL MUDIT OF THE SUPPORTION WALLS OF COLUMNS INDUCATED WITH A MINIMAN OF THO STUDIO, UNLESS OTHERWISE NOTES. ALL BEAM SPLICES SHALL OCCUR OVER SUPPORT.

 SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS. ALL LUMBER SPECIFIED ON DRAWINGS IS INTENDED FOR DRY USE ONLY.
- ALL LUMBER SPECIFIED ON DEVANINGS IS INTERNOLED FOR DIT OSE ONL (MOISTURE CONTENT <19%) UNLESS OTHERWISE NOTED. ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND
- DETAILED BY OTHERS ANY WOOD FRAME INTERIOR REARING WALL STLIDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIAMETER SHALL HAVE STUD
 PROTECTION SHIELDS. ALL HOLES OVER 1" IN DIAMETER FOR PLUMBING
- PROTECTION STRICES, ALL POLES OVER Y HAT DOWNER AT THE PROMISE LINES, ETC. SHALL BE REPAIRED WITH SIMPSON HSSZ OR USP STSI STUD SHOES, TYPICAL, UNLESS OTHERWISE NOTED. BEARING WALLS SHALL BE SHEATHED ON NOT LESS THAN ONE SIDE WITH OSB OR GYPSUM BOARD. BRIDGING SHALL BE INSTALLED NOT GREATER THAN 4 FEET APART MEASURED VERTICALLY FROM EITHER END
- OF THE STUD IN LIEU OF SHEATHING. DIAGONAL BRACING SHALL BE INSTALLED AT EACH END OF BASEMENT BEARING WALLS AND NOT MORE THAN 20' ON CENTER

EXTERIOR WOOD FRAMED DECKS:

- DECKS ARE TO BE FRAMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND AS REFERENCED ON THE STRUCTURAL PLAY EITHER THROUGH CODE REFERENCES OR CONSTRUCTION DETAILS. PRESERVATIVE TREATED WOOD FRAMING TO BE SOUTHERN YELLOW
- PINE #2 OR BETTER.
- PINE #2 OR BETTER.
 GUARD RAILS REQUIRED AT DECKS. DESIGN BY OTHERS TO MEET
 MINIMUM CODE REQUIREMENTS.
 PROVIDE DECK LATERAL LOAD AND BRACING CONNECTIONS PER BUILDING

RAFTER FRAMED ROOF CONSTRUCTION:

- PROVIDE 2.4x4"—0" RAFTER TIES AT 48" O.C.
 RAFTERS SHALL BE SUPPORTED BY PURLINS AND PURLIN BRACES
 AS SHOWN ON THE PLAN. PURLIN BRACES SHALL NOT BEAR ON
 ANY CELLING JOIST, STRONGBACK OR HEADER JULESS SPECIFICALLY
 SHOWN ON PLAN. RAFTERS MAY BE SPLEED AT PURLIN LOCATIONS
- CEILING JOISTS SHALL HAVE LATERAL SUPPORT W/ 1x4 FLAT BRACING ON TOP EDGE OF JOIST AT LOOSE JOIST ENDS (WHERE JOISTS NOT FASTENED TO RAFTERS) OR FULL DEPTH BLOCKING. FASTEN END OF BRACING TO RAFTER OR GABLE END FRAMING
- FASTEN RAFTER AND CEILING JOIST WITH (6) 12d NAILS UNLESS OTHERWISE NOTED.
- PROVIDE VERTICAL 2x6 STRONGBACKS AT CEILING JOISTS @ 8'-0' O.C. TIE STRONGBACK ENDS TO GABLE STUDS OR RAFTERS WHERE POSSIBLE. PROVIDE BLOCKING BETWEEN TOP PLATES AND STRONGBACKS. PROVIDE 2x4 FLAT FASTENED TO EACH JOIST WITH (2) 12d NAILS. FASTEN STRONGBACK TO 2x4 FLAT WITH 12d NAILS 12" O.C. AND FASTENED TO EACH JOIST WITH (1) 12d TOENAIL.

WOOD TRUSSES (FLOOR & ROOF):

- THE WOOD TRUSS MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES. SUBMIT SEALED SHOP DRAWINGS AND SUPPORTING CALCULATIONS TO THE SER FOR REVIEW PRIOR TO FABRICATION, THE SER SHALL HAVE A MINIMUM OF (5) DAYS FO REVIEW. THE REVIEW BY THE SER SHALL BE FOR OVERALL COMPLIANCE OF THE DESIGN DOCUMENTS. THE SER SHALL ASSUME NO RESPONSIBILITY FOR THE CORRECTNESS OF THE STRUCTURAL DESIGN FOR THE WOOD TRUSSES.
- THE WOOD TRUSSES SHALL BE DESIGNED FOR ALL REQUIRED LOADINGS AS SPECIFIED IN THE LOCAL BUILDING CODE, THE ASCE STANDARD
 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES. (ASCE 7), AND THE LOADING REQUIREMENTS SHOWN ON THESE SPECIFICATIONS. THE TRUSS DRAWINGS SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION DOCUMENTS AND PROVISIONS PROVIDED FOR LOADS SHOWN ON THESE DRAWINGS INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, PIPING, AND ARCHITECTURAL FIXTURES ATTACHED TO
- THE TRUSSES.
 THE TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI/TPI 1 DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS
- THE TRUSS MANUFACTURER SHALL PROVIDE ADEQUATE BRACIN INFORMATION IN ACCORDANCE WITH "BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI). THIS BRACING, BOTH TEMPORARY AND PERMANENT, SHALL BE SHOWN ON THE SHOP DRAWINGS. ALSO, THE SHOP DRAWINGS SHALL SHOW THE REQUIRED ATTACHMENTS FOR THE TRUSSES.
- SHOW THE REQUIRED ATTIONHEDITS FOR THE TRUSSES.

 HE CONTRACTOR IS RESPONISHED FOR INSTALLING TEAPORARY BRADING AND SHORNED FOR THE LODGE AND SHOPPING CONSTRUCTION. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE LATEST BOSI. THE CONTRACTOR SHALL KEEP A COPY OF THE BESS SUMMAY SHEETS ON SITE.

 THE CONTRACTOR IS RESPONISHEE FOR INSTALLING ALL PERMANENT FRUSS BRACING. SHOWN IN THE STRUCTURAL DRAWNIGS AND IN THE TRUSS BRACING SHOWN IN THE STRUCTURAL DRAWNIGS AND IN THE TRUSS BRACING TO BESS SIMMAY SHEET BY THE TYPES OF DIMODIAL BRACES. REFOR TO BESS SIMMAY SHEET BY THESE OF DIMODIAL BRACES TO PROVIDE AT EACH CONTINUOUS LATERAL BRACING OF WEES REQUIRE SHOWN AND AND THE SHEET BY THESE OF DIMODIAL BRACES. THE SOLD THE SHEET BY THE SHEET BY THESE OF DIMODIAL BRACES TO PROVIDE AS INCH CONTINUOUS LATERAL BRACING OF WEES HELD SHEET BY THE SHEET BY THESE OF DIMODIAL BRACES. THE SOLD HAVE AND THE SHEET BY THE SHEE COORDINATE WITH THE TRUSS SPECIALTY ENGINEER/MANUFACTURER TO DETERMINE WHAT TYPE OF ALTERNATE BRACE (I.E., T OR L BRACE, ETC.) IS REQUIRED.
- ANY CHORDS OR TRUSS WEBS SHOWN ON THESE DRAWINGS HAVE BEEN
- ANT CHONDS OF INDEXS WESS SHOULT VIEW THESE DEARMINGS THAN ESSON OF THE TRUSSES SHALL BE PER THE MANUFACTURER.

 SHALL BE PER THE MANUFACTURER.

 TRUSS LAVOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN ON THE SEALED STRUCTURAL. DRAWINGS. TRUSS PROFILES TO BE SEALED BY THE TRUSS
 MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED
- TRUSS MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTORS FOR
- ALL TRUSSES. 10. PROVIDE SIMPSON H2.5A, USP RT7 OR EQUIVALENT AT EACH TRUSS TO TOP PLATE CONNECTION, UNLESS OTHERWISE NOTED.

- WOOD STRUCTURAL PANELS:

 1. FABRICATION AND PLACEMENT OF STRUCTURAL WOOD SHEATHING SHALL BE IN ACCORDANCE WITH THE APA DESIGN/CONSTRUCTION GUIDE "RESIDENTIAL AND COMMERCIAL," AND ALL OTHER APPLICABLE APA STANDARDS
- ALL REQUIRED WOOD SHEATHING SHALL BEAR THE MARK OF THE
- APPA.

 WOOD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION. EXTERIOR WALLS TO BE FULLY SHEATHED USING %6" OSB OR PLYWOOD MINIMUM. AT BRACED WALL PANELS PROVIDE BLOCKING AT ALL SHEET EDGES NOT FALLING ON STUDS
- ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1 OR 2. ROOF SHEATHING SHALL BE CONTINUOUS OVER TWO SUPPORTS MINIMUM AND ATTACHED TO ITS SUPPORTING ROOF FRAMING WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIFLD LINLESS OTHERWISE NOTED ON THE PLANS, SHEATHING SHALL FIELD UNILESS UNERWINSE MOVED ON THE PLAYS STREAMING SPAUL SHEATHING SHALL HAVE A SPAIN RAINC CONSISTENT WITH THE SHEATHING SHOULD HAVE A SPAIN RAINC CONSISTENT WITH THE FRAMING SPACING, PROVIDE SUITABLE EDGE SUPPORT BY USE OF PLYWOOD CLIPS OR LUMBER BLOCKING UNLESS OTHERWISE MOTED. PARMEL EMI JOINT SHALL OCCUR OVER FRAMING, ROOF SHEATHING THE PLAY SHEATHING THE SHEATHING THE SHEATHING SHEATHING THE SHEATHING SHEATHING THE SHEATHING SHEATHING SHEATHING SHEATHING SHEATHING THE SHEATHING SHEA
- PANEL END JOINTS SHALL OCCUR OVER FRAMING. ROOF SHE TO BE %" OSB MINIMUM. WOOD FLOOR SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1 OR 2. ATTACH SHEATHING TO ITS SUPPORTING FRAMING WITH (1) 10d NAIL AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIELD UNLESS OTHERWISE NOTED ON THE 12 VA. III FAMEL, FULL UTILESS UTILEVITY FRANCISCULAR TO FRAMING. SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPAN, OF THE SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPAN, OF THE SHEATH SHAPE OF THE SHEATH SHAPE OF THE SHEATH SHAPE OF THE SHAPE OF THE
- SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE APA.

STRUCTURAL FIBERBOARD PANELS:

STRUCTURAL FIBERBOARD SHEATHING SHALL ONLY BE USED WHERE SPECIFICALLY NOTED ON THE STRUCTURAL PLANS. FABRICATION AND PLACEMENT OF STRUCTURAL FIBERBOARD

SHEATHING SHALL BE IN ACCORDANCE WITH THE APPLICABLE AFA

STARUMENDS.

FIBERBOARD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION.

SHEATHING SHALL HAVE A %" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE AFA.

- STRUCTURAL STEEL:

 1. STRUCTURAL SITEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF SITEEL CONSTRUCTION "CODE OF STANDARD PRACTICE FOR SITEL. BUILDINGS AND BRIDGES" AND OF THE MANUAL OF STEEL CONSTRUCTION "LOAD RESISTANCE FACTOR DESIGN" LATEST EDITIONS. ALL STEEL SHALL HAVE A MINIMUM YIELD STRESS (F,) OF 50 KSI
- UNLESS OTHERWISE NOTED.
 WELDING SHALL CONFORM TO THE LATEST EDITION OF THE
 AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE AWA D1.1. ELECTRODES FOR SHOP AND FIELDING WELDING SHALL BE CLASS E70XX. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER PER THE ABOVE STANDARDS. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A
- MINIMUM BEARING LENGTH OF 31/2" AND FULL FLANGE WIDTH UNLESS OTHERWISE NOTED. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR (2) 1/2" x 4" LAG SCREWS
- UNLESS OTHERWISE NOTED.
 INSTALL 2x WOOD PLATE ON TOP OF STEEL BEAMS, RIPPED TO
 MATCH BEAM WIDTH. FASTEN PLATE TO BEAM W/ HILTI X-DNI 52 P8 PINS AT 12" O.C. STAGGERED OR 1/2" DIAMETER BOLTS AT 24"

MECHANICAL FASTENERS:

- FIRMINGAL TASTEMENTS:

 ALL METAL HARDWARE AND PASTEMERS TO BE SIMPSON STRONG-TIE
 OR APPROVED EQUIVALENT.

 ALL HARDWARE AND FASTEMERS IN CONTACT WITH PRESERVATIVE
 PRESSURE TREATED LUMBER SHALL GE HOT DIPPED GALVANIZED IN
 ACCORDANCE WITH ASTM A 15, 0–185.
- MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS THAT ARE CORROSIVE TO STEEL IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND SELECT APPROPRIATE CONNECTORS THAT WILL RESIST THE APPLICABLE CORROSIVE CHEMICALS.



BRICK	VENEER LINTEL S	CHEDULE
SPAN	LINTEL SIZE	END BEARING
UP TO 3'-0"	3½"×3½"×¼"	4"
UP TO 6'-3"	5"x3½"x5/6" L.L.V.	8"
UP TO 9'-6"	6"x3½"x9/6" L.L.V.	12"



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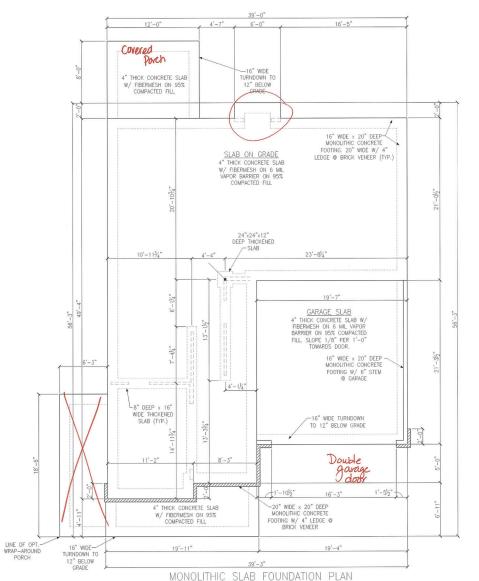
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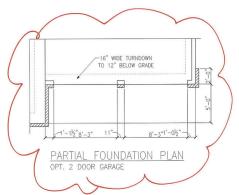
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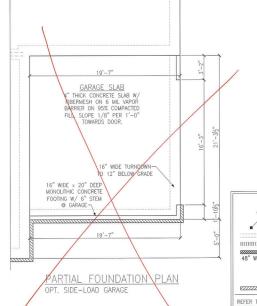
Carolina 20 Project #: 105-19000 Designed By: KRK

Issue Date: 1/1/19 Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34



ELEVATION A







⇒ BEARING WALL ABOVE DIDITION == INTERIOR BEARING WALL

48" WSP

BRACED WALL PANEL
(SEE KSE STRUCTURAL DETAIL
SHEETS FOR BRACED WALL
PANEL SHEATHING FASTENING & BLOCKING DETAILS) LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS



Slab Foundation P A & Options Model — RH Monolithic Slab Fo Elevation A & Opt Jessamine Model 120 M.P.H. Carolina Division Checked By:

Plans

Project #: 105-16010 Designed By: KRK Issue Date: 4/5/19

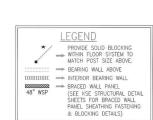
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KSE





REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

- (4) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- (5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



Second Floor Frai Elevation A & Op Jessamine Model 120 M.P.H. Carolina Division Project #: 105-16010 Designed By: KRK

Model

Checked By: Issue Date: 4/5/19 Re-Issue:

Plans

Framing P Options del - RH

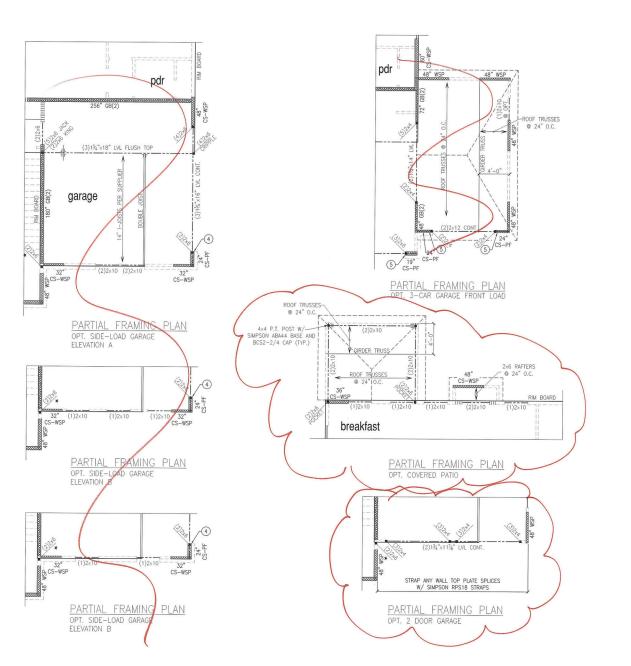
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OPT. WRAP-AROUND PORCH

ELEVATION A

SECOND FLOOR FRAMING PLAN ELEVATION A







LEGEND

PROVIDE SOLID BLOCKING
WITHIN FLOOR SYSTEM TO
MATCH POST SIZE ABOVE.

⇒ BEARING WALL ABOVE ппшшпп ⇒ INTERIOR BEARING WALL 48" WSP ⇒ BRACED WALL PANEL

(SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

(4) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

Framing Options Jessamine Model -120 M.P.H. Second

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Carolina Division

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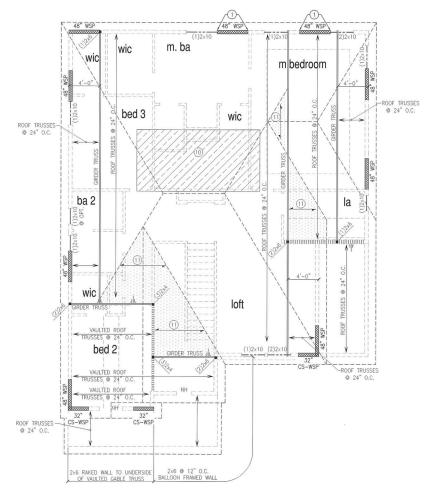
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Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

S-2.2



ROOF FRAMING PLAN ELEVATION A





PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE. ⇒ BEARING WALL ABOVE

HIHIHIHI - INTERIOR BEARING WALL ### WSP

BRACED WALL PANEL

(SEE KSE STRUCTURAL DETAIL
SHEETS FOR BRACED WALL
PANEL SHEATHING FASTENING

& BLOCKING DETAILS) REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8' WALL PLATES

KEYNOTES:

- (1) CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.
- 0 8'x16' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- (1) 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)



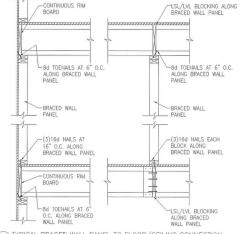
Plan Roof Framing Plan Elevation A Jessamine Model -Project #: 105-16010 Designed By: KRK

Carolina Division

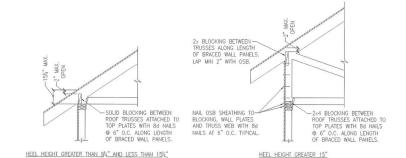
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B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION BRACED WALL PANELS PERPENDICULAR TO 1-JOISTS



DTYPICAL EXTERIOR CORNER WALL FRAMING

EXTERIOR

SHEATHING

GYPSUM BOARD

16d NAIL -

@ 12" O.C.

EXTERIOR SHEATHING-

- 8d NAIL @ 6" O.C. AT ALL EDGES AND 12" O.C. TYPICAL AT ALL OTHER

MEMBERS

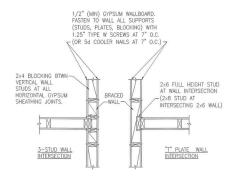
~16d NAIL

OUTSIDE CORNER PLAN VIEW

@ 12" O.C.

-GYPSUM BOARD

ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS ONLY REQUIRED AT BRACED WALL PANELS



BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

(C)METHOD GB(1) AND GB(2) INTERSECTION DETAILS



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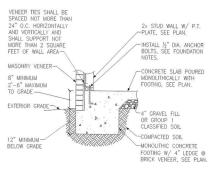
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Details Wall raced B

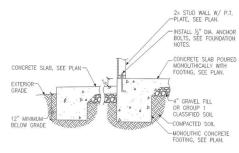
120 M.P.H. Carolina Division Project #: 105-19000 Designed By: KRK Checked By: Issue Date: 1/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

SD-1

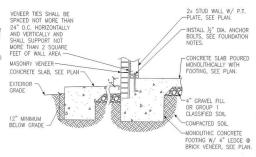




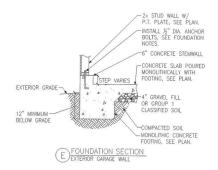
B FOUNDATION SECTION
EXTERIOR WALL @ MASONRY

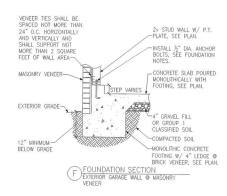


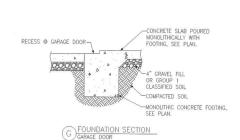
C FOUNDATION SECTION
EXTERIOR WALL AT PORCH

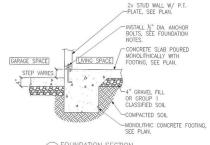


FOUNDATION SECTION EXTERIOR WALL AT PORCH W/ MASONRY

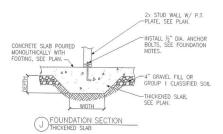


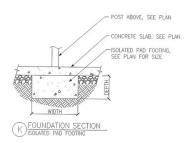






H FOUNDATION SECTION INTERIOR GARAGE WALL







Foundation Slab Monolithic

Details

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