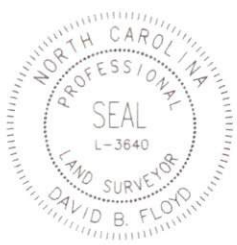


- LEGEND**
- AC=AIR CONDITIONING UNIT
  - BOC=BACK OF CURB
  - DW=CONC DRIVEWAY
  - EB=ELECTRIC BOX
  - EOP=EDGE OF PAVEMENT
  - P=PATIO
  - PO=PORCH
  - SC=CLEANOUT
  - SW=SIDEWALK
  - TP=TELEPHONE PEDESTAL
  - WM=WATER METER
  - IRON PIPE FOUND
  - IRON PIPE SET
  - NAIL SET



THIS EXHIBIT MAP IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

DB FLOYD, PLS L-3640      DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

- GENERAL NOTES:
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
  3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
  4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.
  5. DRIVEWAY IMPERVIOUS CALCULATION SHOWN HEREON CALCULATED TO THE FRONT PROPERTY LINE/RIGHT-OF-WAY.

VICINITY MAP (NTS)

**SETBACKS PER**  
**PB 2005 PG 549 &**  
**PB 98 450**

FRONT      35'  
 SIDE        10'  
 REAR        25'  
 SIDE STREET 20'

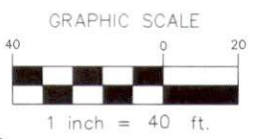
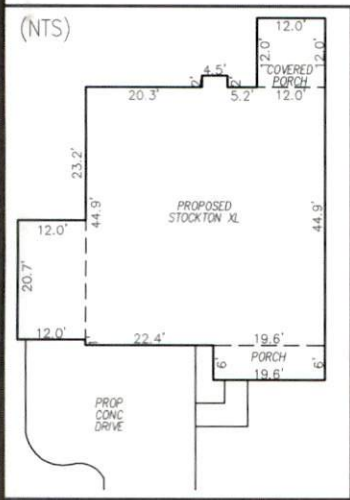
**IMPERVIOUS AREA**

HOUSE      2,405 SQ.FT.  
 DRIVE      1,583 SQ.FT.  
 WALK        53 SQ.FT.

TOTAL        4,041 SQ.FT.



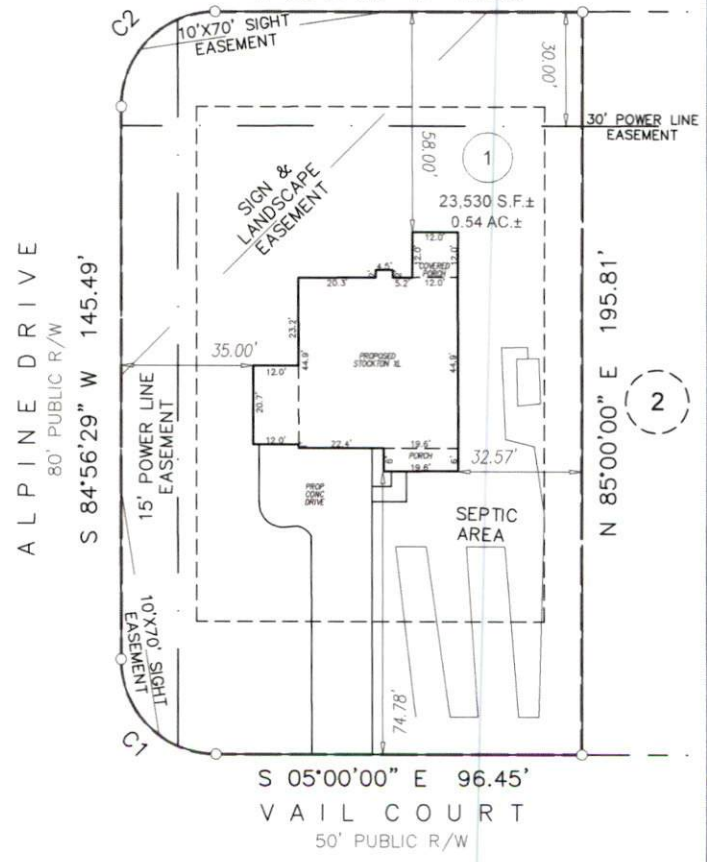
SEPTIC SHOWN HEREON  
 SCALED IN FROM PERMIT  
 PROVIDED BY BUILDER



BUFFALO LAKE ROAD

60' PUBLIC R/W

N 05°07'50" W 96.76'



ALPINE DRIVE  
 80' PUBLIC R/W

S 84°56'29" W 145.49'

S 05°00'00" E 96.45'

VAIL COURT

50' PUBLIC R/W

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.40'	25.10'	89°56'45"	S 39°58'14" W	35.48'
C2	39.23'	25.00'	89°55'04"	N 50°05'48" W	35.33'

PRELIMINARY  
 PLOT PLAN

**PROJECT:** 2021 GRH THE SUMMIT  
**DRAWN BY:** SEER  
**SCALE:** 1"=40'  
**DATE:** 04-26-2021

FOR  
**BUILDER'S NAME**  
 21 VAIL COURT  
 LOT 1 THE SUMMIT SUBDIVISION  
 BARBECUE TWP., HARNETT CO., NC  
 P.B. 98, PG. 450 & P.B. 2005 PG 549

**ECLS GLOBAL**  
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