



Harnett COUNTY NORTH CAROLINA

Initial Application Date: 5/25/21

Application # \_\_\_\_\_

CU# \_\_\_\_\_

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION  
Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

"A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION"

LANDOWNER: STICKLEY & COMPANY LLC Mailing Address: 258 WILLAMSDOFF CT  
City: DUNN State: NC Zip: 28334 Contact No: 910-890-2160 Email: juststickland@32yghw.com

APPLICANT: JEREMY M. STICKLAND Mailing Address: 1330 LANE RD  
City: DUNN State: NC Zip: 28334 Contact No: 910-890-2160 Email: juststickland@32yghw.com  
\*Please fill out applicant information if different than landowner

ADDRESS: 82 Porter Dr ERWIN PIN: 0597-78-3214

Zoning: RESUB1 Flood: U Watershed: N Deed Book / Page: 3841:0471

Setbacks - Front: 25 Back: 25 Side: 8 Corner: \_\_\_\_\_

PROPOSED USE:

SFD: (Size 30 x 52) # Bedrooms: 3 # Baths: 2 Basement(w/wo bath): \_\_\_\_\_ Garage: \_\_\_\_\_ Deck: \_\_\_\_\_ Crawl Space: \_\_\_\_\_ Slab:  Monolithic Slab: \_\_\_\_\_  
TOTAL HTD SQ FT 1270 GARAGE SQ FT \_\_\_\_\_ (Is the bonus room finished? ( ) yes ( ) no w/ a closet? ( ) yes ( ) no (if yes add in with # bedrooms)

Modular: (Size \_\_\_\_\_ x \_\_\_\_\_) # Bedrooms \_\_\_\_\_ # Baths \_\_\_\_\_ Basement (w/wo bath) \_\_\_\_\_ Garage: \_\_\_\_\_ Site Built Deck: \_\_\_\_\_ On Frame \_\_\_\_\_ Off Frame \_\_\_\_\_  
TOTAL HTD SQ FT \_\_\_\_\_ (Is the second floor finished? ( ) yes ( ) no Any other site built additions? ( ) yes ( ) no

Manufactured Home: \_\_\_\_\_ SW \_\_\_\_\_ DW \_\_\_\_\_ TW (Size \_\_\_\_\_ x \_\_\_\_\_) # Bedrooms: \_\_\_\_\_ Garage: \_\_\_\_\_ (site built? \_\_\_\_\_) Deck: \_\_\_\_\_ (site built? \_\_\_\_\_)

Duplex: (Size \_\_\_\_\_ x \_\_\_\_\_) No. Buildings: \_\_\_\_\_ No. Bedrooms Per Unit: \_\_\_\_\_ TOTAL HTD SQ FT \_\_\_\_\_

Home Occupation: # Rooms: \_\_\_\_\_ Use: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_ #Employees: \_\_\_\_\_

Addition/Accessory/Other: (Size \_\_\_\_\_ x \_\_\_\_\_) Use: \_\_\_\_\_ Closets in addition? ( ) yes ( ) no

TOTAL HTD SQ FT \_\_\_\_\_ GARAGE \_\_\_\_\_

Water Supply:  County \_\_\_\_\_ Existing Well \_\_\_\_\_ New Well (# of dwellings using well \_\_\_\_\_) \*Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: \_\_\_\_\_ New Septic Tank \_\_\_\_\_ Expansion \_\_\_\_\_ Relocation \_\_\_\_\_ Existing Septic Tank  County Sewer  
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? ( ) yes ( ) no

Does the property contain any easements whether underground or overhead ( ) yes (  ) no

Structures (existing or proposed): Single family dwellings: 1 Manufactured Homes: \_\_\_\_\_ Other (specify): \_\_\_\_\_

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

[Signature]  
Signature of Owner or Owner's Agent

5/25/21  
Date

\*\*\*It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.\*\*\*  
\*\*This application expires 6 months from the initial date if permits have not been issued\*\*

APPLICATION CONTINUES ON BACK

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**\*\*This application expires 6 months from the initial date if permits have not been issued\*\***

**\*This application to be filled out when applying for a septic system inspection.\***

**County Health Department Application for Improvement Permit and/or Authorization to Construct**

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

**Environmental Health New Septic System**

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

**Environmental Health Existing Tank Inspections**

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (if possible) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

**SEPTIC**

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted       Innovative       Conventional       Any  
 Alternative       Other County Sewer

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES     NO    Does the site contain any Jurisdictional Wetlands?  
 YES     NO    Do you plan to have an irrigation system now or in the future?  
 YES     NO    Does or will the building contain any drains? Please explain. \_\_\_\_\_  
 YES     NO    Are there any existing wells, springs, waterlines or Wastewater Systems on this property?  
 YES     NO    Is any wastewater going to be generated on the site other than domestic sewage?  
 YES     NO    Is the site subject to approval by any other Public Agency?  
 YES     NO    Are there any Easements or Right of Ways on this property?  
 YES     NO    Does the site contain any existing water, cable, phone or underground electric lines?  
 If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

**I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.**

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Town of Erwin  
**Zoning Application & Permit**  
 Planning & Inspections Department

Permit #

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	STAVIKITY COMPANY LLC	Property Owner	Same as Applicant
Home Address	258 Willowcroft Ct.	Home Address	
City, State, Zip	Durham NC 25834	City, State, Zip	
Telephone	919-922-5898	Telephone	
Email	ke@stavikity.com	Email	

Address of Proposed Property		82 Porter Dr	
Parcel Identification Number(s) (PIN)	0597-78-3214	Estimated Project Cost	\$90,000
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.		single family home	
Description of any proposed improvements to the building or property		NEW construction / single family	
What was the Previous Use of the subject property?		VACANT	
Does the Property Access DOT road?		NO	
Number of dwelling/structures on the property already	NO	Property/Parcel size	9828
Floodplain SFHA <u>  </u> Yes <u>  </u> No	Watershed <u>  </u> Yes <u>  </u> No	Wetlands <u>  </u> Yes <u>  </u> No	
MUST circle one that applies to property		Existing/Proposed Septic System      Or <b>PAID</b> Existing/Proposed County/City Sewer	

**Owner/Applicant Must Read and Sign**

The undersigned property owner, or duly authorized agent/representative thereof certifies that the information and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

CASLY KERRY Print Name	 Signature of Owner or Representative	3/31/21 Date	1155 polck#
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**For Office Use**

Zoning District	R-6	Existing Nonconforming Uses or Features	
Front Yard Setback	25'	Other Permits Required	<u>  </u> Conditional Use <input checked="" type="checkbox"/> Building <u>  </u> Fire Marshal <u>  </u> Other
Side Yard Setback	8'	Requires Town Zoning Inspection(s) <u>  </u> Foundation <u>  </u> Prior to C. of O.	
Rear Yard Setback	25'	Zoning Permit Status	<input checked="" type="checkbox"/> Approved <u>  </u> Denied
		Fee Paid: 100	Date Paid: 3/31/2021      Staff Initials: SAC

Comments	New stick Built SFD
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Signature of Town Representative:	Date Approved/Denied: 3/31/2021
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STATE OF NORTH CAROLINA, JOHNSON COUNTY  
 COUNTY CLERK'S OFFICE  
 I HEREBY CERTIFY THAT THE SEVERAL PARCELS SHOWN HEREIN ARE  
 BEING OFFERED TO THE PUBLIC IN ACCORDANCE WITH THE  
 PROVISIONS OF THE GENERAL STATUTES OF THIS STATE  
 IN RESPECT TO THE SALE OF REAL ESTATE.  
 DATE: \_\_\_\_\_  
 COUNTY CLERK

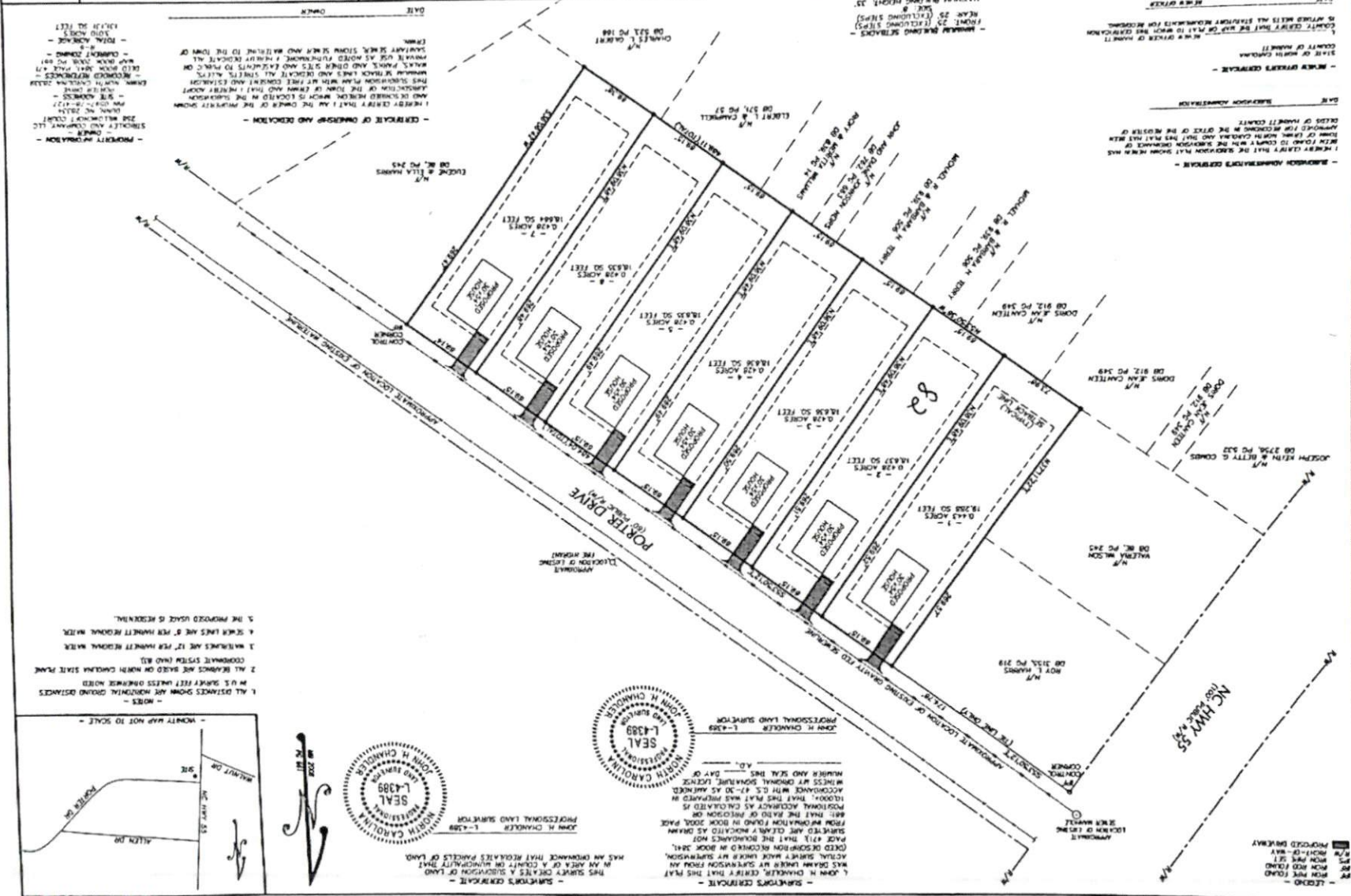
DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 SCALE: 1" = 50'  
 NORTH

**Chandler Land Surveying**  
 83 Adams Point Drive, Cary, North Carolina, 27513  
 Phone: 919-291-9163

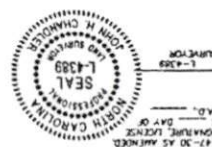
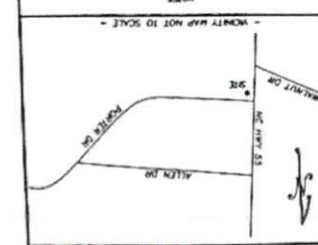


DATE: \_\_\_\_\_  
 DATE: AUGUST 22, 2020  
 NORTH CAROLINA  
**STRICKLEY AND COMPANY, LLC**  
 FOR  
 1070 ACRES ON PORTER DRIVE, ERWIN, NC  
**FINAL SUBDIVISION PLAT**

PROJECT # \_\_\_\_\_  
 SHEET NO. 21  
 SHEET NUMBER \_\_\_\_\_



- 1. ALL DISTANCES SHOWN ARE HORIZONTAL DISTANCES.
- 2. ALL DIMENSIONS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83).
- 3. WATERWAYS ARE 12' PER HANWELL REGIONAL WATER.
- 4. STREAM LINES ARE 8' PER HANWELL REGIONAL WATER.
- 5. THE PROPOSED USAGE IS RESIDENTIAL.



JOHN H. CHANDLER L-4389  
 PROFESSIONAL LAND SURVEYOR  
 NORTH CAROLINA  
 SEAL  
 L-4389  
 JOHN H. CHANDLER  
 PROFESSIONAL LAND SURVEYOR  
 NORTH CAROLINA  
 SEAL  
 L-4389