

ROOSEVELT



Buyer Marked

COVER SHEET

ROOSEVELT REVISION LIST - STRUCTURAL:

- 1.) DOWNSIZED SOME WINDOW HEADERS TO (2) 2 x 6 OR (2) 2 x 8 (4-17)
- 2.) EXTRA JOIST LOCATIONS (4-17)
- 3.) ADDED HEADER SIZES FOR BRICK OPTIONS (4-17)
- 4.) 3-PLY HEADERS AT GARAGES (4-17)
- 5.) PORTAL FRAMING CHANGES AT CONTINUOUS DOUBLE GARAGE DOOR HEADERS (4-17)
- 6.) REMOVED BALLOON FRAMING FROM REMOVING SECOND FLOOR VAULTS (4-17)
- 7.) ADDED JOIST SERIES/SPACING TO PLANS (4-17)
- 8.) ADDED BASEMENT FRAMING FOR AREA FORMERLY CRAWL SPACE (4-17)
- 9.) SOME RECONFIGURATION OF PIERS ON CRAWL (4-17)

ROOSEVELT REVISION LIST - ARCHITECTURAL:

- 1.) ADDED BASEMENT OPTION (FROM ROOSEVELT-II PLAN). (4-17)
- 2.) ADDED THREE CAR GARAGE OPTION (FROM ROOSEVELT-II PLAN). (4-17)
- 3.) CHANGED WINDOWS OPT. GUEST SUITE FROM 3-0 5-0 TO 3-0 6-0. (4-17)
- 4.) CHANGED OPT. WINDOWS IN STUDY/ LIVING ROOM FROM 3-0 5-0 TO 3-0 6-0. (4-17)
- 5.) REVERSED ENTRY DOOR FROM GARAGE TO HOME. MOVED GARAGE WALL AND ADDED DROP ZONE AT DOOR. (4-17)
- 6.) MOVED MUD ROOM OPTION AND GUEST ROOM OPTION TO SEPARATE OPTION SHEET. (4-17)
- 7.) MOVED WINDOW IN OFFICE/ BEDROOM #5 DOWN TOWARDS BATH/ W.I.C. WALL. (4-17)
- 8.) BROKE BEDROOM #5 OPTION OUT FROM MAIN PLAN (OFFICE STD.) AND MOVED TO OPTION SHEET. (4-17)
- 9.) MADE DOUBLE OVENS OPTIONAL WITH GOURMET KITCHEN. (4-17)
- 10.) SHIFTED WINDOW IN NOOK TOWARDS REAR OF HOUSE TO CENTER ON WALL. ADDED OPT. CABINETS/ DESK. (4-17)
- 11.) ADDED ALL BRICK OPTION (4-17)
- 12.) MADE POWDER ROOM AND W.I.C. STANDARD WITH OFFICE, AND FULL BATH STANDARD WITH BEDROOM #5 OPTION (4-17)
- 13.) REMOVED CLOSET FROM UNDER STAIRS IN OFFICE. CHANGED COAT CLOSET DOOR FROM 2-0 TO 2-4. AND EXTENDED COAT CLOSET INTO SPACE UNDER STAIRS (FOR STANDARD OFFICE ONLY). (4-17)
- 14.) MOVED OPT. WINDOW IN BEDROOM #3 FROM FRONT OF ROOM BACK TOWARDS CLOSET. (4-17)
- 15.) OPTIONAL WINDOW IN BEDROOM #3 NOW HAS TEMPERED GLASS. (4-17)
- 16.) ROTATED VANITY IN SF BATH 90 DEGREES TO BEDROOM #2 WALL AND ADDED DOOR FROM HALLWAY (4-17)
- 17.) INCREASED WIDTH OF TUB/ TOILET ROOM SF BATH BY 5". ALSO INCREASED WIDTH OF BEDROOM #2 CLOSET BY 5" (4-17)
- 18.) ADDED 2 MASTER BATH OPTIONS (GRAND SHOWER AND TILE SHOWER WITH HALF WALL). (4-17)
- 19.) RECONFIGURED LAUNDRY AREA TO ALLOW OPTIONAL DOOR FROM MASTER BATH. (4-17)
- 20.) MADE BATH IN BEDROOM #4 OPTIONAL. W.I.C. IS STANDARD (4-17)
- 21.) CHANGED STUD POCKETS BETWEEN ALL WINDOWS FROM DOUBLE STUD POCKET TO TRIPLE STUD POCKET. (4-17)
- 22.) MADE OPTIONAL KITCHEN CAN LIGHTING STANDARD. (4-17)
- 23.) ADDED CLOSET SHELVING NOTES. (4-17)
- 24.) ADDED OPTIONAL CAN LIGHTING TO FAMILY ROOM AND MASTER BEDROOM. (4-17)
- 25.) REMOVED VAULTS FROM BEDROOMS 2, 3, AND 4. (4-17)
- 26.) CHANGED EXTERIOR LIGHTING ON SIDE-LOAD GARAGES. THERE ARE NOW SINGLE LIGHTS ABOVE DOORS. (4-17)
- 27.) ELIMINATED 2 LIGHTS FROM MASTER SUITE (FLANKING CENTERED FAN/ LIGHT COMBO). (4-17)
- 28.) ADDED OPTIONAL CAN LIGHTING TO MEDIA ROOM. (4-17)
- 29.) CHANGED DOOR TO SMALL CLOSET IN BEDROOM #4 FROM 3-0 BSWING TO SINGLE 2-4 DOOR. (4-17)
- 30.) REMOVED TRANSOM WINDOWS FROM REAR WALL WINDOWS IN MASTER SUITE. (4-17)
- 31.) MADE 3-0 5-0 WINDOW ON SIDE WALL IN MASTER SUITE OPTIONAL. (4-17)
- 32.) VERIFIED AND ADJUSTED SQUARE FOOTAGES TO REFLECT LATEST PLAN UPDATE. (4-17)
- 33.) ELIMINATED CRAWLSPACE PORTIONS ON BASEMENT PLAN. (4-17)

OKM 0000716

H&H HOMES
ROOSEVELT

DATE 4-26-17
REV:
DRAWN BY: WQ
ENGINEERED BY:
REVIEWED BY:

CS

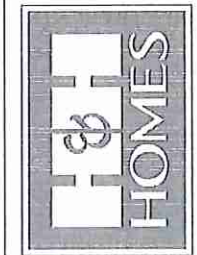


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4819 GLENVIEW CT., | BALEIGH, NC 27612
(919) 418-4118
WWW.HUDCARRIA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY AGREES TO ASSOCIATION'S FLOOR PLAN, COVENANTS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE AGREEMENTS ARE FOR THE PURPOSE OF COVERING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY AGREES TO ASSOCIATION'S FLOOR PLAN, COVENANTS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE AGREEMENTS ARE FOR THE PURPOSE OF COVERING AN ARCHITECTURAL CONCEPT ONLY.

J.S. THOMPSON
ENGINEERING, INC.
104 WAIN AVE., SUITE 104
RALEIGH, NC 27603
PHONE: (919) 787-9919
FAX: (919) 787-9921
N.C. LICENSE NO. C-1133



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT IS NOT GUARANTEED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. FLOOR PLANS AND ELEVATIONS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES, INC. USE, REPRODUCTION, OR DISTRIBUTION OF ANY PART OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF H&H HOMES IS PROHIBITED. SEE YOUR HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES

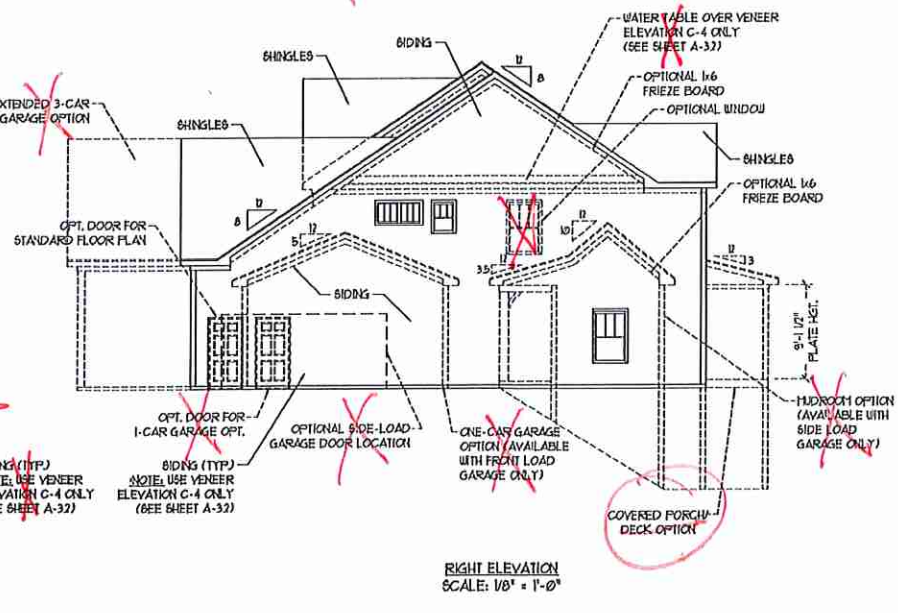
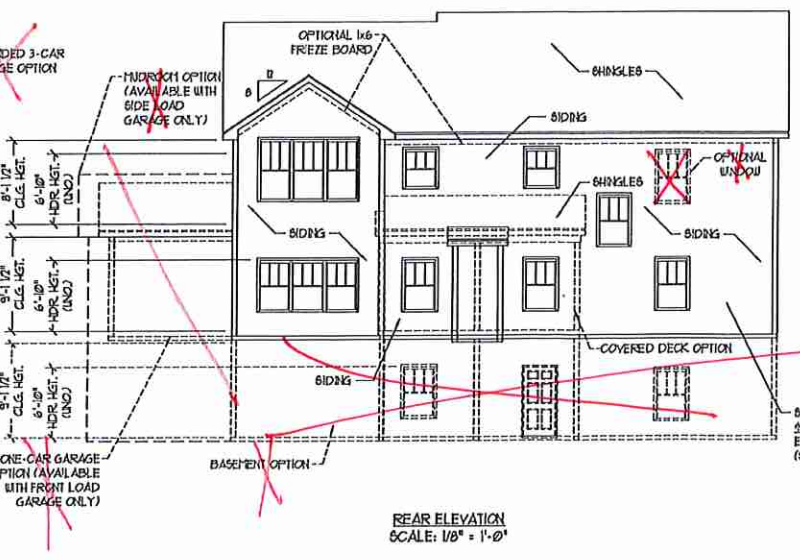
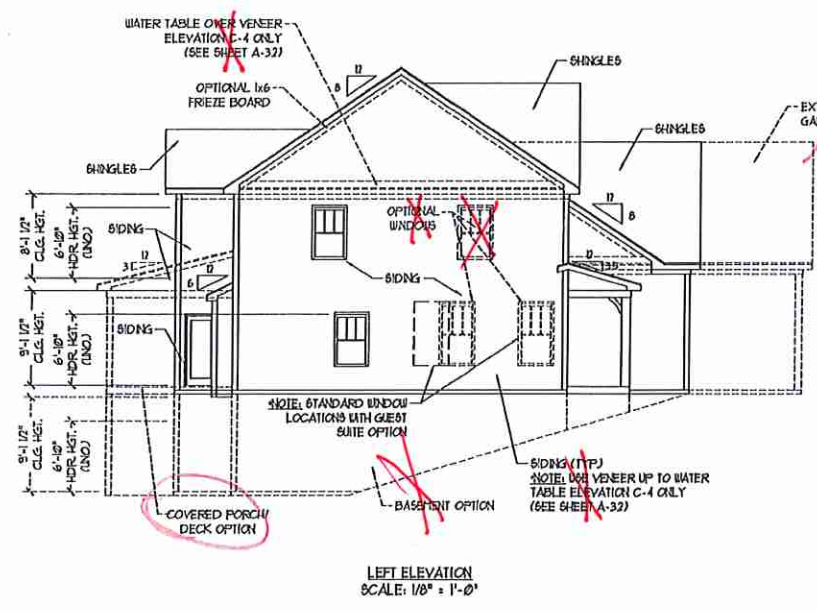
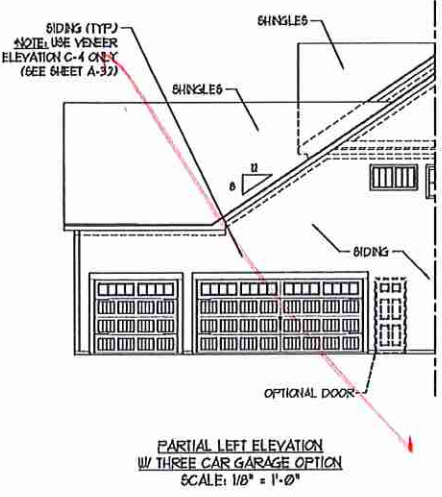
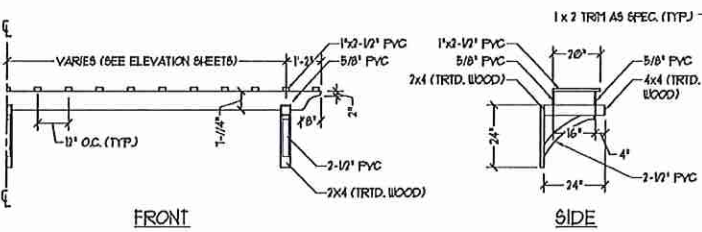
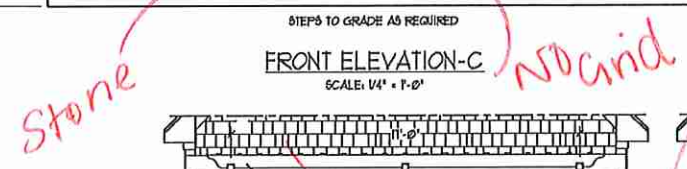
H&H HOMES, INC.
ROOSEVELT DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: AS NOTED
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

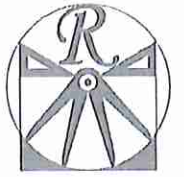
C - ELEVATIONS
A-3



**** NOTE: SEE PAGE A-3.1 FOR SPECIFIC FRONT ELEVATION-C DETAILS. SEE PAGE A-3.2 FOR C-4 (ALL BRICK) ELEVATIONS**



OKM000070 Buyer Marked



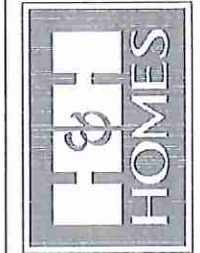
RENAISSANCE
RESIDENTIAL DESIGN, INC.
1810 GLENVIEW CT. | BALTIMORE, MD 21212
410.644.4328
WWW.RENOCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, EXTERIOR MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COVERING ANY ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RELEASES ITS CONTRACTOR AND OTHER FACILITY PARTIES FROM LIABILITY FOR ANY CHANGES, CHANGES, OR CORRECTIONS MADE TO ANY DRAWING WITHOUT FIRST CONTACTING THE EXPRESS WRITTEN CONSENT OF RENOCAROLINA RESIDENTIAL DESIGN, INC. THEY ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FURTHER NOTICE AND WITHOUT LIABILITY TO RENOCAROLINA RESIDENTIAL DESIGN, INC.

J.S. THOMPSON
ENGINEERING, INC.
400 WARE AVE., SUITE 104
RALEIGH, NC 27609
PHONE: 919.763.9919
FAX: 919.763.9921
N.C. LICENSE NO. C-2333



PRICES, PROMOTIONS, INVENTORIES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. FLOOR PLANS AND ELEVATIONS ARE ARTIST CONCEPTS. FLOOR PLANS ARE THE PROPERTY OF RENOCAROLINA RESIDENTIAL DESIGN, INC. AND ARE NOT TO BE REPRODUCED, COPIED, ADAPTED, OR DISPLAYED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF RENOCAROLINA RESIDENTIAL DESIGN, INC. CURRENT DETAILS, COPYRIGHT © 2017 H&H HOMES

H&H HOMES, INC.
ROOSEVELT
DRIVE RIGHT

DATE: APRIL 26, 2017

REV.:

SCALE: AS NOTED

DRAWN BY: WJG

ENGINEERED BY: WLF

REVIEWED BY: JES

C - ELEVATION
OPTIONS

A-3.1



FRONT ELEVATION-C-1
SCALE: 1/4" = 1'-0"



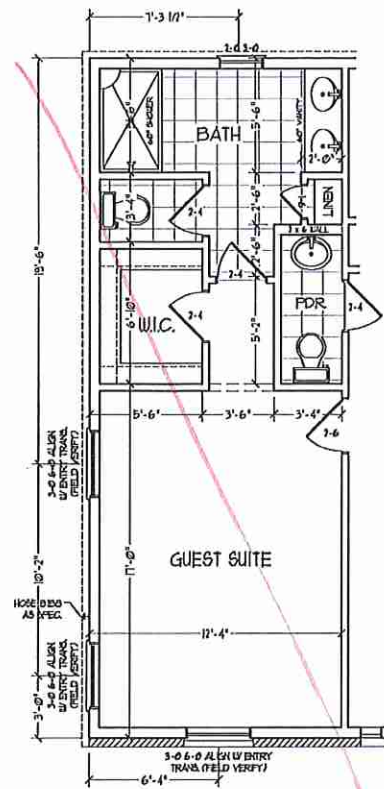
FRONT ELEVATION-C-2
SCALE: 1/4" = 1'-0"



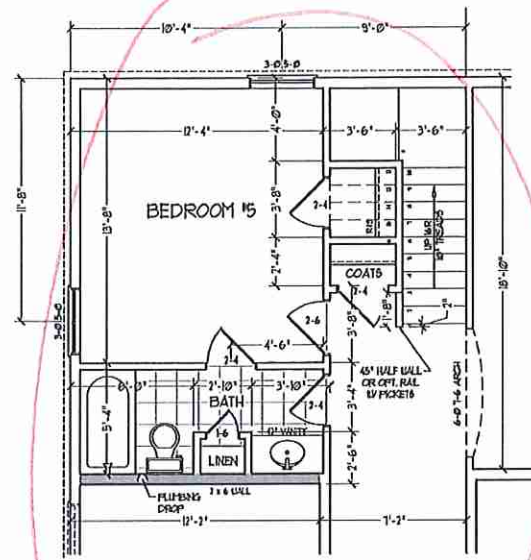
FRONT ELEVATION-C-3
SCALE: 1/4" = 1'-0"



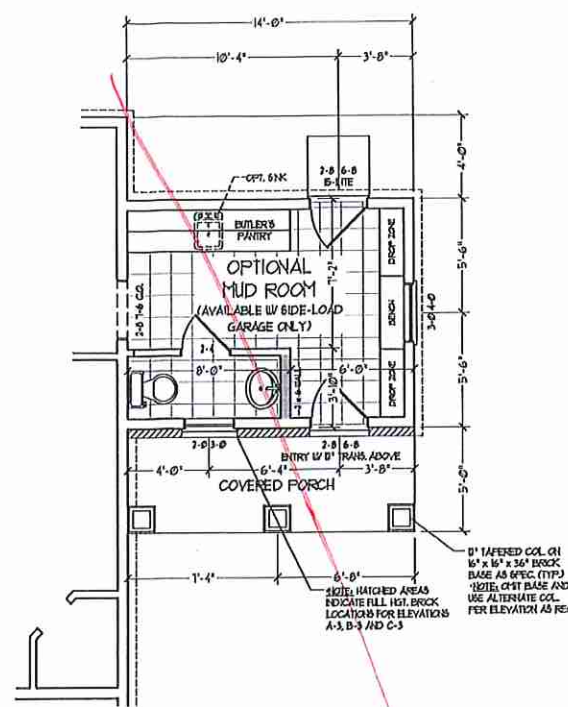
FRONT ELEVATION-C-4
SCALE: 1/4" = 1'-0"



GUEST SUITE
OPTION



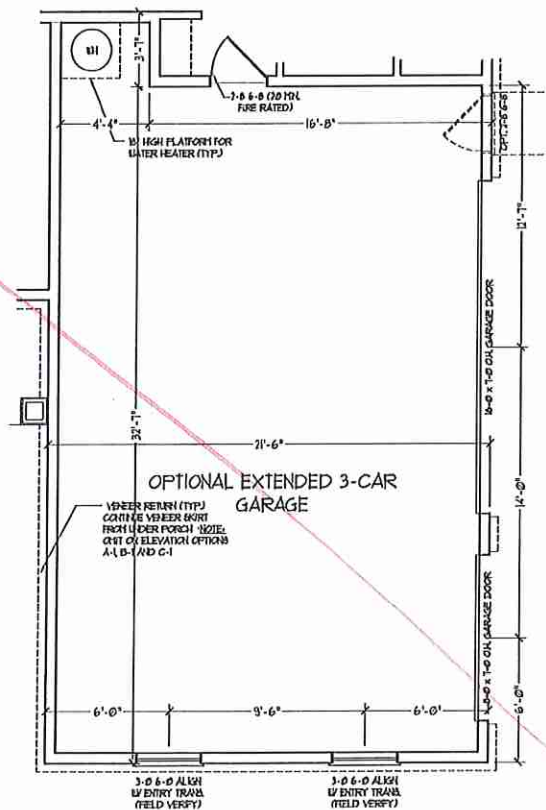
BEDROOM #5
OPTION



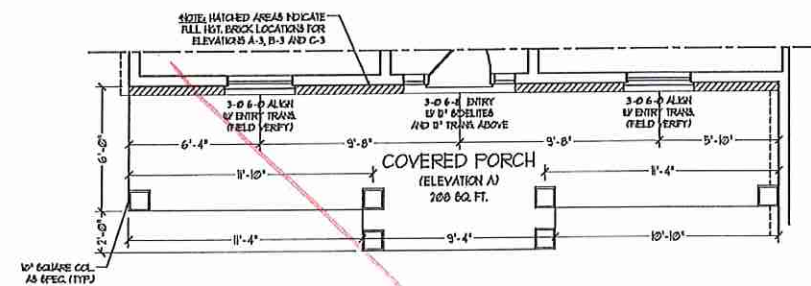
MUD ROOM
OPTION



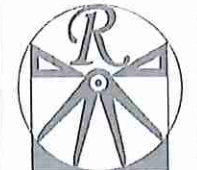
KITCHEN
OPTION



OPTIONAL EXTENDED
3-CAR GARAGE



FRONT PORCH ELEVATION A

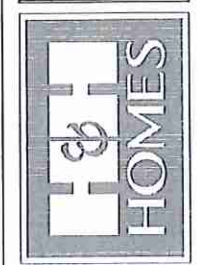


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4819 GLEAVIST CT., I. RALEIGH, NC 27612
(919) 619-4128
WWW.RDORCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RECEIVED THE RIGHT TO MAKE ADJUSTMENTS TO FLOOR PLANS, DIMENSIONS, MATERIALS AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COMPLETING ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS FOR ANY FUTURE PROJECTS. THESE PLANS AND DIMENSIONS ARE NOT TO BE REPRODUCED, COPIED, OR CONTAINED IN ANY MANNER WITHOUT FIRST CONTACTING THE OFFICES OF RENAISSANCE RESIDENTIAL DESIGN, INC. FOR A WRITTEN AGREEMENT. THESE PLANS WITHOUT FIRST CONTACTING RENAISSANCE RESIDENTIAL DESIGN, INC.

J.S. THOMPSON
ENGINEERING, INC.
600 WARE AVE., SUITE 104
RALEIGH, NC 27609
PHONE: (919) 264-9919
FAX: (919) 261-9921
S.C. LICENSE NO. C-1113

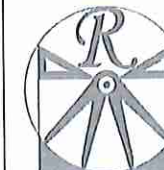


PRICE, FINANCING, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, DIMENSIONS, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL DIMENSIONS OF ALL FLOOR PLANS AND ELEVATIONS RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, MODIFICATION, OR DISTRIBUTION OF THESE FLOOR PLANS WITHOUT THE WRITTEN CONSENT OF H&H HOMES IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES

H&H HOMES, INC.
ROOSEVELT
DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WLG
ENGINEERED BY: WLF
REVIEWED BY: JES

FIRST FLOOR
PLAN OPTIONS
A-5.1



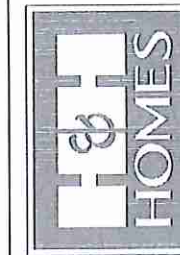
RENAISSANCE
RESIDENTIAL DESIGN, INC.
4510 GLENNIST CT. | RALEIGH, NC 27612
(919) 649-4108
WWW.RFDORCA.USA.COM

The art of enhancing your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ALL COMMON LAW COPYRIGHT AND OTHER FREQUENT RIGHTS IN THESE PLANS. THESE PLANS AND ANY INFORMATION CONTAINED THEREIN ARE FOR THE PURPOSES OF ILLUSTRATING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ALL COMMON LAW COPYRIGHT AND OTHER FREQUENT RIGHTS IN THESE PLANS. THESE PLANS AND ANY INFORMATION CONTAINED THEREIN ARE FOR THE PURPOSES OF ILLUSTRATING AN ARCHITECTURAL CONCEPT ONLY.

J.S. THOMPSON ENGINEERING, INC.
100 WARE AVE., SUITE 104
RALEIGH, NC 27603
PHONE: (919) 280-9917
FAX: (919) 280-9921
N.C. LICENSE NO. C-1133

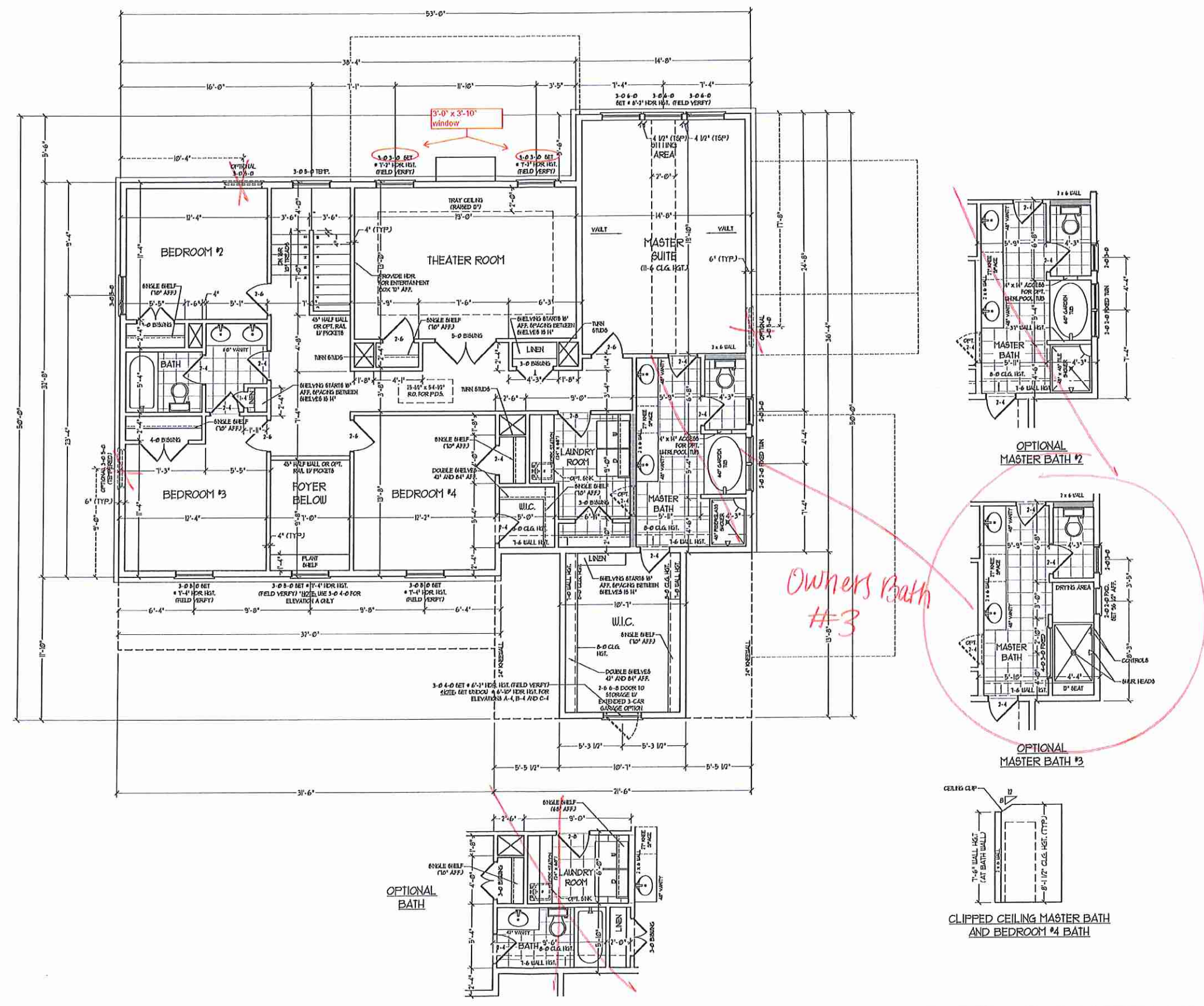


PRICES, PROVISIONS, MATERIALS, FEATURES, OPTIONS & FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS WILL BE DETERMINED BY THE SITE PLAN AND PLAT PLAN. FLOOR PLANS AND ELEVATIONS REPRESENT APPROXIMATE PROPORTIONS OF FINISHES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF H&H HOMES.

H&H HOMES, INC.
ROOSEVELT
DRIVE RIGHT

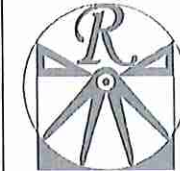
DATE: APRIL 26, 2017
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR PLAN
A-6



NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

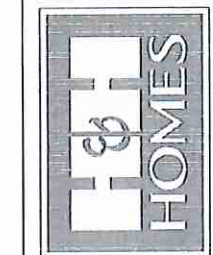


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENNVIEW CT., #1 RALEIGH, NC 27612
(919) 418-1128
WWW.RDCAORCA.COM

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE ANY CHANGES TO THESE PLANS, SPECIFICATIONS, MATERIALS, AND CONDITIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF CORRECTING AN ARCHITECTURAL CONCEPT ONLY.

ADVANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RELEASES ITS CONTRACTOR FROM ANY AND ALL OTHER LIABILITY ARISING FROM THESE PLANS. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF RENAISSANCE RESIDENTIAL DESIGN, INC. FOR ANY USE. THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
100 WARE AVE., SUITE 104
KALHOUN, NC 27159
PHONE: (919) 746-0919
FAX: (919) 746-0921
N.C. LICENSE NO.: 63133

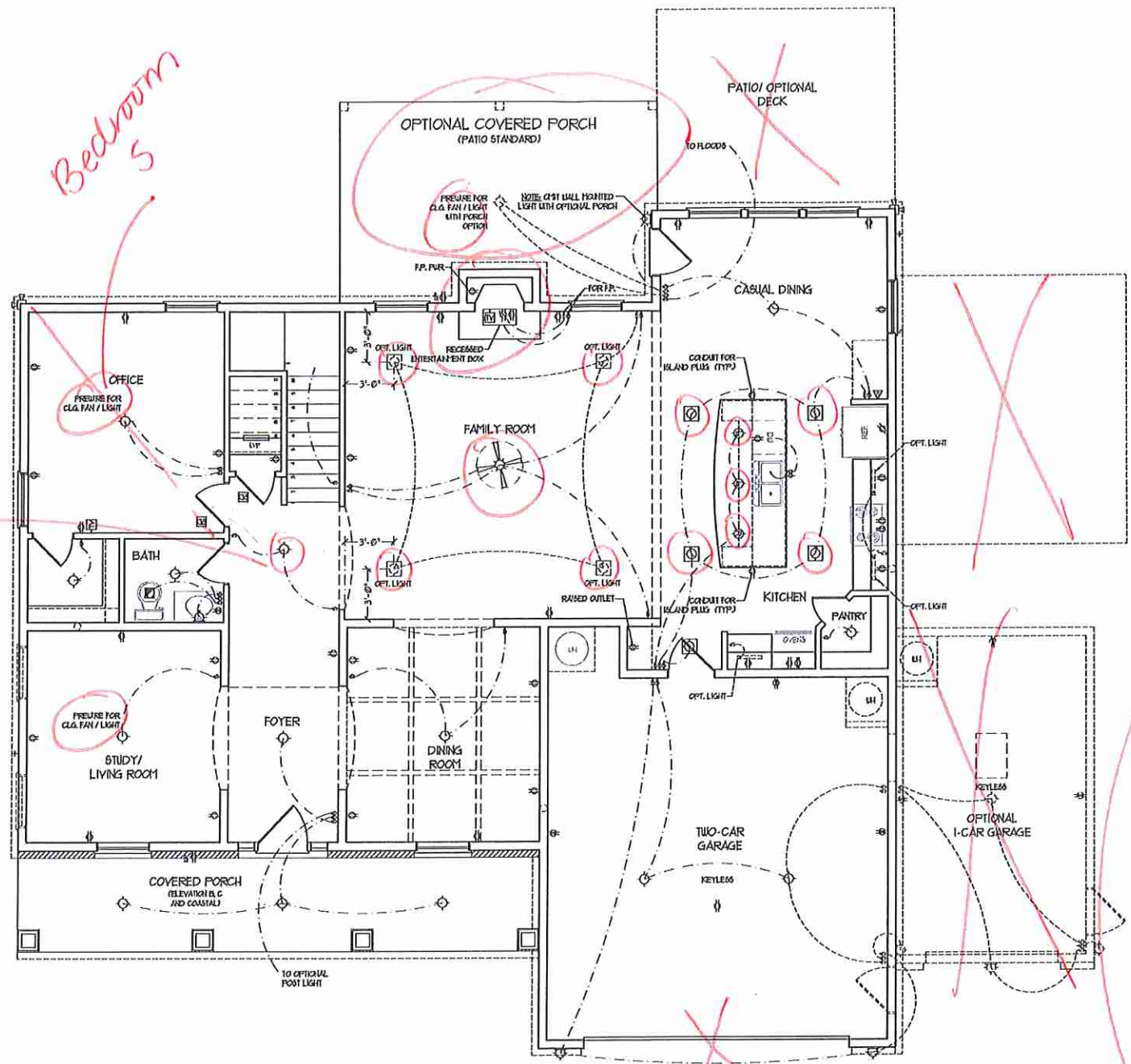


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLAT MAP. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS OF HIGH HOUSES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF H&H HOMES. COPYRIGHT © 2017 H&H HOMES

ELECTRICAL LAYOUT NOTES:
1) BLOCK AND USE FOR ALL CEILING FAN PER PLAN
2) VANTY LIGHTS TO BE SET 4'-0" AFF. (TYP)
3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
4) PLACE SWITCHES & DIM SWITCH ROUGH OPENINGS

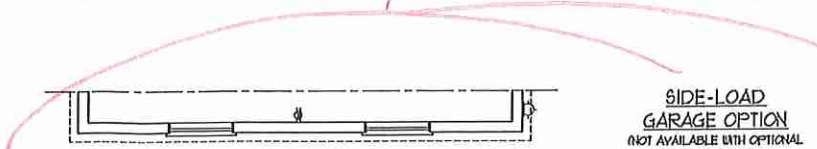
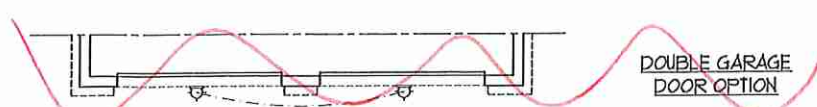
ELECTRICAL LEGEND

- 10 V OUTLET
- 10 V GFI OUTLET
- 10 V SWITCHED OUTLET
- 10 V BREAKBOARD OUTLET
- 4-FLUX
- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED NOV GFI
- LEAK DETECTOR
- 70 V OUTLET
- 10 V DEDICATED CIRCUIT
- 70 V DEDICATED CIRCUIT
- SPECIAL PURPOSE (10 V, ETC)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MRO CAN LIGHT
- EXTRAL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIFFER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- DOORBELL CHIME
- 10 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT



recess can
ilo flush

Bedroom 5

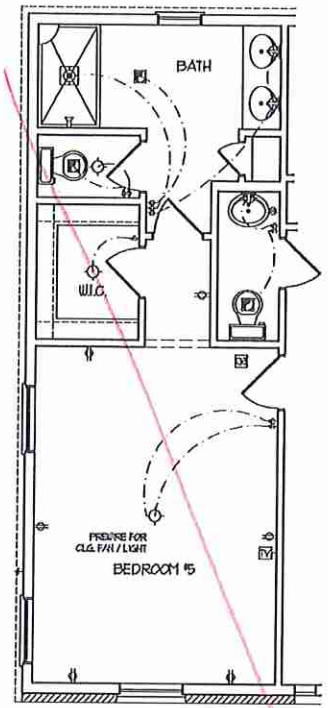


SIDE-LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

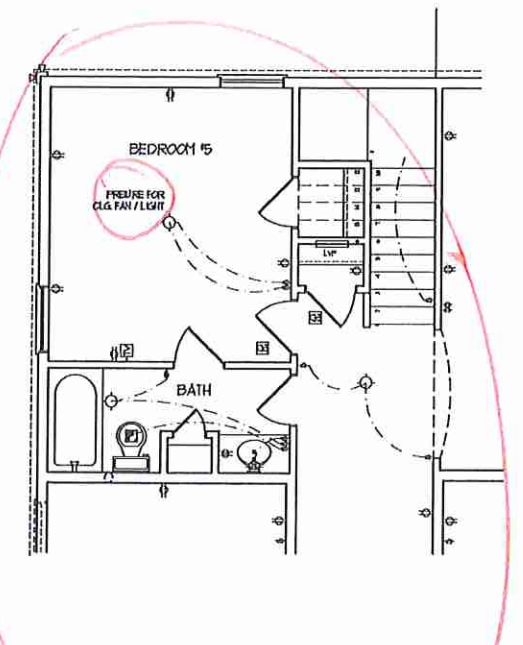
H&H HOMES, INC.
ROOSEVELT
DRIVE RIGHT

DATE: APRIL 26, 2017
REV:
SCALE: 1/4" = 1'-0"
DRAWN BY: WJG
ENGINEERED BY: WLF
REVIEWED BY: JES

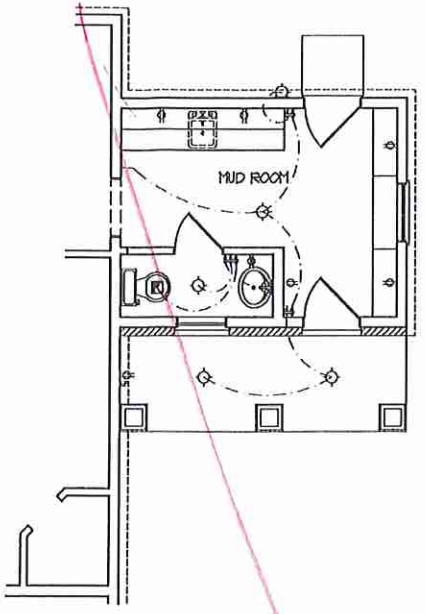
FIRST FLOOR ELECTRICAL PLAN
E-1



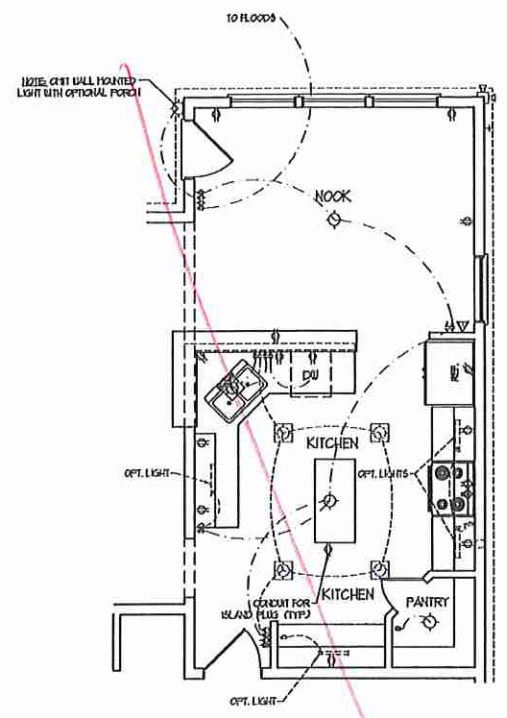
GUEST SUITE
OPTION



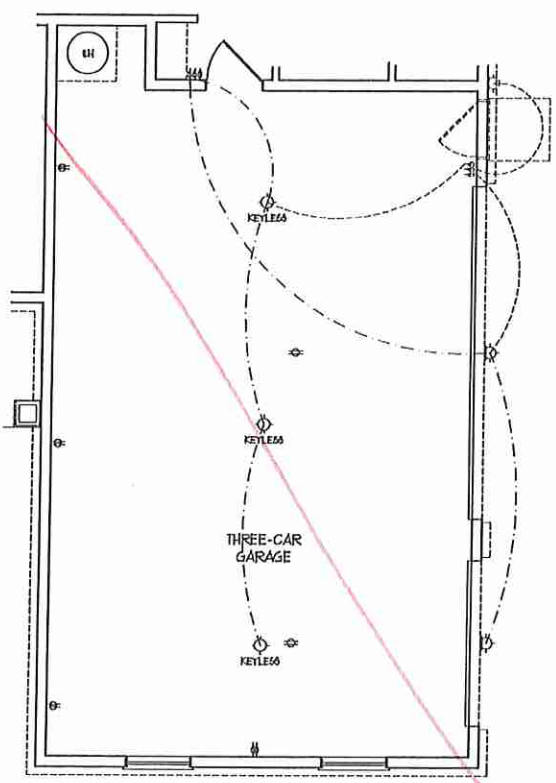
BEDROOM 15
OPTION



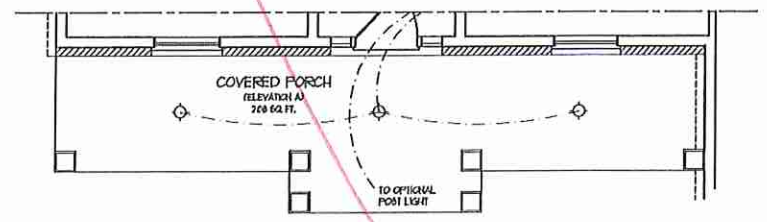
MUD ROOM
OPTION



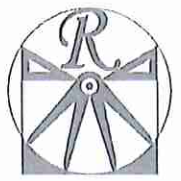
KITCHEN
OPTION



OPTIONAL EXTENDED
3-CAR GARAGE



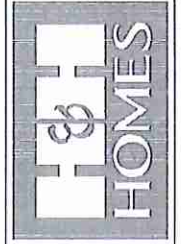
FRONT PORCH ELEVATION A



RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENVIEW CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RENAISSANCEDESIGN.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE UNOCCUPANCY TO FLOOR PLAN MODIFICATIONS, WATER MAINS AND SPECIFICATIONS THAT OUR OFFICE HAS DETERMINED TO BE NECESSARY FOR THE PURPOSE OF COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS. REVISIONS TO THIS PLAN SHALL BE MADE BY THE ARCHITECTURAL CONCEPT ONLY.
RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES THE RIGHT TO MAKE ANY CHANGES TO THIS PLAN WITHOUT NOTICE. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECTURAL CONCEPT ONLY.

J.S. THOMPSON
ENGINEERING, INC.
600 WARE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 281-1110
FAX: (919) 281-0221
N.C. LICENSE NO. C-1133

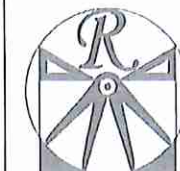


PRICES, PRODUCTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, FINISHES, AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT IS NOT GUARANTEED. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS IS PROHIBITED. SEE BUYER'S HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES.

H&H HOMES, INC.
ROOSEVELT
DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WJG
ENGINEERED BY: WLF
REVIEWED BY: JES

F.F. ELECTRICAL
PLAN OPTIONS
E-1.1

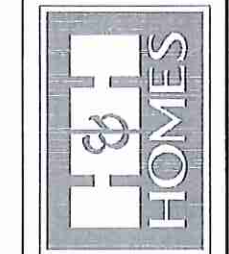


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4510 GLENHIST CT. | RALEIGH, NC 27612
(919) 418-4128
WWW.RENAISSANCEDESIGN.COM

"The art of benchmarking your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, FINISHES, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF CORRECTING ARCHITECTURAL CONFLICTS ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREIN EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS IN THESE PLANS AND DRAWINGS AND TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT FIRST OBTAINING THE WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. THESE PLANS ARE THE PROPERTY OF RENAISSANCE RESIDENTIAL DESIGN, INC. AND WILL BE ASSOCIATED WITH ANY TRADE MARKS, PATENTS, AND COPYRIGHTS OWNED BY RENAISSANCE RESIDENTIAL DESIGN, INC.

J.S. THOMPSON
REGISTERED ELECTRICAL ENGINEER
605 W. WARE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 281-9939
FAX: (919) 789-9921
N.C. LICENSE NO. C-11333

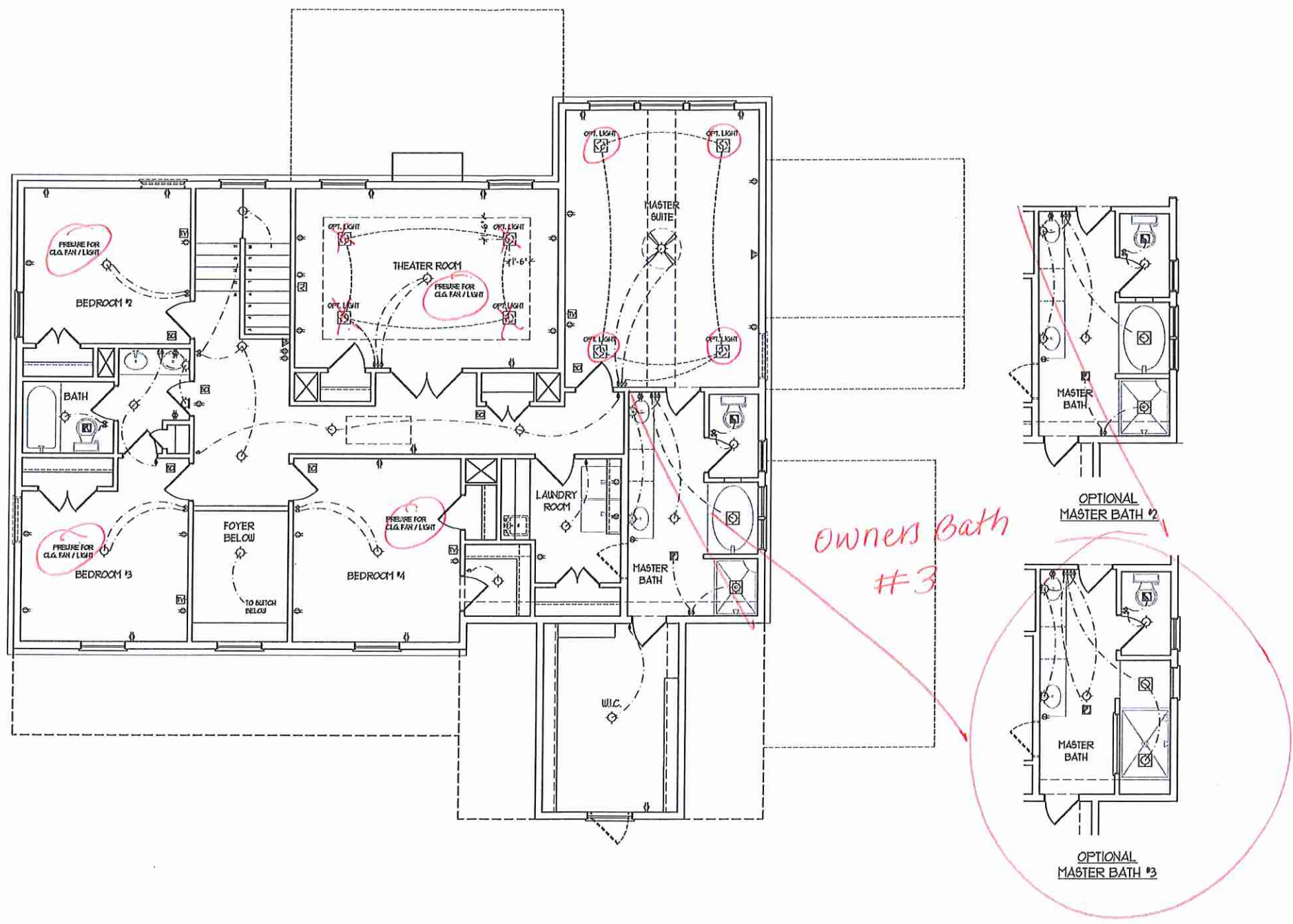


PRICE PROVISIONS, INCLUSIONS, FEATURES, MATERIALS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL DIMENSIONS AND FINISHES ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOLES OR CUTS WILL BE DETERMINED BY THE SET PLAN AND SET PLAN CONDITIONS. H&H HOMES AND THE ARCHITECTURAL, ENGINEERING, OR OTHER PROFESSIONAL SERVICES PROVIDER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES

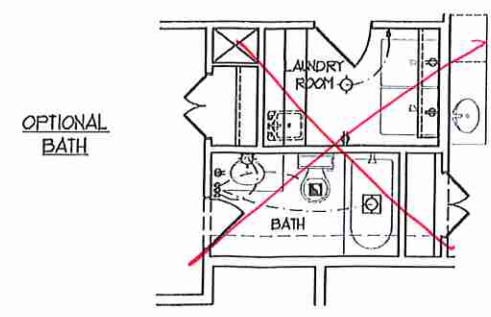
ELECTRICAL LAYOUT NOTES:
1) BLOCK AND USE FOR ALL CEILING FANS PER PLAN
2) VANITY LIGHTS TO BE SET @ 30" A.F.F. (TYP.)
3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN
4) PLACE SWITCHES @ 6" FROM ROUGH OPENINGS

ELECTRICAL LEGEND

- 120 V OUTLET
- 120 V GFI OUTLET
- 120 V SWITCHED OUTLET
- 120 V BASEBOARD OUTLET
- 4-PL EX
- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED NOY GFI
- LEATHERPOOF
- 220 V OUTLET
- 120 V DEDICATED CIRCUIT
- 220 V DEDICATED CIRCUIT
- SPECIAL PURPOSE (120 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- 1/8" CAN LIGHT
- EMERALD LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIFFER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SEWER
- DOORBELL CHIME
- 120 V BRICK DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT



Owners Bath #3

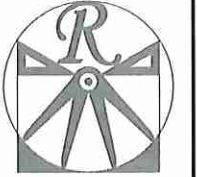


OPTIONAL BATH

CLIPPED CEILING MASTER BATH AND BEDROOM #4 BATH

H&H HOMES, INC.
ROOSEVELT DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES
SECOND FLOOR ELECTRICAL PLAN



RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RDNCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO OUR PLANS, SPECIFICATIONS, MATERIALS, AND CONDITIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS CONCEPTUAL DESIGN AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. WORKMAN IS TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION AND CONSENT.

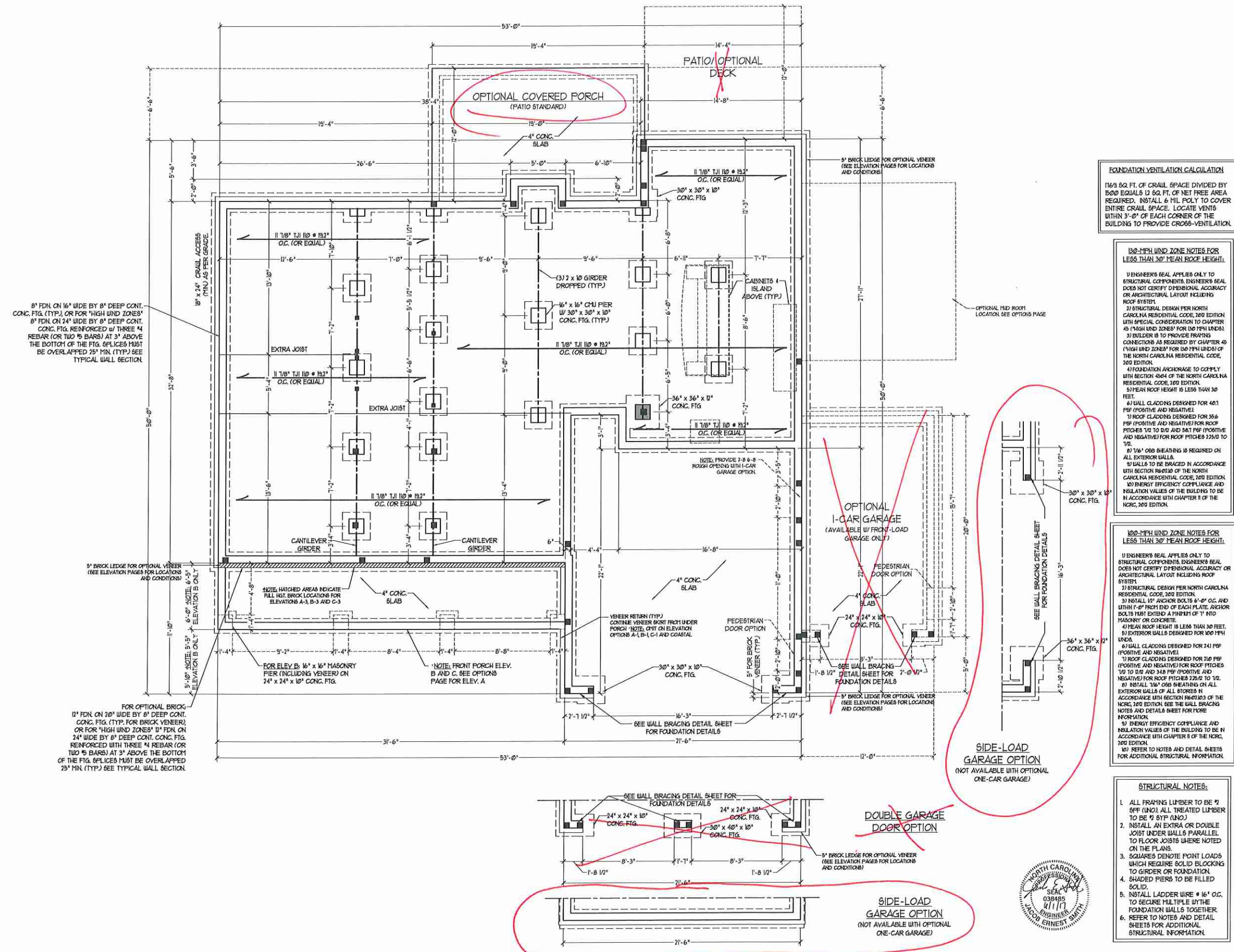
J.S. THOMPSON
ENGINEERING, INC.
RALEIGH, NC 27605
PHONE: (919) 289-9948
FAX: (919) 259-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL DIMENSIONS OF ANY LOT WILL BE THE DETERMINING FACTOR IN THE LAYOUT OF FLOOR PLANS AND ELEVATIONS. HENRICHS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&S HOMES. ANY USE, REPRODUCTION, OR MODIFICATION OF THESE PLANS IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&S HOMES

H&S HOMES, INC.
ROOSEVELT DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES
CRAWL FOUNDATION PLAN
S-1



8" FDN ON 16" WIDE BY 8" DEEP CONT. CONC. FIG. (TYP.) OR FOR "HIGH WIND ZONES" 8" FDN ON 24" WIDE BY 8" DEEP CONT. CONC. FIG. REINFORCED W/ THREE #4 REBAR (OR TWO #5 BARS) AT 3" ABOVE THE BOTTOM OF THE FIG. SPLICES MUST BE OVERLAPPED 25" MIN. (TYP.) SEE TYPICAL WALL SECTION

FOR OPTIONAL BRICK 12" FDN ON 20" WIDE BY 8" DEEP CONT. CONC. FIG. (TYP. FOR BRICK VENEER) OR FOR "HIGH WIND ZONES" 12" FDN ON 24" WIDE BY 8" DEEP CONT. CONC. FIG. REINFORCED WITH THREE #4 REBAR (OR TWO #5 BARS) AT 3" ABOVE THE BOTTOM OF THE FIG. SPLICES MUST BE OVERLAPPED 25" MIN. (TYP.) SEE TYPICAL WALL SECTION



STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE #2 SPF (UNO). ALL TREATED LUMBER TO BE #1 SYP (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- PROVIDE EXTRA JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS.
- ALL BEAMS ARE TO BE SUPPORTED WITH (2) JACK STUDS EA. END (UNO). WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO).
- FOR HIGH WIND ZONES, PROVIDE (2) 2 x 6 KING STUDS EA. SIDE OF EXTERIOR WINDOW AND DOOR HEADERS w/ CLEAR OPENINGS LESS THAN 6'-0" AND (3) 2 x 6 KING STUDS EA. SIDE OF HEADERS w/ CLEAR OPENINGS GREATER THAN 6'-0".
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/8" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP FLATES, BRACKS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 1" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE 6" FLATES THEIR FULL DEPTH.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
- ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ 5/8" DIA. ANCHOR BOLTS (OR EQUAL) AND 6 x 6 POSTS w/ ABUS66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENCL. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

LENGTH (FT.)	SIZE OF LINTEL
UP TO 4 FT.	L 3 1/2 x 3 1/2 x 1/4
4-8	L 5 x 3 1/2 x 5/16 LLY
8 AND GREATER	L 6 x 4 x 5/16 LLY

- NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH. DSS. FOR SIZE AND LOCATION OF OPENINGS.
 - (LLY) = LONG LEG VERTICAL
 - LENGTH = CLEAR OPENING
 - ENDED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
 - FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER w/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
 - FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN A 5" x 3 1/2" x 5/16" STEEL ANGLE TO 2 x 10 BLOCKING INSTALLED BETWEEN WALL STUDS w/ 1/2" LAG SCREWS 12" O.C. STAGGERED AND IN ACCORDANCE TO SECTION R103.112 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
 - PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

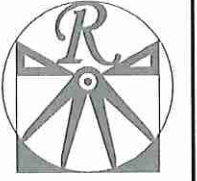
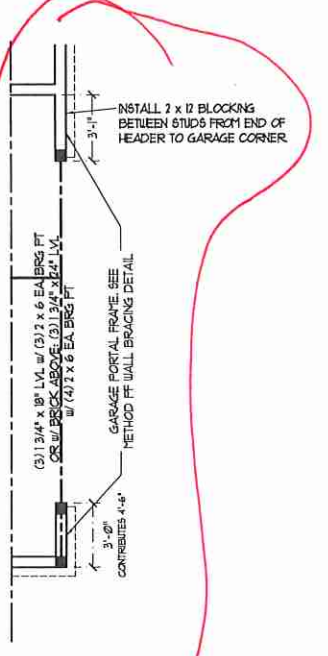
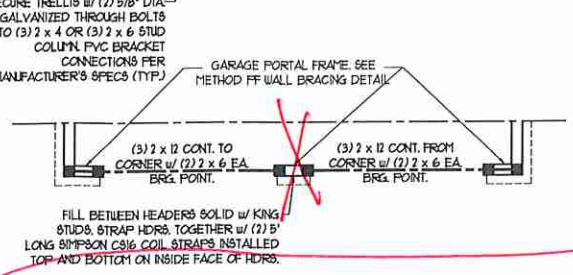
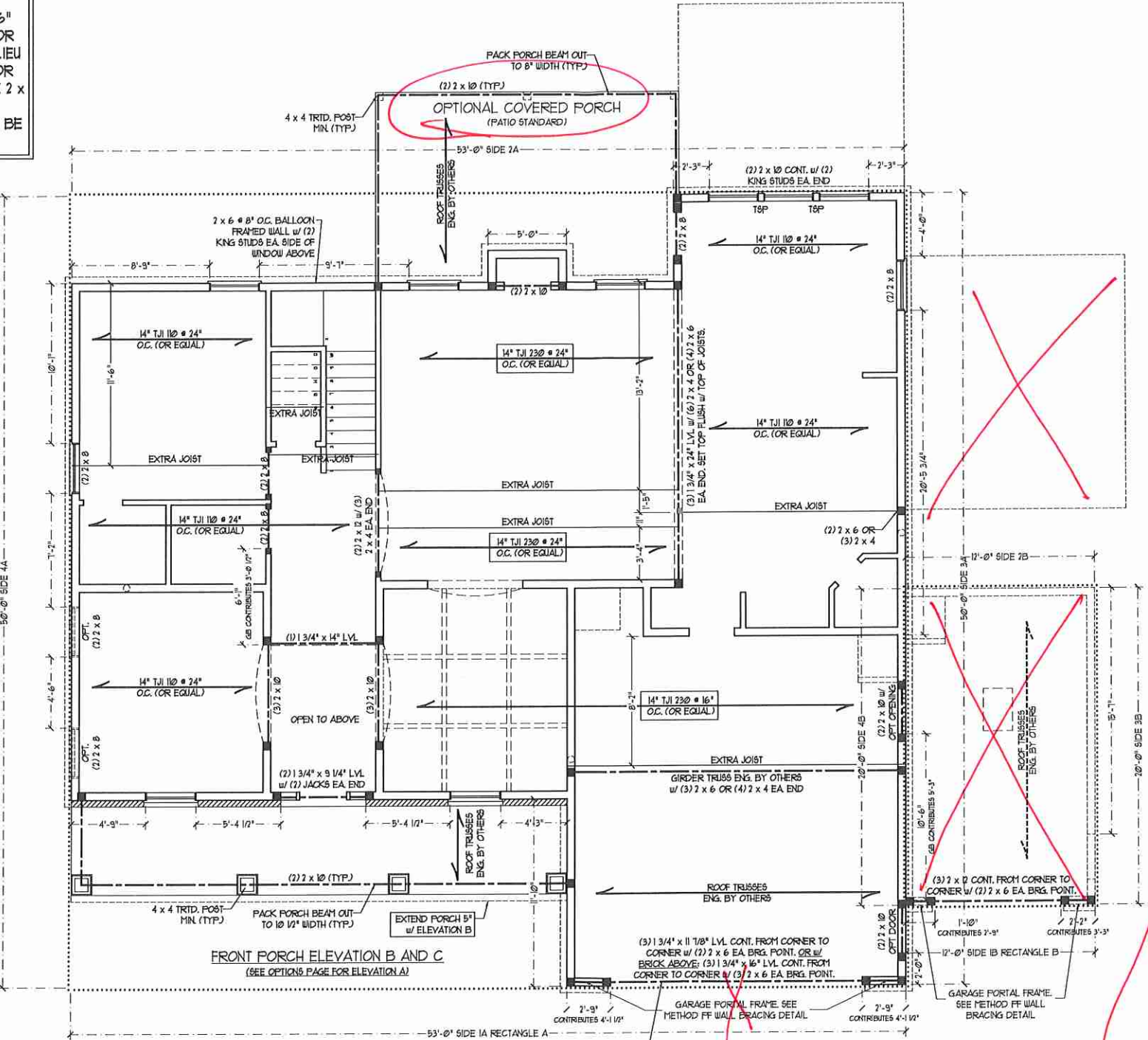
NOTE: T&P DENOTES TRIPLE STUD POCKET

BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R607.210 OF THE SIFLIFIED WALL BRACING CRITERIA EFFECTIVE SEPTEMBER 1, 2013.
- CS-USP REFERS TO "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 1/8" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 12" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM FLATES.
- BRACED WALL DESIGN APPLIES IN WIND ZONES UP TO 110 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC, 2012 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

BRACED WALL DESIGN

RECTANGLE A	RECTANGLE B
SIDE 1A (FRONT LOAD)	SIDE 1B
METHOD: CS-USP/FF	METHOD: CS-USP/FF
TOTAL REQUIRED LENGTH: 2135'	TOTAL REQUIRED LENGTH: 456'
TOTAL PROVIDED LENGTH: 28'	TOTAL PROVIDED LENGTH: 6'
SIDE 2A	SIDE 2B
METHOD: CS-USP	METHOD: CS-USP
TOTAL REQUIRED LENGTH: 2135'	TOTAL REQUIRED LENGTH: 456'
TOTAL PROVIDED LENGTH: 2183'	TOTAL PROVIDED LENGTH: 12'
SIDE 3A (SIDE LOAD)	SIDE 3B
METHOD: CS-USP/FF	METHOD: CS-USP
TOTAL REQUIRED LENGTH: 2231'	TOTAL REQUIRED LENGTH: 319'
TOTAL PROVIDED LENGTH: 439'	TOTAL PROVIDED LENGTH: 1538'
SIDE 4A	SIDE 4B / SIDE 3A CUMULATIVE
METHOD: CS-USP/GB	METHOD: CS-USP/GB
TOTAL REQUIRED LENGTH: 2231'	TOTAL REQUIRED LENGTH: 2556'
TOTAL PROVIDED LENGTH: 248'	TOTAL PROVIDED LENGTH: 406'

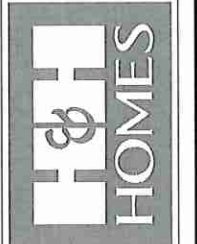


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHAST CT., RALEIGH, NC 27612
(919) 649-4158
WWW.RDCA.ROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE CONCEPTS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. IF YOU ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.



PRICE, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS, DIMENSIONS, AND DIMENSIONS WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT IS TO BE DETERMINED BY SURVEYOR. FLOOR PLANS AND ELEVATION HEADINGS ARE ARTIST CONCEPTS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, MODIFICATION, OR DISTRIBUTION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES IS PROHIBITED. © 2017 H&H HOMES

H&H HOMES, INC.
ROOSEVELT DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR FRAMING PLAN
S-2



BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R6-0710 OF THE SIMPLIFIED WALL BRACING CRITERIA EFFECTIVE SEPTEMBER 1, 2013.
- C5-WSF REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS' CONTRACTOR IS TO INSTALL 1/8" OSB ON ALL EXTERIOR WALLS ATTACHED w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
- G5B REFERS TO 'GYPSUM BOARD' CONTRACTOR IS TO INSTALL 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM FLATES.
- BRACED WALL DESIGN APPLIES IN WIND ZONES UP TO 100 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCR, 2012 EDITION.
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

NOTE:

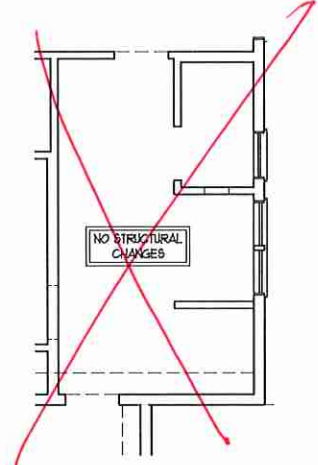
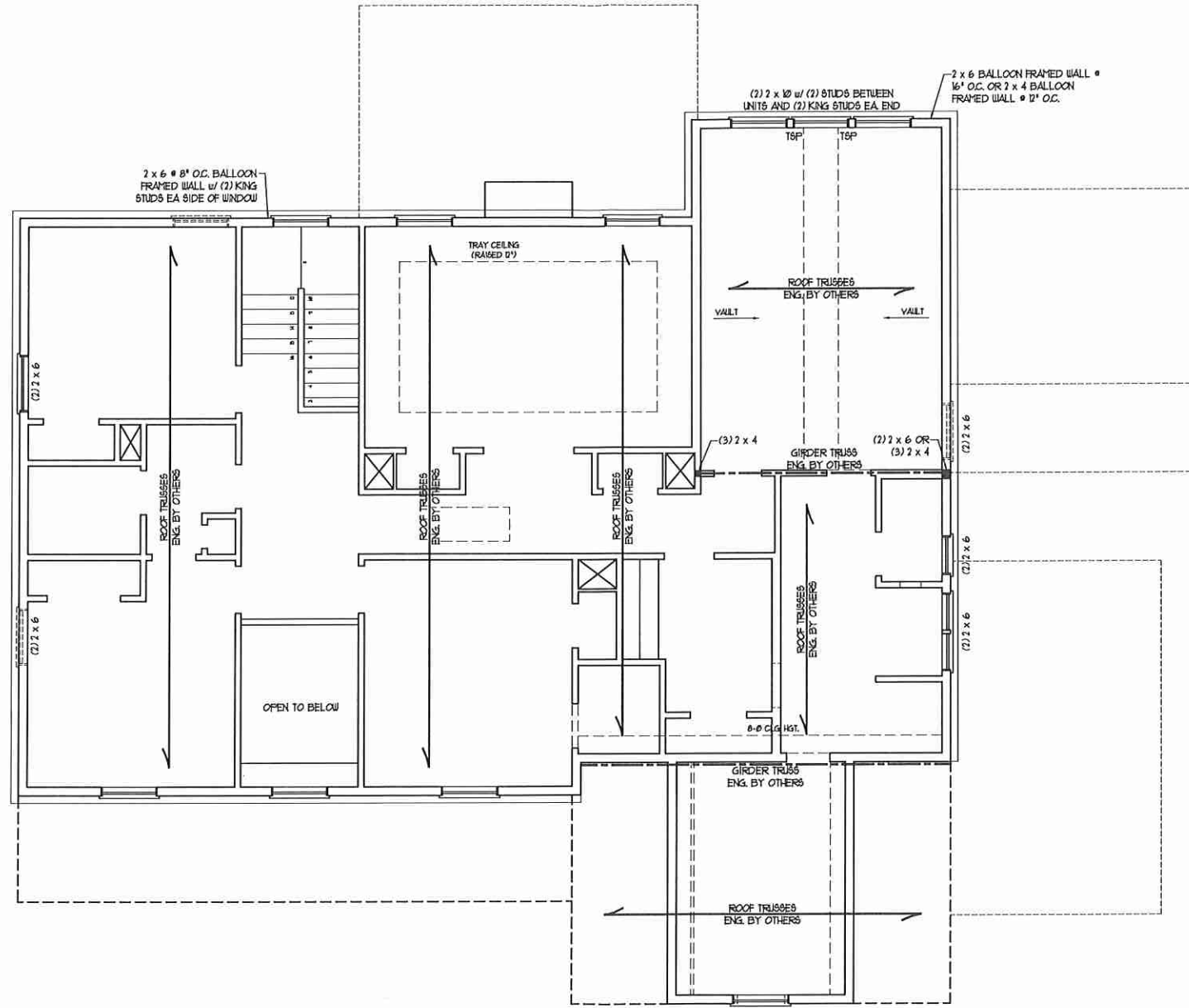
- PER SECTION R6-0710.32 OF THE 2012 NCR, 2012 EDITION, THE AMOUNT OF BRACING ON THE SECOND FLOOR EXCEEDS THE AMOUNT REQUIRED FOR THE FIRST FLOOR AND NO BRACED WALL ANALYSIS IS REQUIRED.
- SHEATH ALL EXTERIOR WALLS WITH 1/8" OSB SHEATHING ATTACHED WITH 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

***NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

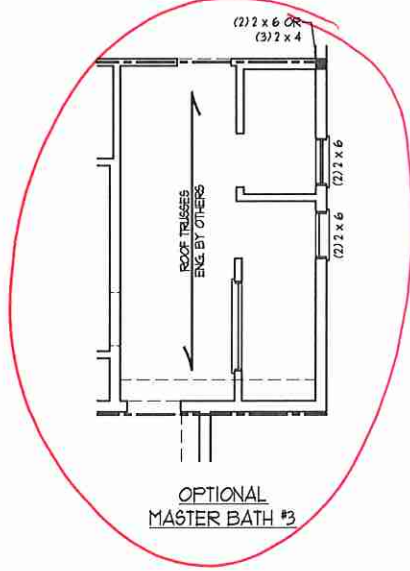
STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE #2 SFF (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 10 (UNO).
- ALL BEAMS ARE TO BE SUPPORTED WITH (2) 2 x 4 PER END (UNO).
- FOR HIGH WIND ZONES, PROVIDE (2) 2 x 6 KING STUDS EA. SIDE OF EXTERIOR WINDOW AND DOOR HEADERS w/ CLEAR OPENINGS LESS THAN 6'-0" AND (3) 2 x 6 KING STUDS EA. SIDE OF HEADERS w/ CLEAR OPENINGS GREATER THAN 6'-0".
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

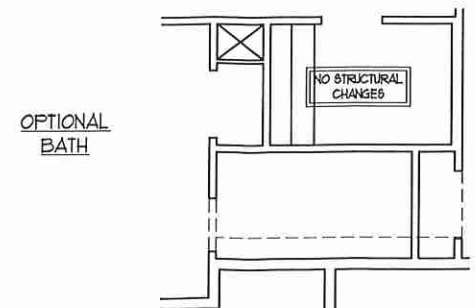
1SP DENOTES TRIPLE STUD POCKET



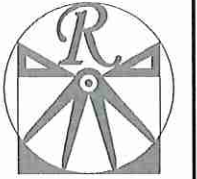
OPTIONAL MASTER BATH #2



OPTIONAL MASTER BATH #3



OPTIONAL BATH



RENAISSANCE

RESIDENTIAL DESIGN, INC.
4810 CLEVERLY ST. J. RALEIGH, NC 27612
(919) 649-4128
WWW.RRDCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, P.C. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO ALL WORK, DRAWINGS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.
RENAISSANCE RESIDENTIAL DESIGN, P.C. HEREBY EXPRESSLY RESERVES ITS CONSTITUTIONAL COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. WORK ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
600 WADE AVE. SUITE 104
RALEIGH, NC 27605
PHONE: (919) 280-9919
FAX: (919) 754-9921
N.C. LICENSE NO. C-1733



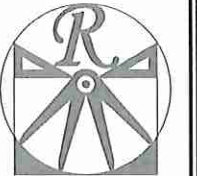
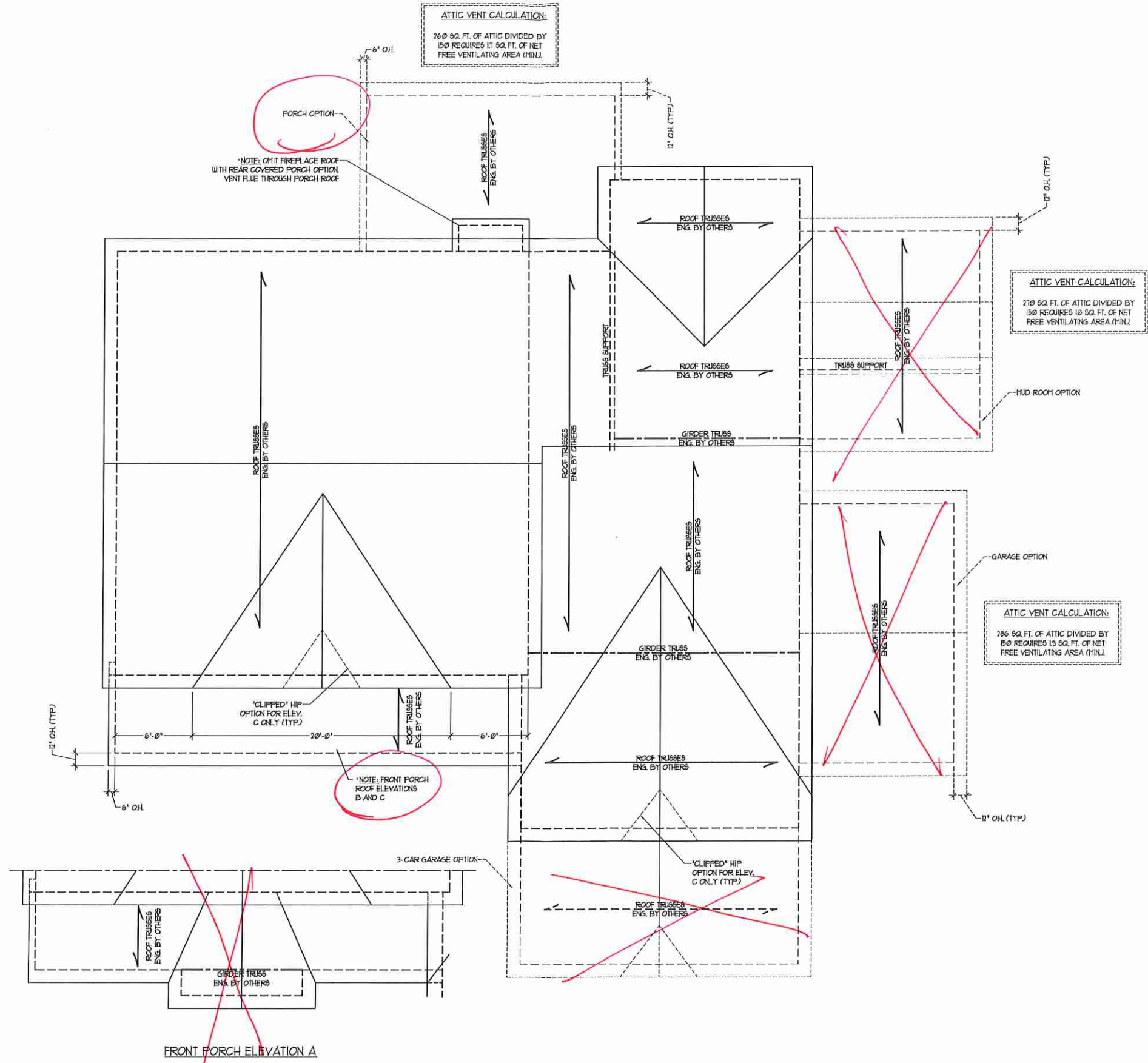
PRICES, PROMOTIONS, INCENTIVES, FEATURES, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF ROSE ON LOT WILL BE DETERMINED BY SURVEY. ALL DIMENSIONS, FLOOR PLANS AND ELEVATION HEADINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF HSH HOMES. ANY USE, REPRODUCTION, OR MODIFICATION OF THESE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 HSH HOMES

HSH HOMES, INC.
ROOSEVELT DRIVE RIGHT

DATE: APRIL 26, 2017
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WJG
ENGINEERED BY: WLF
REVIEWED BY: JES

ATTIC FLOOR FRAMING PLAN





RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHURST CT., | RALEIGH, NC 27612
(919) 640-4128
WWW.RRDCAROLINA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONAL MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COPYRIGHT AND ALL OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. IF YOU ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING OUR WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
100 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 289-9919
FAX: (919) 289-9921
N.C. LICENSE NO. C-173



FRAMES, INSULATIONS, INTERIORS, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS SHALL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. UNLESS OTHERWISE INDICATED, ALL DIMENSIONS ARE IN INCHES. CONSULT FOR PROHIBITED. SEE H&H HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2017 H&H HOMES

H&H HOMES, INC.
ROOSEVELT DRIVE RIGHT

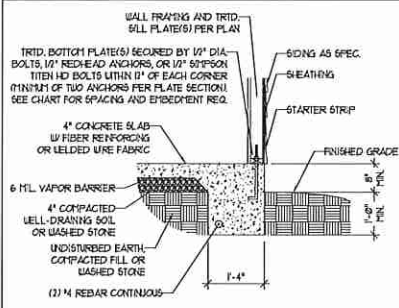
DATE: APRIL 26, 2017
REV:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

ROOF PLAN
S-4



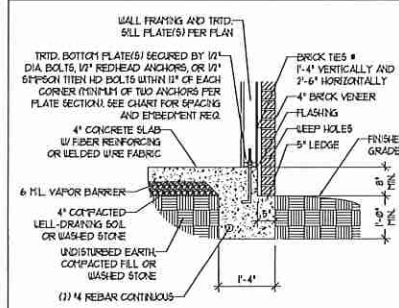
MONOLITHIC SLAB DETAILS

DETAIL 1



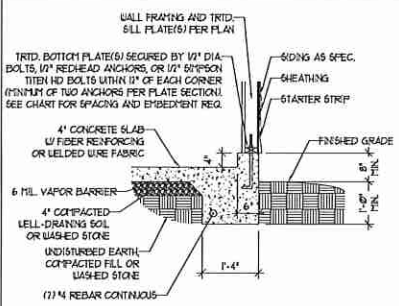
TYPICAL SLAB DETAIL

DETAIL 2



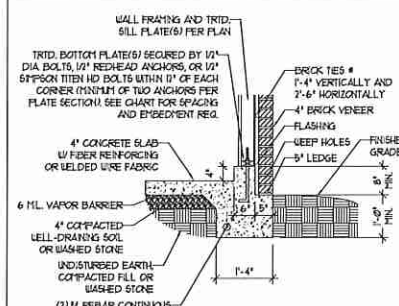
BRICK VENEER DETAIL

DETAIL 3



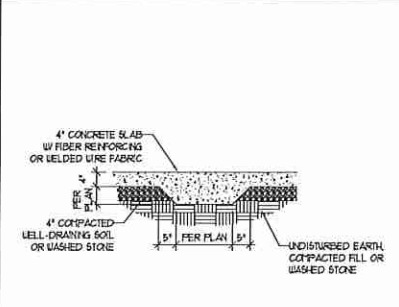
GARAGE CURB DETAIL

DETAIL 4



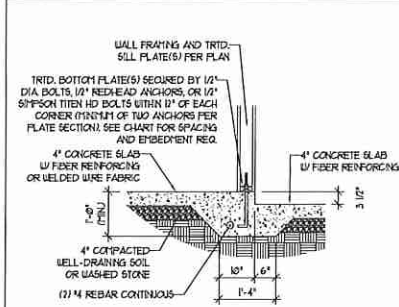
GARAGE CURB BRICK LEDGE DETAIL

DETAIL 5



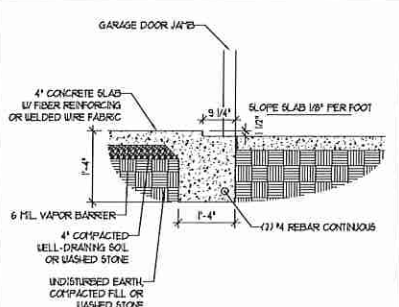
THICKENED SLAB DETAIL

DETAIL 6



STEP IN GARAGE DETAIL

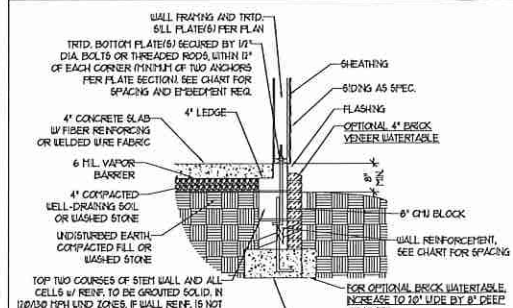
DETAIL 7



SLAB AT GARAGE DOOR DETAIL

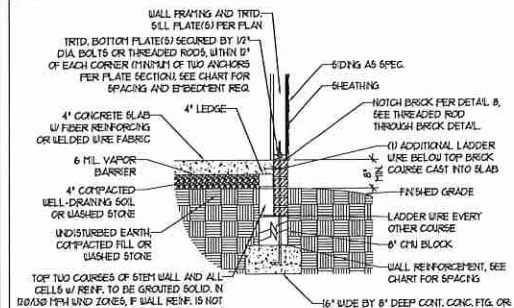
STEM WALL DETAILS

DETAIL 1



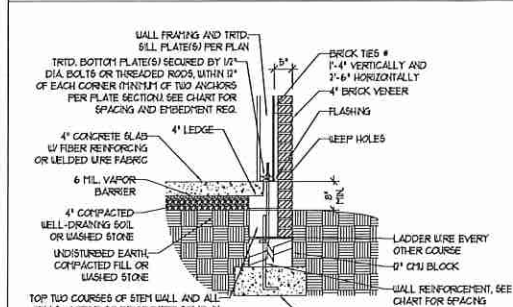
TYPICAL STEM WALL DETAIL
(w/ OPTIONAL WATERTABLE)

OPTIONAL DETAIL 1



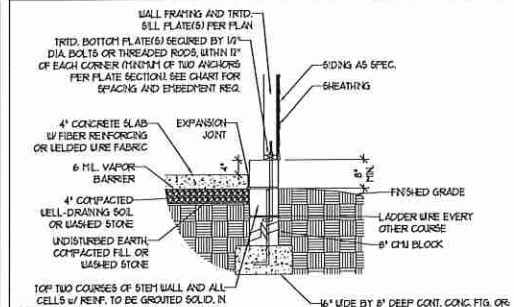
OPTIONAL STEM WALL DETAIL

DETAIL 2



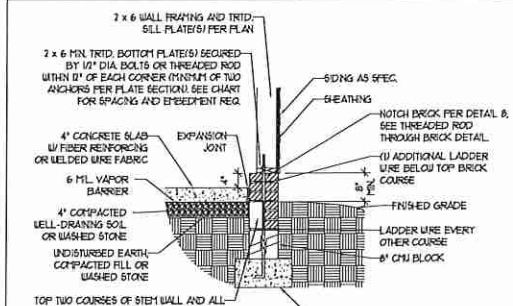
TYPICAL STEM WALL FND. W/ BRICK DETAIL

DETAIL 3



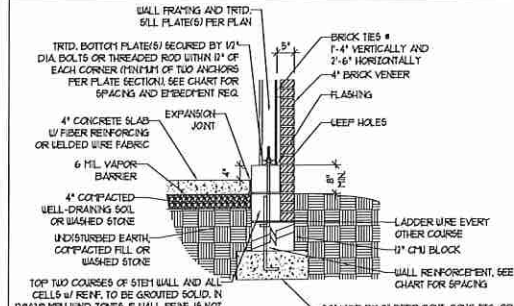
TYPICAL STEM WALL FND. DETAIL w/ CURB @ GARAGE

OPTIONAL DETAIL 3



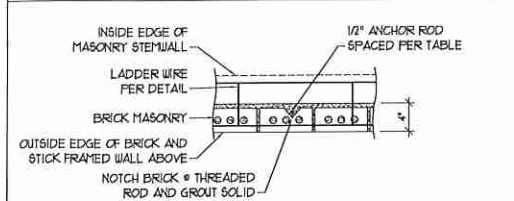
OPTIONAL STEM WALL FND. DETAIL w/ CURB @ GARAGE

DETAIL 4



TYPICAL STEM WALL FND. DETAIL W/ BRICK AND CURB @ GARAGE

DETAIL 8



THREADED ROD THROUGH BRICK MASONRY

MASONRY STEM WALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
3	UNGRAOUTED	GROUT SOLID	UNGRAOUTED	UNGRAOUTED
4	GROUT SOLID	GROUT SOLID w/ 1/4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ 1/4 REBAR @ 64" O.C.
5	GROUT SOLID w/ 1/4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4 REBAR @ 36" O.C.	GROUT SOLID w/ 1/4 REBAR @ 64" O.C.
6	GROUT SOLID w/ 1/4 REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ 1/4 REBAR @ 24" O.C.	GROUT SOLID w/ 1/4 REBAR @ 64" O.C.
7 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

STRUCTURAL NOTES:

1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
2. THE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
4. BACKFILL OF CLEAN #51 / #61 WASHED STONE IS ALLOWABLE.
5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R402.1 OF THE 2012 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
6. FREEF SLAB PER R506.2.1 AND R506.2.2 BASE OF THE 2012 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 24" LAP SPlice LENGTH.
7. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
8. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	100 MPH		110 MPH	
	SPACING	EMBEDMENT	SPACING	EMBEDMENT
100 MPH	6'-0" O.C.	1"	4'-0" O.C.	15" INTO MASONRY 1" INTO CONCRETE
120 MPH	6'-0" O.C. w/ DBL. SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS	15" INTO MASONRY 1" INTO CONCRETE	130 MPH	6'-0" O.C. w/ DBL. SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS

NOTE: HORIZONTAL FOOTING REBAR REQUIRED IN HIGH WIND ZONES ONLY (120 MPH - 130 MPH)

J.S. THOMPSON ENGINEERING, INC.
666 WADE AVE., SUITE 104, RALEIGH, NC 27605
PHONE: (919) 789-9921 FAX: (919) 789-9921
N.C. LICENSE NO.: C11723

FOUNDATION DETAILS

DATE: AUGUST 14, 2015

SCALE: NTS

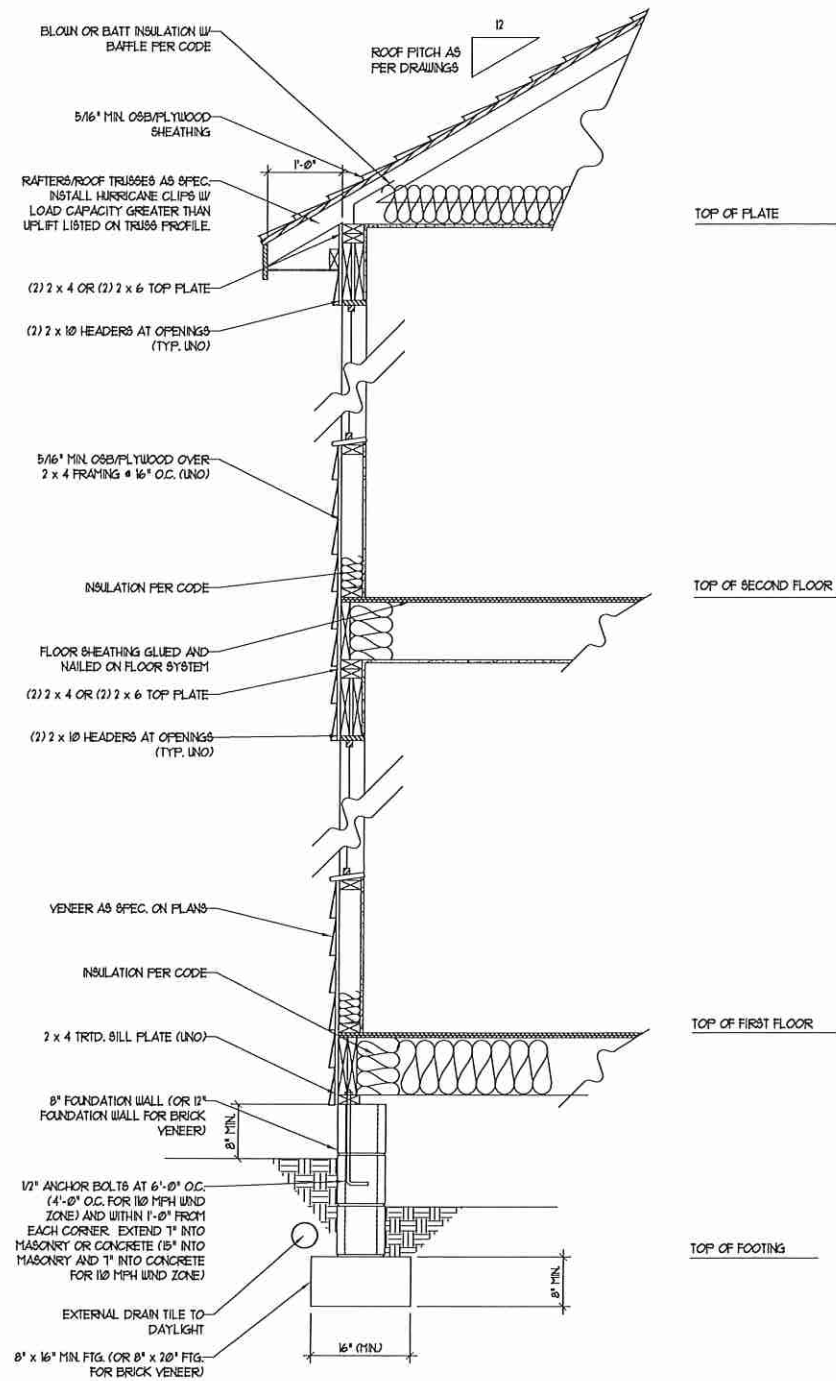
DRAWN BY: JST

ENGINEERED BY: JES

FOUNDATION DETAILS
D-1

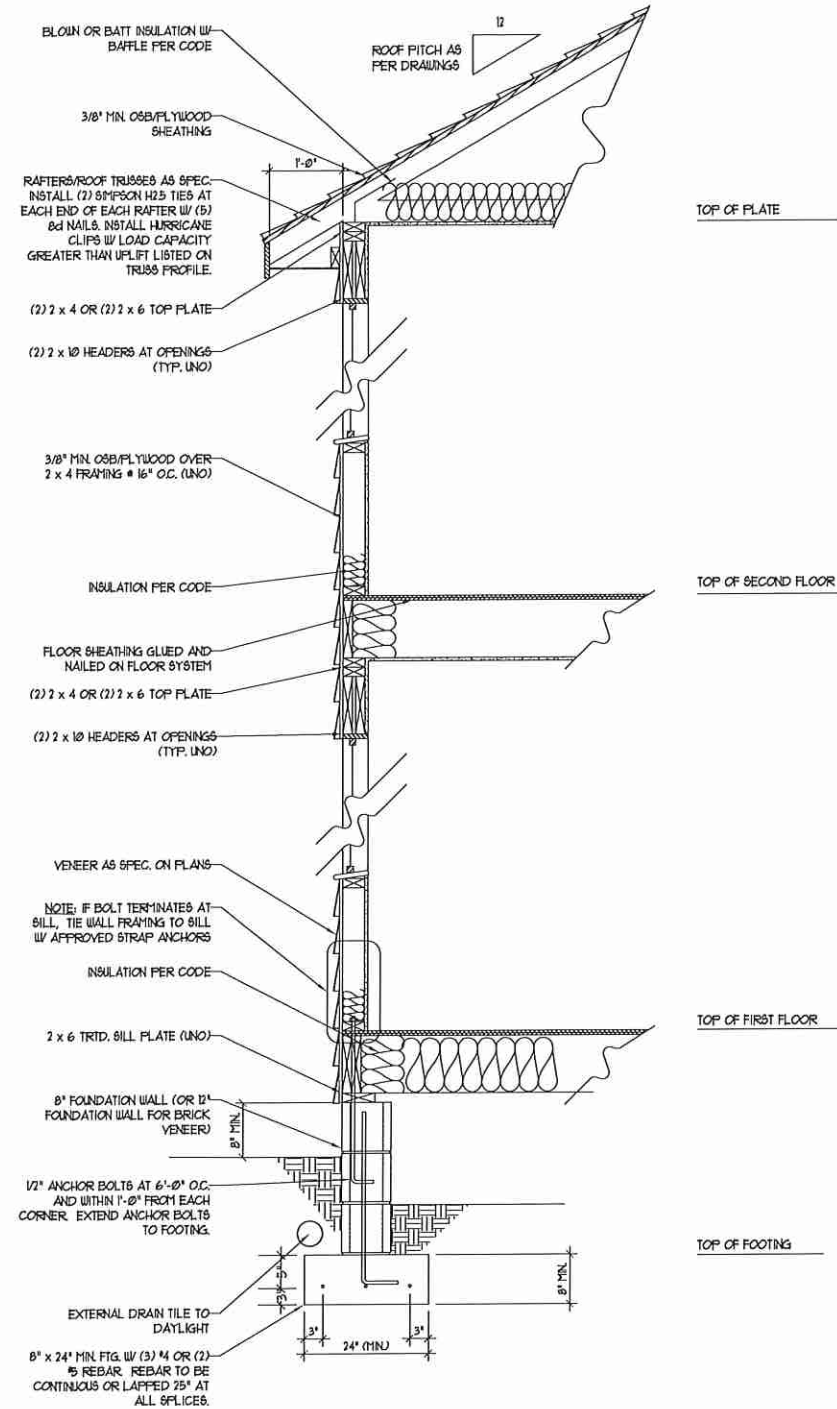


100/110 MPH WIND ZONE



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)

120/130 MPH WIND ZONE



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)

NOTE:
- BUILDER IS TO PROVIDE FRAMING CONNECTIONS AS REQUIRED BY CHAPTER 45 ("HIGH WIND ZONES" FOR 120/130 MPH WINDS) AND CHAPTER 46 (COASTAL AND FLOOD PLAIN CONSTRUCTION STANDARDS) OF THE NORTH CAROLINA STATE BUILDING CODE, 2012 EDITION.

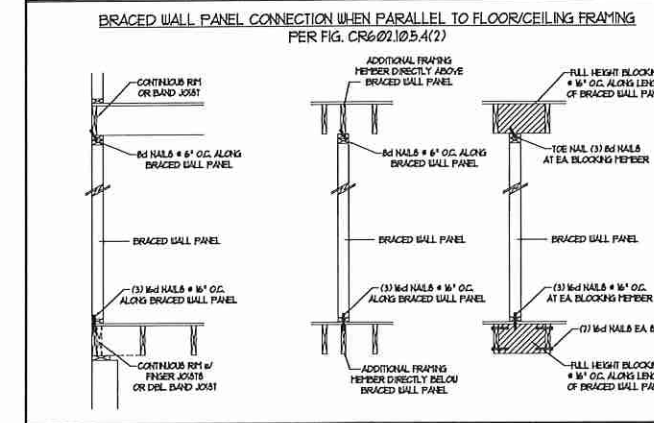
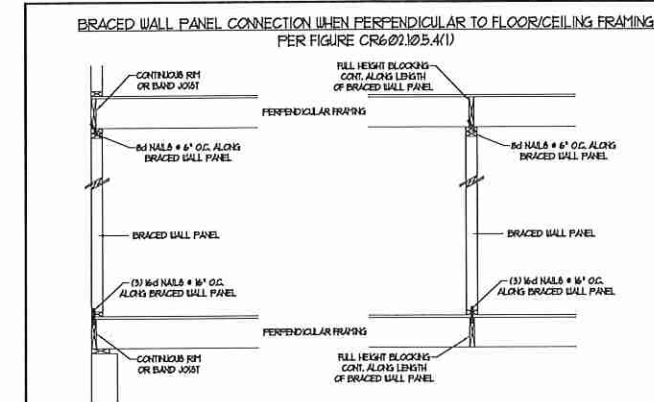
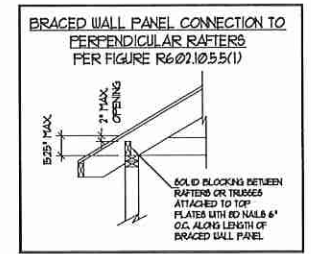
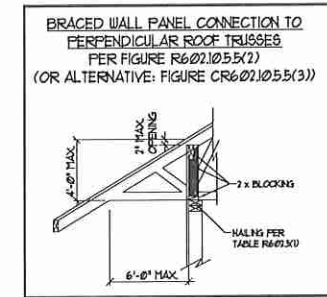
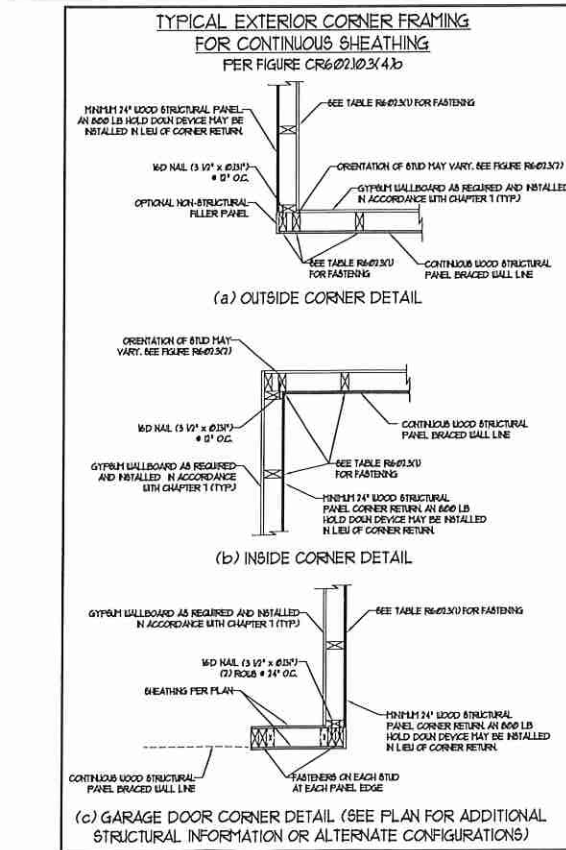
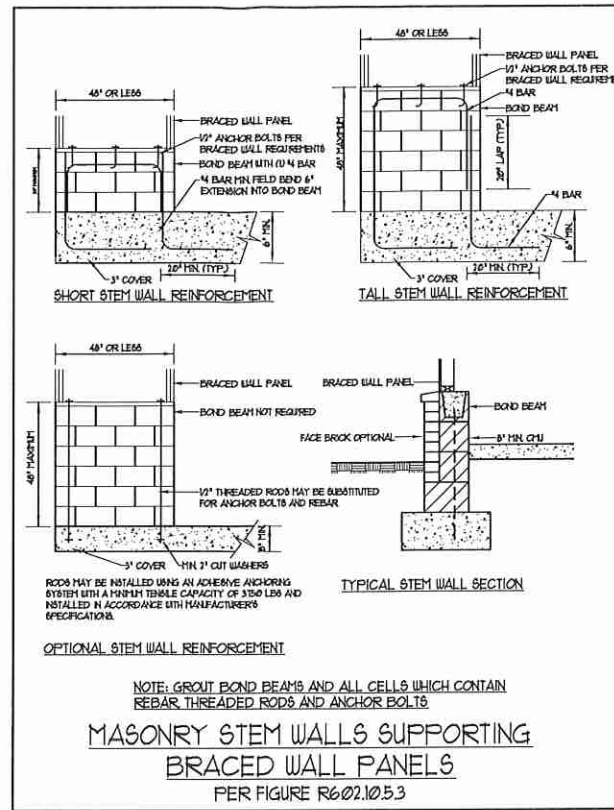
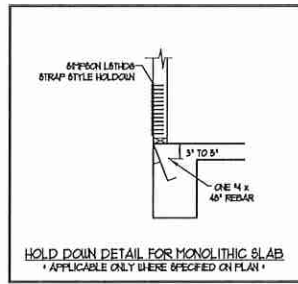
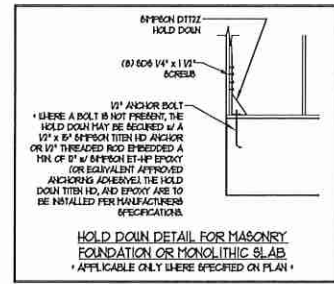


**J.S. THOMPSON
ENGINEERING, INC.**
66 WADE AVE., SUITE 104 RALEIGH, NC 27605
PHONE: (919) 789-9921 FAX: (919) 789-9921
N.C. LICENSE NO.: C1173

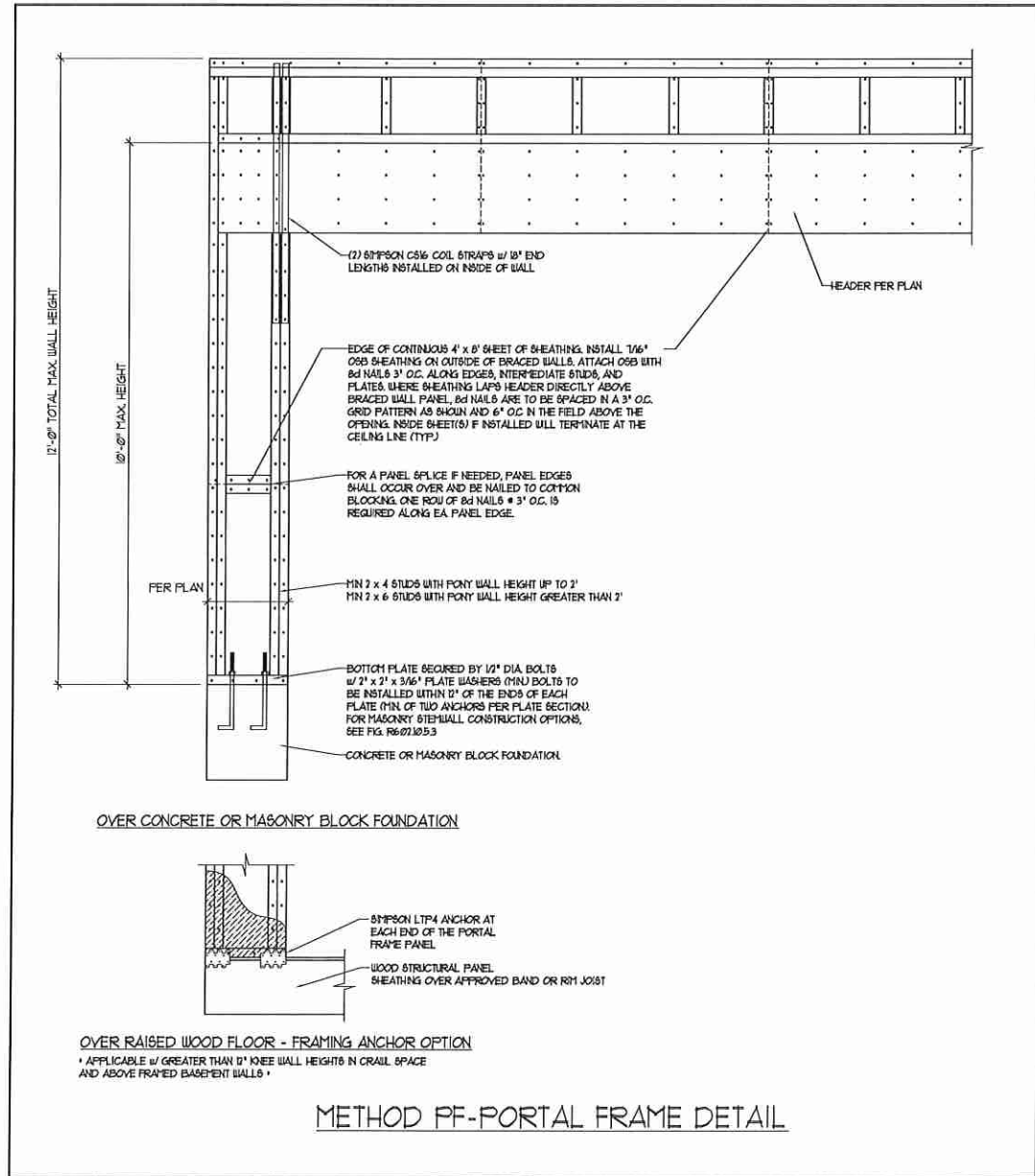
DETAILS

DATE: JULY 12, 2012
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JST
REVIEWED BY: MGS

TYPICAL WALL SECTION



- GENERAL WALL BRACING NOTES:**
1. WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2012 NC RESIDENTIAL BUILDING CODE (NCR). TABLES AND FIGURES REFERENCED ARE FROM THE 2012 NCR.
 2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2012 NCR FOR ADDITIONAL INFORMATION AS NEEDED.
 3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
 4. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
 5. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD 'GB', GYPSUM TO BE FASTENED PER TABLE R102.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.3.
 6. CS-WSP REFERS TO THE 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL' WALL BRACING METHOD. 1/8" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED W/ 6d COMMON NAILS OR 8d (1 1/2" LONG x 8/32" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
 7. GB REFERS TO THE 'GYPSUM BOARD' WALL BRACING METHOD. 1/2" (MIN) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UNO). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R102.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
 8. REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-WSP CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 15 TIMES ITS ACTUAL LENGTH.



J.S. THOMPSON ENGINEERING, INC.
 66 WADE AVE., SUITE 104 RALEIGH, NC 27607
 PHONE (919) 789-9919 FAX (919) 789-9921
 N.C. LICENSE NO.: C1173

WALL BRACING NOTES AND DETAILS

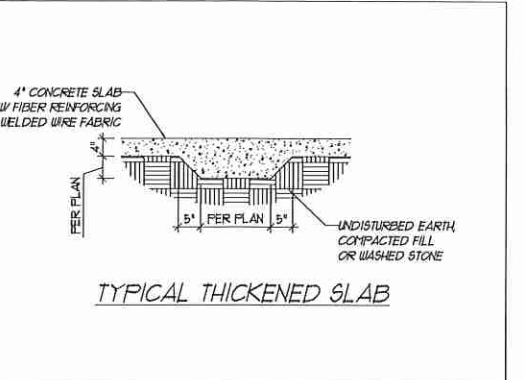
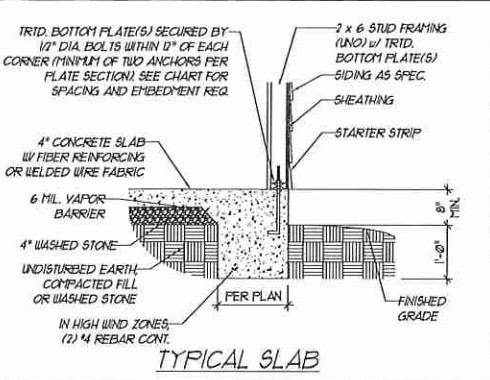
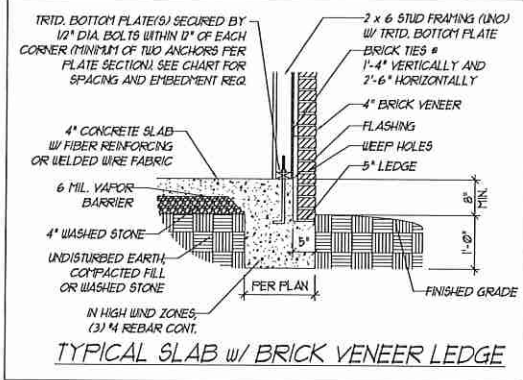
DATE: NOVEMBER 10, 2014
SCALE: NONE
DRAWN BY: JST
ENGINEERED BY: JST
REVIEWED BY: JES

BRACED WALL NOTES AND DETAILS AND PF DETAIL



NOTE: LOCATE REBAR MIN 3" ABOVE BOTTOM OF FOOTING w/ MIN 25" LAP SPLICE LENGTH.

ANCHOR SPACING AND EMBEDMENT				
WIND ZONE	100 MPH	110 MPH	120 MPH	130 MPH
SPACING	6'-0" O.C. 3'-0" O.C. FOR STRAPS	4'-0" O.C. 2'-0" O.C. FOR STRAPS	6'-0" O.C. w/ DBL. SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS	6'-0" O.C. w/ DBL. SILL PLATE OR 4'-0" O.C. w/ SINGLE SILL PLATE w/ 2" x 2" x 1/8" WASHERS
EMBEDMENT	7"	7"	7"	7"



GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTINGS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2012 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2012 EDITION (R3014 - R3017)
- | DESIGN CRITERIA: | LIVE LOAD (PSF) | DEAD LOAD (PSF) | DEFLECTION (IN) |
|----------------------------------|---|-----------------|-----------------|
| ATTIC WITH LIMITED STORAGE | 20 | 10 | L/240 |
| ATTIC WITHOUT STORAGE | 10 | 10 | L/360 |
| DECKS | 40 | 10 | L/360 |
| EXTERIOR BALCONIES | 40 | 10 | L/360 |
| FIRE ESCAPES | 40 | 10 | L/360 |
| HANDRAIL/GUARDRAILS | 200 LB OR 50 (PLF) | 10 | L/360 |
| PASSENGER VEHICLE GARAGE | 50 | 10 | L/360 |
| ROOMS OTHER THAN SLEEPING ROO | 40 | 10 | L/360 |
| SLEEPING ROOMS | 30 | 10 | L/360 |
| STAIRS | 40 | 10 | L/360 |
| WIND LOAD | (BASED ON FIGURE R3012(4) WIND ZONE AND EXPOSURE) | | |
| GROUND SNOW LOAD: P _g | 20 (PSF) | | |
- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD
 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD

FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE #2 SFF MINIMUM (F_b = 875 PSI, F_v = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (F_b = 975 PSI, F_v = 175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2600 PSI, F_v = 200 PSI, E = 1200000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_b = 2375 PSI, F_v = 310 PSI, E = 1500000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_c = 2500 PSI, E = 1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: F_c = 2300 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

A. W AND WT SHAPES:	ASTM A992
B. CHANNELS AND ANGLES:	ASTM A36
C. PLATES AND BARS:	ASTM A36
D. HOLLOW STRUCTURAL SECTIONS:	ASTM A500 GRADE B
E. STEEL PIPE:	ASTM A53, GRADE B, TYPE E OR S
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

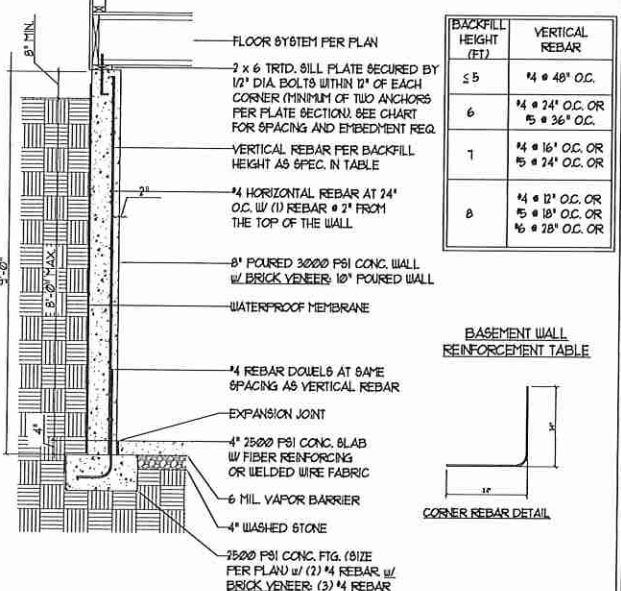
A. WOOD FRAMING	(2) 1/2" DIA x 4" LONG LAG SCREWS
B. CONCRETE	(2) 1/2" DIA x 4" WEDGE ANCHORS
C. MASONRY (FULLY GROUTED)	(2) 1/2" DIA x 4" LONG SIMPSON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS # 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS # 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 3/16" DIAMETER HOLES # 16" O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R502.5(1) AND R502.5(2) OF THE NRC, 2012 EDITION OR BE (2) 2 x 6 w/ (1) JACK AND (1) KING STUD EACH END (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE CURRENT NORTH CAROLINA RESIDENTIAL CODE WALL BRACING CRITERIA, THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT. FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 2' O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO 2 x 10 BLOCKING INSTALLED BETWEEN WALL STUDS WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R103.12.2 OF THE NRC, 2012 EDITION.
- FOR STICK FRAMED ROOFS, CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- FOR TRUSSED ROOFS, FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND PLAT 2 x 10 VALLEYS (UNO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON L6 OR L191 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16" SECTION OF SIMPSON CS6 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

FOOTING AND FOUNDATION NOTES

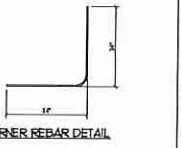
- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL, AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2012 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF AFFEABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAILED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2012 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR Poured CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/115 402. MORTAR SHALL CONFORM TO ASTM C710.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2012 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCHA TR69-A OR ACE 530/ASCE 5/115 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(1), R404.1(2), R404.1(3), OR R404.1(4) OF THE NRC, 2012 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1(5) OF THE NRC, 2012 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

BASEMENT WALL DETAILS



BACKFILL HEIGHT (FT)	VERTICAL REBAR
≤ 5	#4 @ 48" O.C.
6	#4 @ 24" O.C. OR #5 @ 36" O.C.
7	#4 @ 16" O.C. OR #5 @ 24" O.C. OR #6 @ 18" O.C. OR #6 @ 28" O.C. OR
8	#4 @ 12" O.C. OR #5 @ 18" O.C. OR #6 @ 20" O.C. OR

BASEMENT WALL REINFORCEMENT TABLE



- STRUCTURAL NOTES:**
- FOR #4 REBAR, 24" MINIMUM REBAR LAP SPLICE LENGTH. FOR #5 REBAR, 32" MINIMUM REBAR LAP SPLICE LENGTH. FOR #6 REBAR, 38" MINIMUM REBAR LAP SPLICE LENGTH.
 - REBAR TO MAINTAIN A MINIMUM CONCRETE COVER OF 3" (UNO).
 - REBAR TO BE ASTM A615 GRADE 60.
 - SOIL BEARING CAPACITY IS REQUIRED TO BE 2000 PSF MIN.
 - INSTALL #4 L-BARS AT ALL WALL CORNERS AT 8" SPACINGS AS HORIZ. STEEL. SEE DETAIL.
 - THE FLOOR FRAMING IS TO BE INSTALLED AND A MIN. OF SEVEN DAYS IS REQUIRED TO ALLOW THE CONCRETE TO CURE BEFORE THE BACKFILL CAN BE INSTALLED. THE BACKFILL IS RECOMMENDED TO BE PLACED IN 12" LIFTS AND CAREFULLY TAMPED.
 - A 4" LEDGE IS TO BE PROVIDED FOR THE PORCH SLAB. THE WALLS ARE REQUIRED TO BE BONDED TO THE SLABS USING #4 x 36" REBAR DOVELS 32" O.C. EMBEDDED 4" INTO THE CONC. USING EPOXY.
 - WHERE THE FLOOR JOISTS ARE PARALLEL TO THE WALLS, 2 x 4 BLOCKING IS TO BE INSTALLED 24" O.C. BETWEEN THE BOTTOM FLANGES OF THE I-JOISTS FOR A MIN. OF 6'-0" AWAY FROM THE WALL OR DIAGONAL. 2 x 6 BLOCKS MAY BE INSTALLED 24" O.C. FROM THE EDGE OF THE SILL PLATE TO THE TOP FLANGE AND SUBFLOORING, ATTACHED w/ (3) 10d NAILS EACH END.
 - THE STEP PAD IS TO BE SUPPORTED BY INSTALLING AN 8" THICK WALL AT THE LEFT AND RIGHT SIDES w/ #4 REBAR INSTALLED VERTICALLY 16" O.C. AND HORIZONTALLY 16" O.C. ON 20" WIDE BY 10" THICK 2500 PSI CONC. FIGS. THE STEP PAD IS TO BE 8" THICK w/ #4 REBAR 12" O.C. EACH WAY.

NOTE TO FOUNDATION CONTRACTOR:

ALTERNATE REINFORCED CONCRETE Poured WALL DESIGNS ENGINEERED BY OTHERS MAY BE CONSTRUCTED. NO CONTINUOUS FOOTINGS OR LUG FOOTINGS MAY BE REDUCED IN SIZE.

J.S. THOMPSON ENGINEERING, INC.
 606 WADE AVE., SUITE 104 RALEIGH, NC 27605
 PHONE: (919) 788-9919 FAX: (919) 788-9921
 N.C. LICENSE NO.: C-1173

FOUNDATION DETAILS AND STRUCTURAL NOTES

DATE: AUGUST 22, 2016
SCALE: NTS
DRAWN BY: WLF
ENGINEERED BY: WLF

BASEMENT FOUNDATION DETAILS AND STRUCTURAL NOTES D-3

