

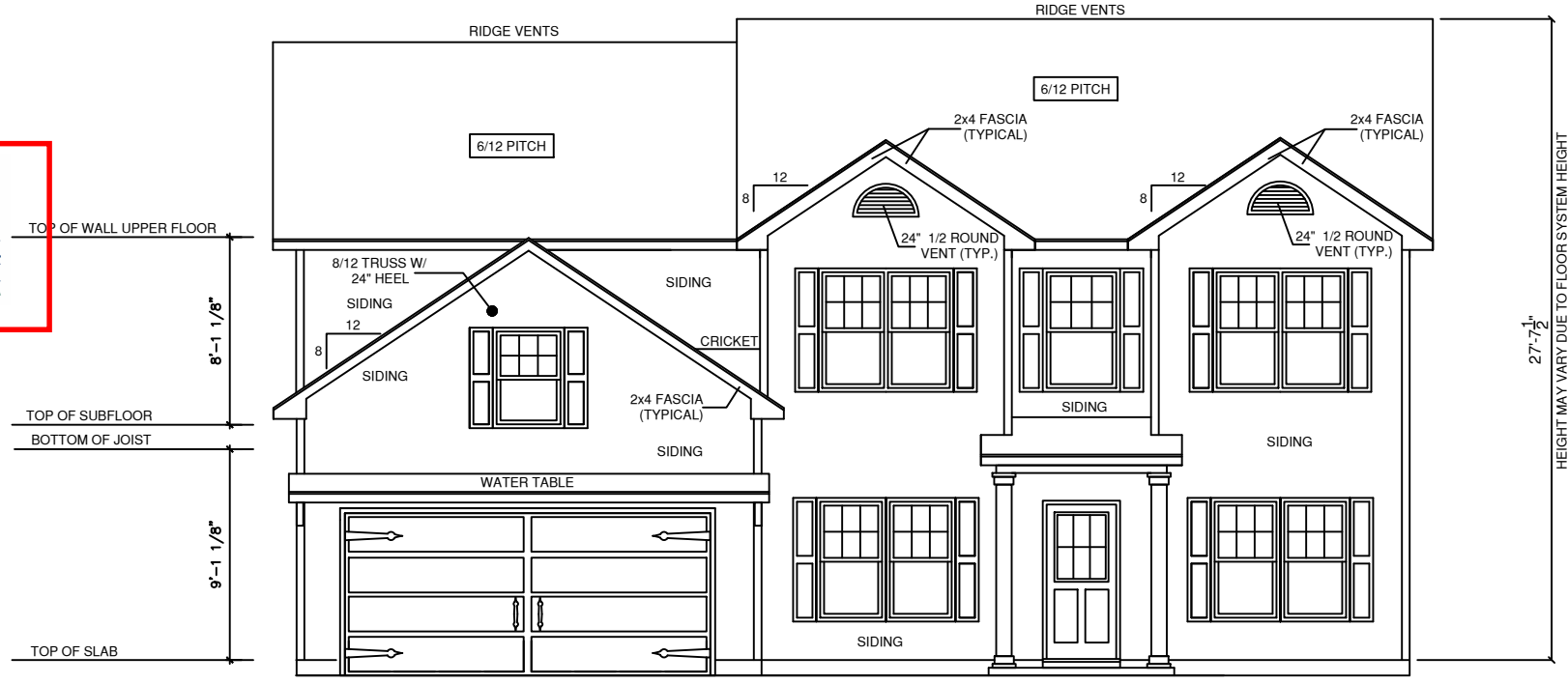


NOTE: FIRST FLOOR  
9'-0" CEILINGS FIRST  
FLOOR ONLY

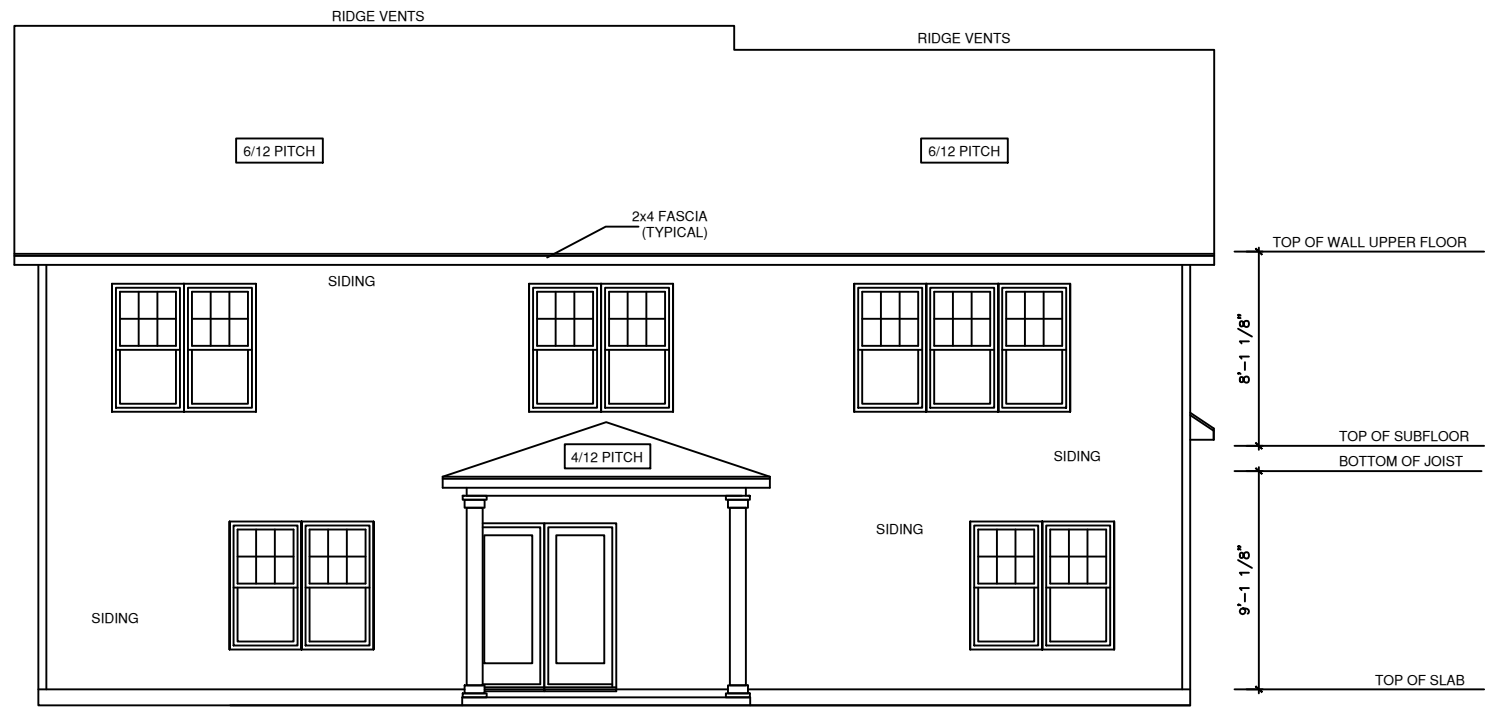
NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes  
and is subject to field inspection and verification.

APPROVED  
Limited building only review  
Permit holder responsible for  
full compliance with the code

04/14/2021

PRINCETON FRONT ELEVATION "A"  
SCALE 1/8" = 1'-0"



PRINCETON REAR ELEVATION "A"  
SCALE 1/8" = 1'-0"

General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

Front & Rear Elevation



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

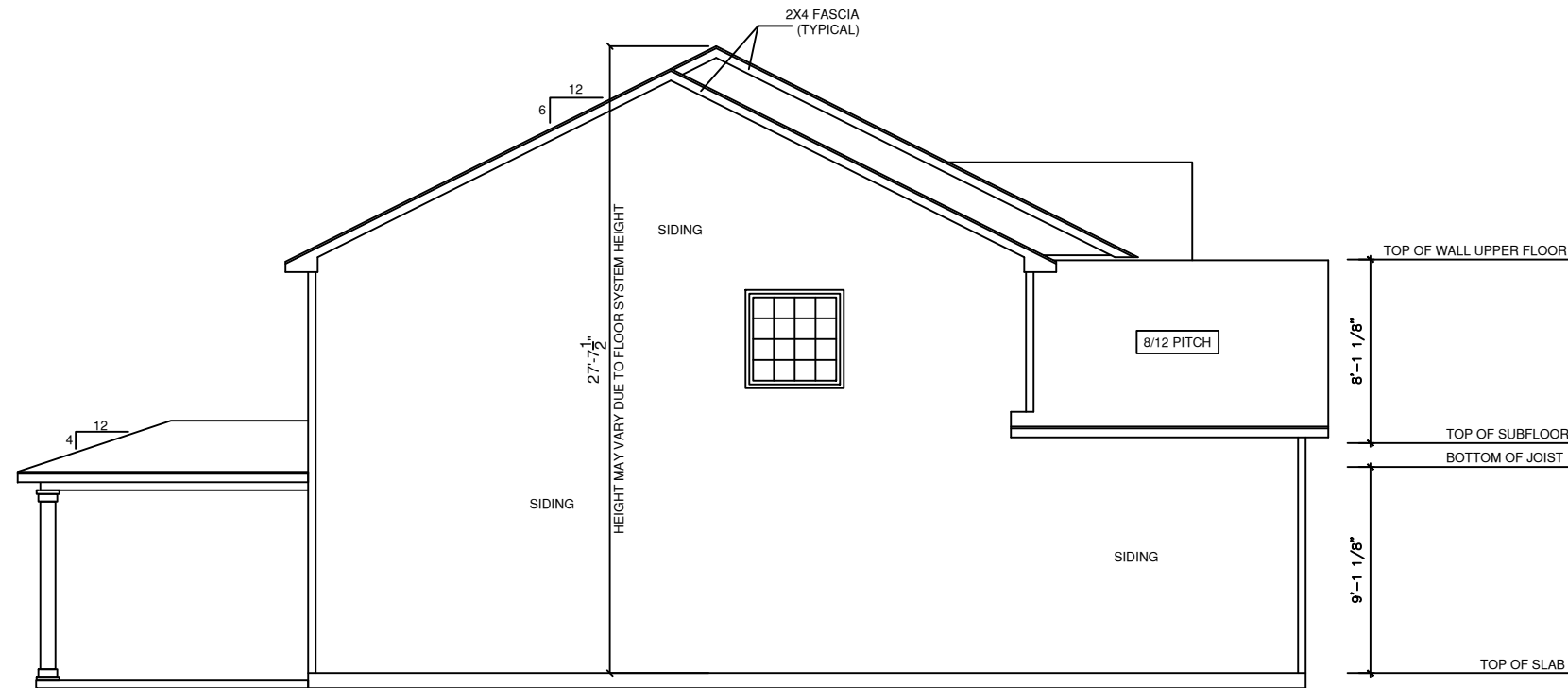
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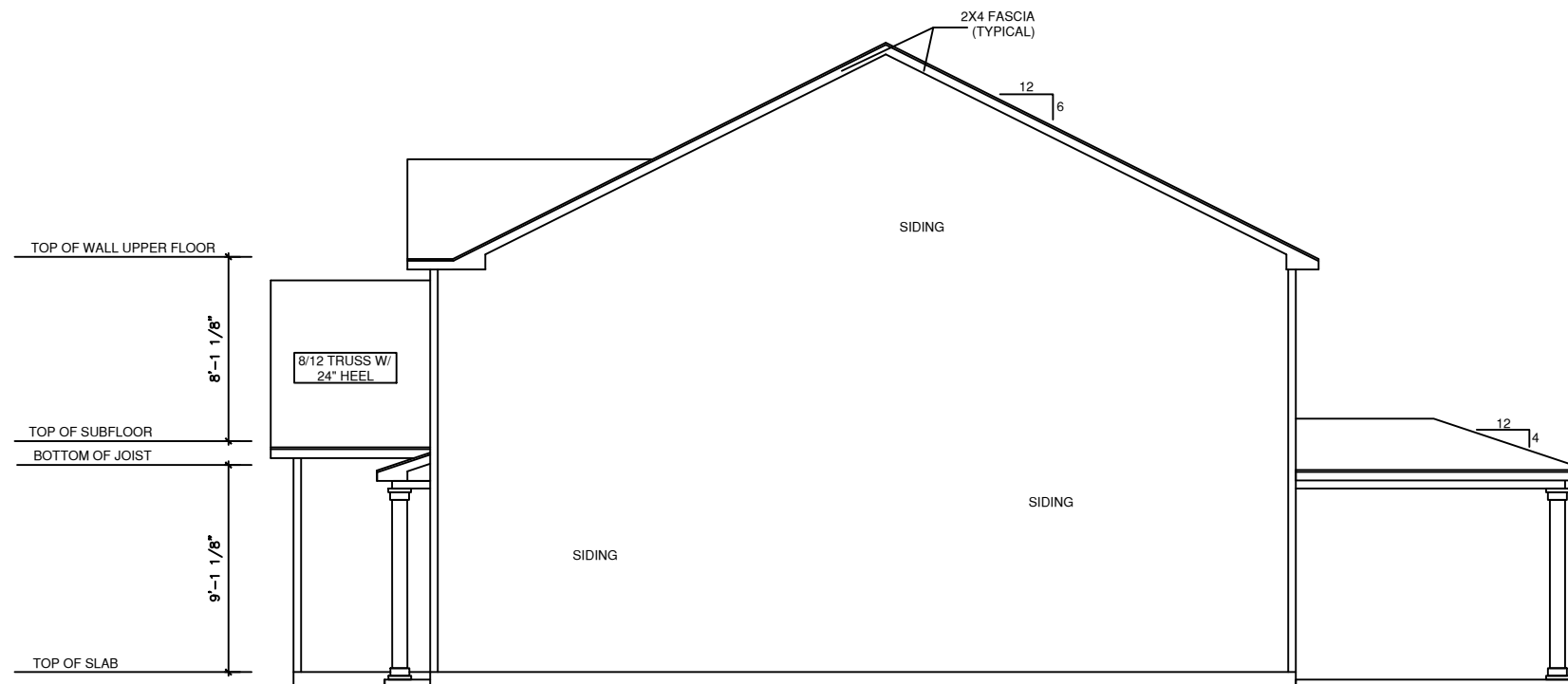
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PLAN INDEX

CL 3145



**PRINCETON LEFT ELEVATION "A"**  
SCALE 1/8" = 1'-0"



**PRINCETON RIGHT ELEVATION "A"**  
SCALE 1/8" = 1'-0"

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**SQUARE FOOT KEY**

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HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

**Right & Left Elevation**



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

LOT:

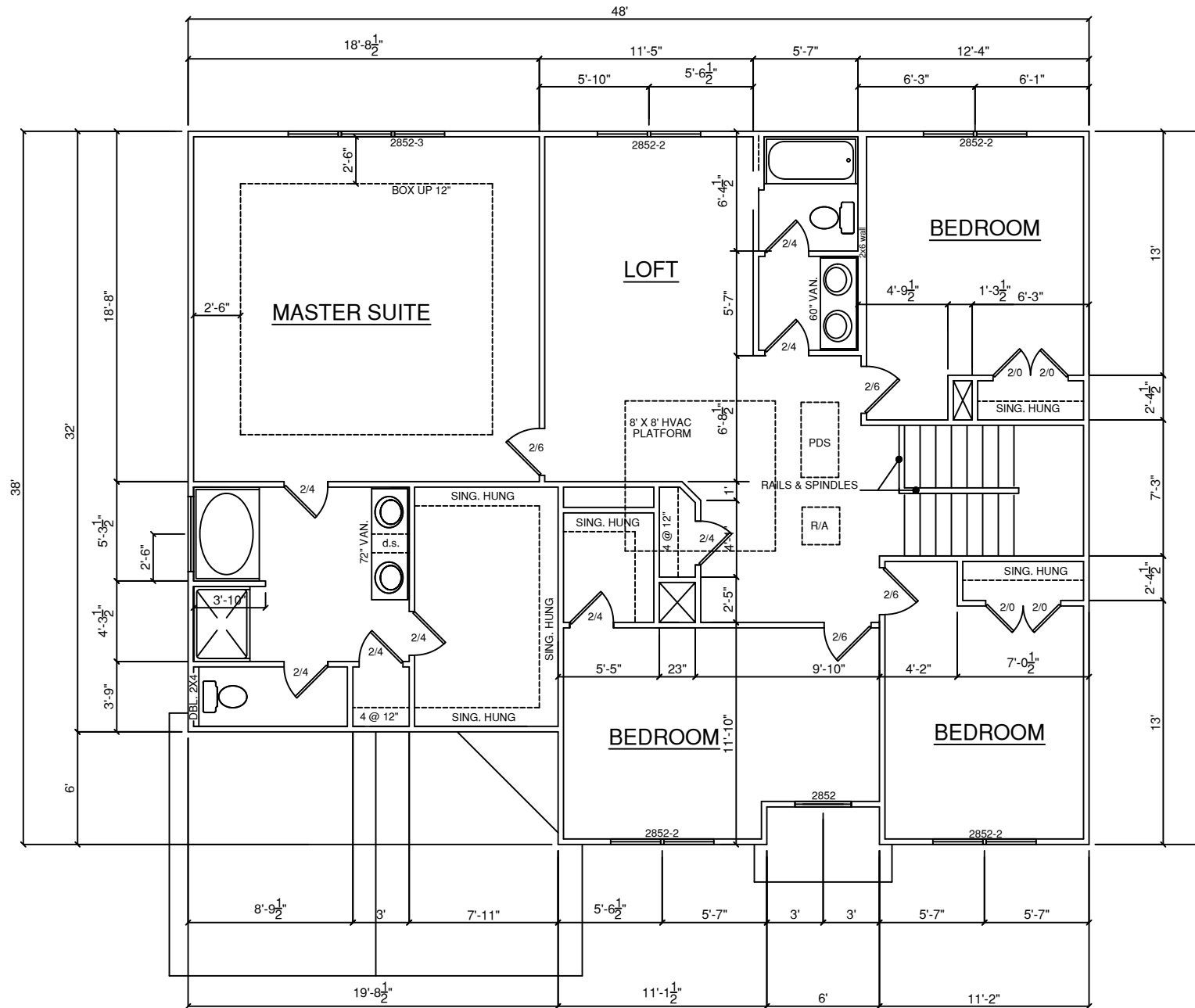
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**PLAN INDEX**

CL 3145



NOTE: FIRST FLOOR  
9'-0" CEILINGS FIRST  
FLOOR ONLY



**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**General Notes**

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OPTIONAL COVERED REAR PATIO	144

**Second Floor**



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

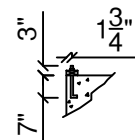
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**PLAN INDEX**

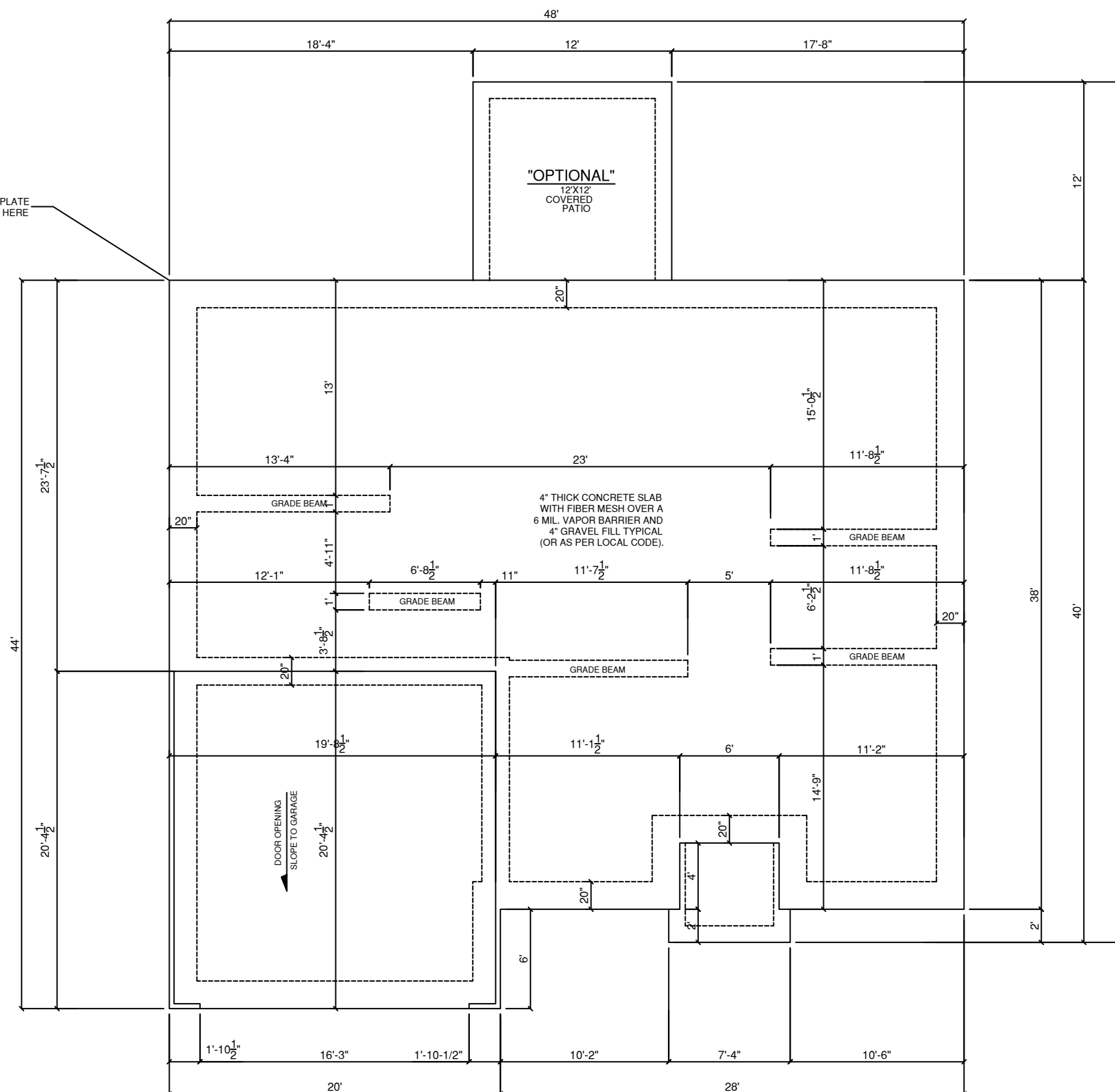
CL 3145

**ANCHOR BOLT DETAIL**



**ANCHOR BOLT LOCATIONS**  
 -WITHIN 1'0" OF ALL CORNERS  
 -WITHIN 1'0" OF ALL BOARD ENDS  
 -EVERY 6'0" ON CENTER

START PLATE  
HERE



**FOUNDATION PLAN**  
 SCALE 1/8" = 1'-0"

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OPTIONAL COVERED REAR PATIO	144

**Foundation Plan**



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

LOT:

X

**PLAN INDEX**

CL 3145





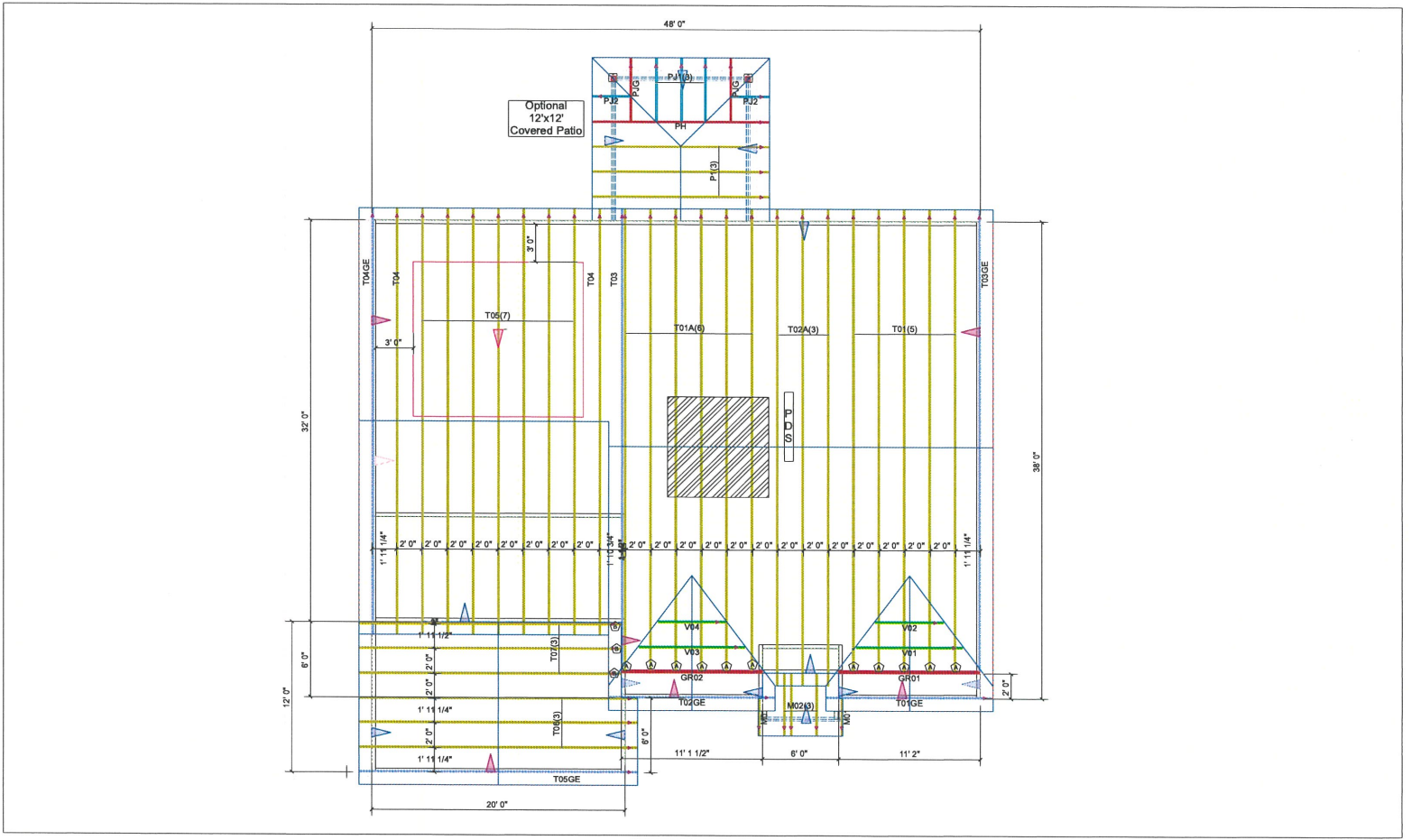
**THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY.  
REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.**

**GENERAL NOTES:**

DO NOT CUT OR MODIFY TRUSSES.  
TRUSSES ARE SPACED 24" ON CENTER  
UNLESS NOTED OTHERWISE.

REFER TO THE INDIVIDUAL TRUSS  
DESIGN DRAWINGS FOR THE LOCATION  
OF LATERAL BRACING AND MULTI-PLY  
CONNECTION REQUIREMENTS.

PER ANSI TPI 1-2002 THE TRUSS  
ENGINEER IS RESPONSIBLE FOR  
TRUSS TO TRUSS CONNECTIONS AND  
TRUSS PLY TO PLY CONNECTIONS.  
THIS TRUSS PLACEMENT PLAN  
RECOMMENDS TRUSS TO BEARING  
CONNECTIONS AND TRUSS TO BEAM  
CONNECTIONS WHICH SHALL BE  
REVIEWED BY THE BUILDING  
DESIGNER. IT IS THE RESPONSIBILITY  
OF THE BUILDING DESIGNER TO  
RESOLVE ALL ROOF FORCES  
ADEQUATELY TO THE FOUNDATION.



Hardware List:		
A	11	HUS26
B	3	LUS26
C	-	-
D	-	-
-	-	-
-	-	-
-	-	-

ROOF LOADING:
TOP LIVE: 20 PSF
TOP DEAD: 10 PSF
BOTTOM DEAD: 10 PSF
WIND SPEED: 115 MPH



**84 LUMBER**  
COMPONENTS

DEDICATED TO QUALITY AND EXCELLENCE  
200 EMMETT ROAD  
DUNN, NORTH CAROLINA 28334  
PHONE: 910-892-8400

PROJECT:	CL-3145 CP		
CUSTOMER:	Caviness Land		
MODEL:	CL 3145 CP GOL		
SCALE:	NOT TO SCALE	P.O. NUMBER: PO #	ORDER: Order #
DRAWN BY: RE	PRINT DATE: Approved	REV:	SHIP DAT