



NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
 Limited building only review
 Permit holder responsible for full compliance with the code

06/16/2021




**Custom Home Design
 Plan #204 Summit
 By SDS-CAD Specialized Design Systems**

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

BUILD AS PER IRC, UBC OR CURRENT LOCAL CODE REQUIREMENTS

| | |
|--------|-----------------|
| Page 1 | Cover Page |
| Page 2 | Main Floor Plan |
| Page 3 | Foundation Plan |
| Page 4 | Elevation Plan |
| Page 5 | Framing Plan |
| Page 6 | Electrical Plan |
| Page 7 | Misc Details |

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expence and responsibility. The contractor shall verify all dimensions and enclosed drawing. SDSCAD is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. All calculations and member sizing should be verified for your building by a certified building official.

Residential Design

SDS-CAD
 Specialized Design Systems

P O Box 374 Mendon, Utah www.sdscad.com email: sdscad@psu.net

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 DATE _____
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 CHECKED BY _____
 DATE _____

REVISIONS

JOB NO. _____

SHEET NO. **1**
 OF
7

VENTING SCHEDULE

| | |
|---------------|-------------------|
| Range Hoods | Vent Through Roof |
| All Bath Fans | Vent to Exterior |
| Dryer Vent | Vent to Exterior |

INSULATION SCHEDULE

| | |
|---------------------------|----------|
| Ceilings | R-38 Min |
| Wall above grade | R-19 Min |
| Wall interior below grade | R-13 Min |

WINDOW SCHEDULE

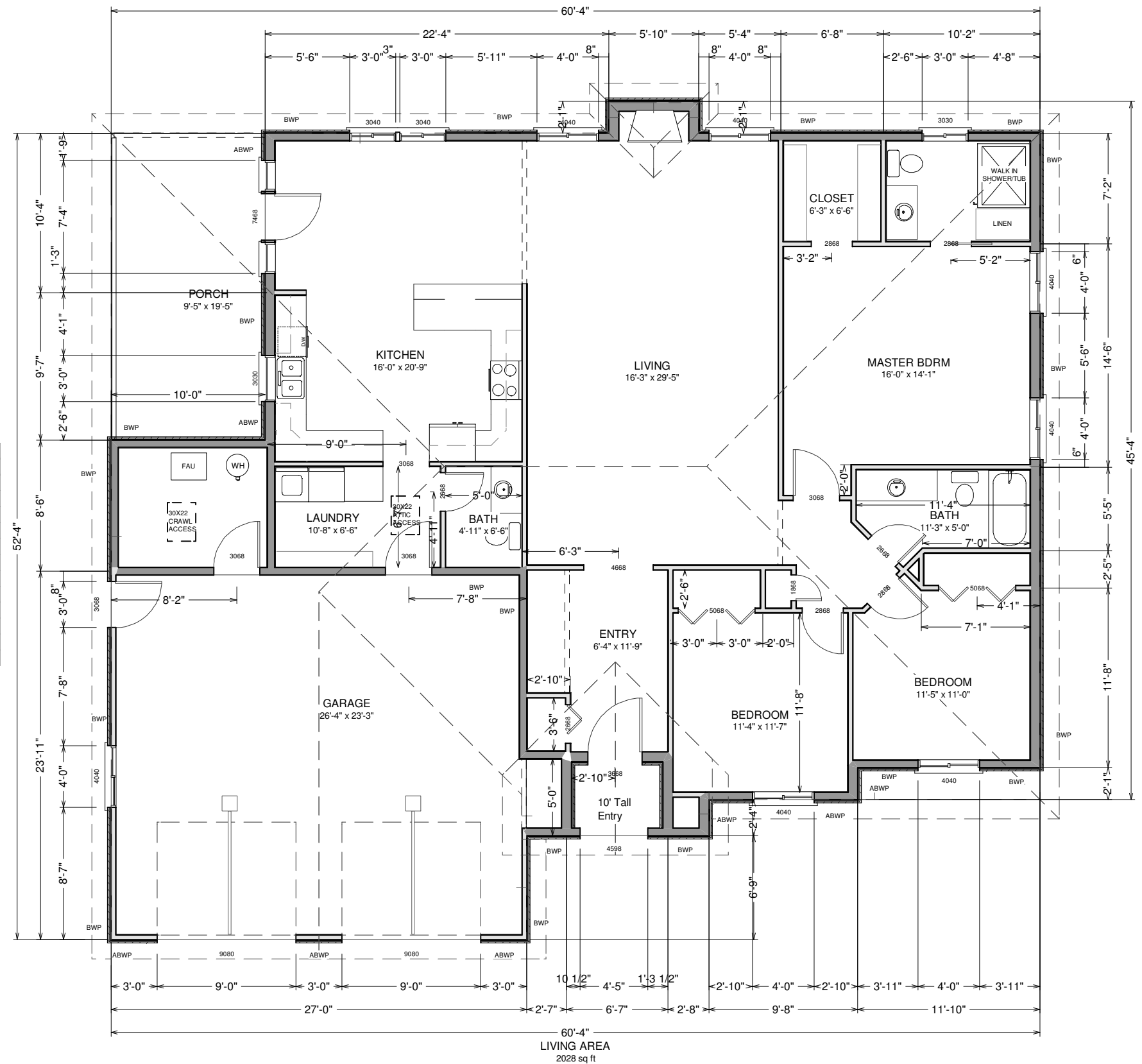
| NUMBER | QTY | SIZE | DIMENSIONS | DESCRIPTION |
|--------|-----|------|------------|--------------|
| W01 | 1 | 3030 | 36"X36" | DOUBLE HUNG |
| W02 | 1 | 3030 | 36"X36" | LEFT SLIDING |
| W03 | 2 | 3040 | 36"X48" | LEFT SLIDING |
| W04 | 7 | 4040 | 48"X48" | LEFT SLIDING |
| W05 | 1 | 4598 | 53"X116" | MULLED UNIT |
| W06 | 1 | 7468 | 88"X80" | MULLED UNIT |

DOOR SCHEDULE

| NUMBER | QTY | SIZE | DIMENSIONS | DESCRIPTION |
|--------|-----|------|--------------------|---|
| D01 | 2 | 9080 | 108X96" | GARAGE 4-PANEL GARAGE DOOR |
| D02 | 1 | 1868 | 20X80X1 3/8" | 3 PANEL DOOR - COLOR BRITE WHITE |
| D03 | 1 | 2668 | 30X80" | BIFOLD |
| D04 | 2 | 2668 | 30X80X1 3/8" | 3 PANEL DOOR - COLOR BRITE WHITE |
| D05 | 1 | 2868 | 32X80X1 3/8" | POCKET 3 PANEL DOOR - COLOR BRITE WHITE |
| D06 | 1 | 3668 | 42X80X1 3/4" | 6-PANEL |
| D07 | 2 | 3068 | 36X80X1 3/4" | EXT. 3 PANEL DOOR - COLOR BRITE WHITE |
| D08 | 2 | 5068 | 30X80" | BIFOLD |
| D09 | 1 | 3068 | 36X80X1 3/8" | 3 PANEL DOOR - COLOR BRITE WHITE |
| D10 | 1 | 3068 | 36X80X1 3/4" | EXT. 6-PANEL |
| D11 | 1 | 2868 | 31 13/16X80X1 3/8" | 3 PANEL DOOR - COLOR BRITE WHITE |
| D12 | 1 | 2868 | 32X80X1 3/8" | 3 PANEL DOOR - COLOR BRITE WHITE |

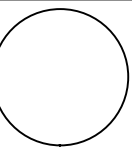
ELECTRICAL SCHEDULE

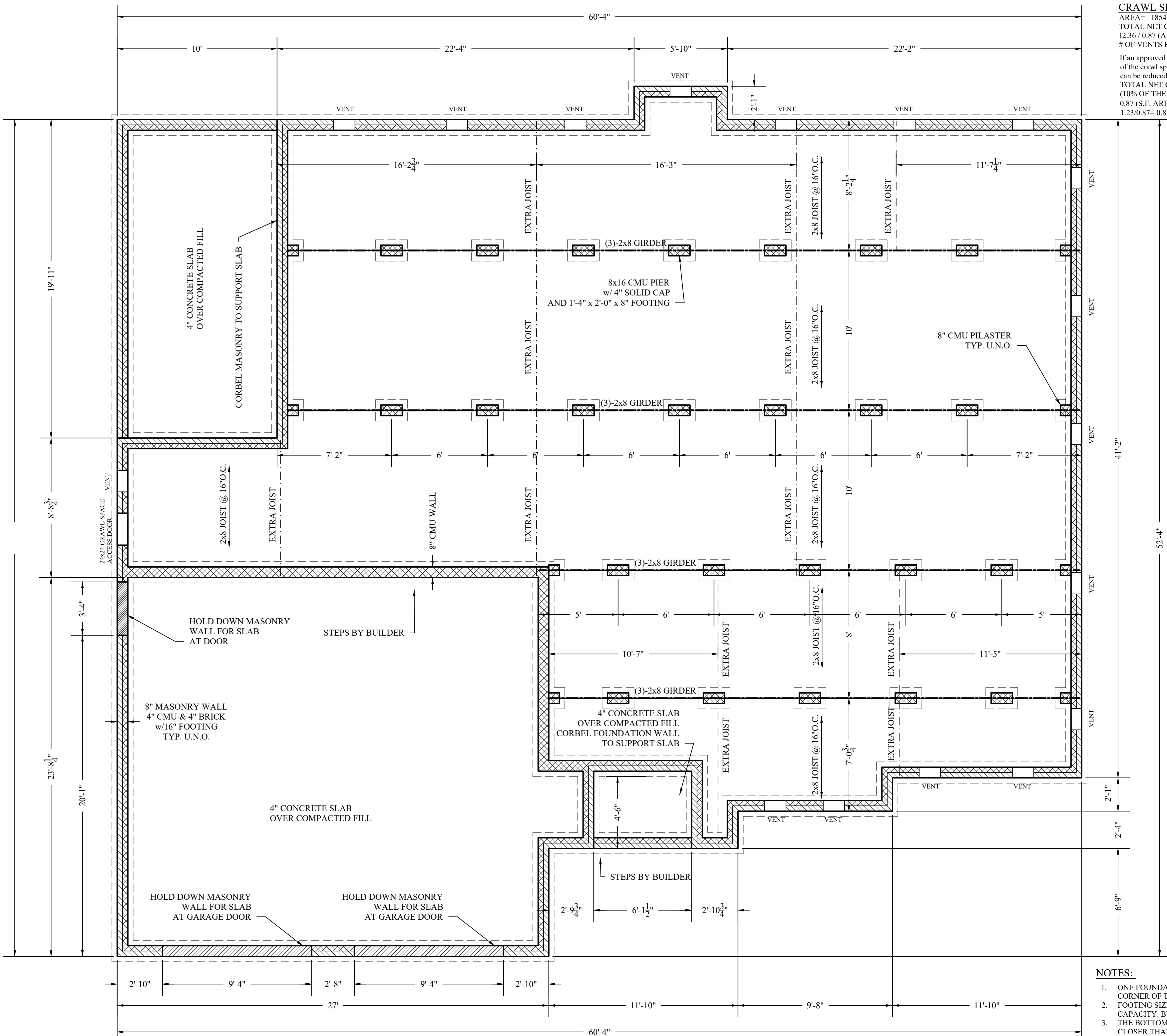
| NUMBER | QTY | DESCRIPTION |
|--------|-----|--|
| E01 | 2 | 220V |
| E02 | 53 | DUPLEX |
| E03 | 2 | DUPLEX (WEATHERPROOF) - COLOR LIGHT GRAY (MATTE) |
| E04 | 3 | EXHAUST |
| E05 | 3 | GFCI |
| E06 | 3 | HALF CONE - LIGHTING GREY |
| E07 | 26 | HALF DOME LIGHT - LIGHTING GREY |
| E08 | 5 | PORCH LANTERN |
| E09 | 14 | SINGLE POLE |
| E10 | 4 | SMOKE DETECTOR |
| E11 | 16 | THREE WAY |



MAIN FLOOR PLAN

SCALE 1/8"=1'





CRAWL SPACE VENTILATION
 AREA= 1854 / 150 = 12.36
 TOTAL NET CLEAR AREA=
 12.36 / 0.87 (AREA IN SF OF 8x16 VENT)= 14.21
 # OF VENTS REQUIRED= 15
 If an approved vapor barrier were placed over the ground surface
 of the crawl space the total area of the openings to the exterior
 can be reduced to 10% of that required. AREA (with vapor barrier) 1854 / 150
 TOTAL NET CLEAR AREA 12.36
 (10% OF THE ABOVE NET CLEAR AREA)/
 0.87 (S.F. AREA OF 8x16 VENT)=
 1.23/0.87= 0.87 # OF VENTS REQUIRED 2

WHITE HOUSE
 BUILDING ASSOCIATES LLC
 WHITE HOUSE BUILDING ASSOCIATES LLC
 1000 W. HARRISBURG ROAD, SUITE 100
 WARRISBURG, VA 22090
 P.O. BOX 18612, RALEIGH, NORTH CAROLINA
 27618-0186

DRAWN BY: LRW
 DATE: 23-May-21
 REVISED:
 SCALE: AS NOTED
PLAN 204 FOUNDATION
 BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING
 REGULATIONS. ALL PERMITS SHALL BE BROUGHT TO THE ATTENTION OF
 THE DESIGNER BEFORE CONSTRUCTION BEGINS.

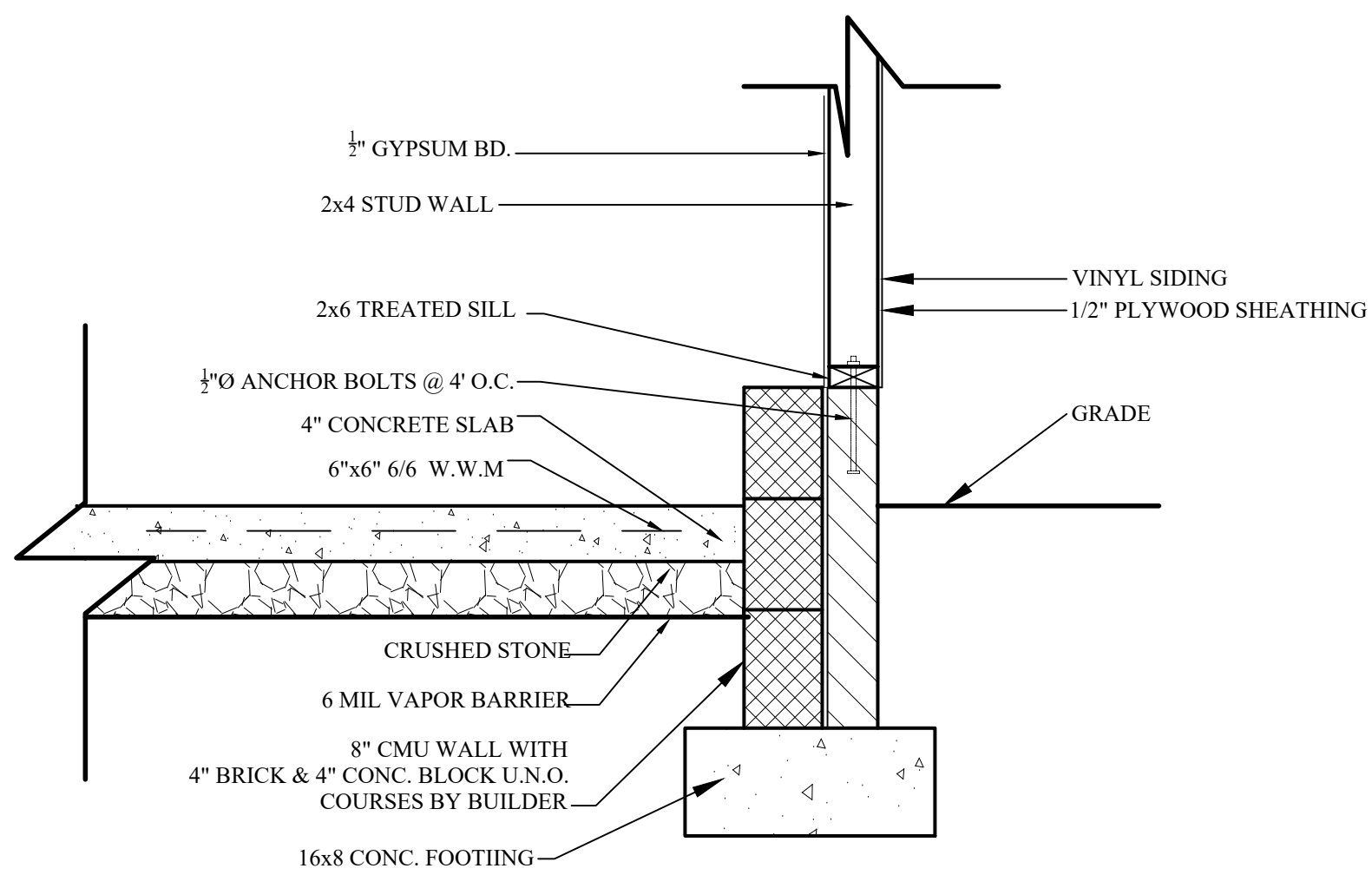
PRIME ESTATE RENOVATIONS
 1418 CYPRESS CHURCH ROAD
 CAMERON, NORTH CAROLINA 28326

R2
 1 OF 1

FOUNDATION PLAN

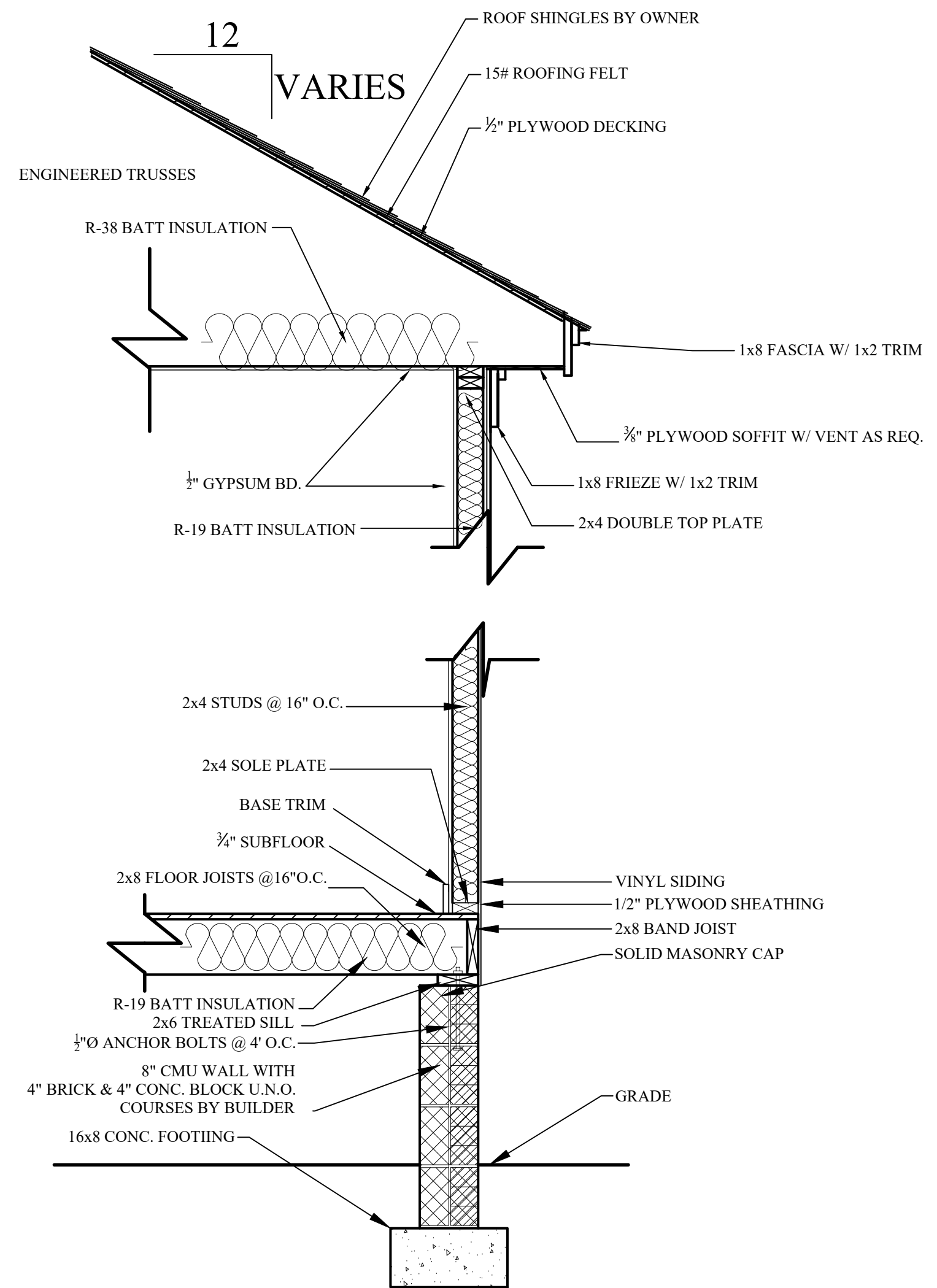
1/4"=1'-0"

- NOTES:**
- ONE FOUNDATION VENT SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.
 - FOOTING SIZES BASED UPON 2000 PSF ALLOWABLE SOIL BEARING CAPACITY. BUILDER TO VERIFY.
 - THE BOTTOM OF WOOD JOISTS CLOSER THAN 18 INCHES OR BEAMS CLOSER THAN 12" TO THE EXPOSED GROUND IN THE CRAWLSPACE SHALL BE PRESSURE TREATED.
 - ALL LUMBER SPANS ARE BASED UPON #2 SOUTHERN YELLOW PINE
 - CONNECT JOIST TO GIRDERS WITH JOIST HANGERS.



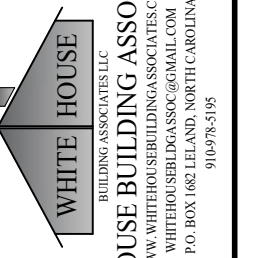
GARAGE WALL DETAIL

SCALE:GRAPHIC



WOOD FRAME WALL DETAIL

SCALE:GRAPHIC



BUILDING ASSOCIATES LLC
 WHITE HOUSE BUILDING ASSOCIATES LLC
 WWW.WHBBUILDINGASSOCIATES.COM
 P.O. BOX 186 LEBLANC, NORTH CAROLINA
 910984398

DRAWN BY: LRW
 DATE: 23-May-21
 REVISED:
 SCALE: AS NOTED

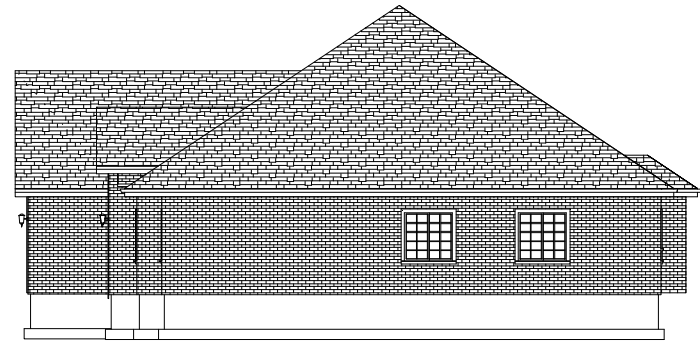
DETAILS
 BUILDER SHALL ENSURE COMPLIANCE WITH APPLICABLE BUILDING CODES AND ZONING REGULATIONS. ALL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE CONSTRUCTION BEGINS.

PRIME ESTATE RENOVATIONS
 1464 CYPRESS CHURCH ROAD
 CAMERON, NORTH CAROLINA 28326

R3

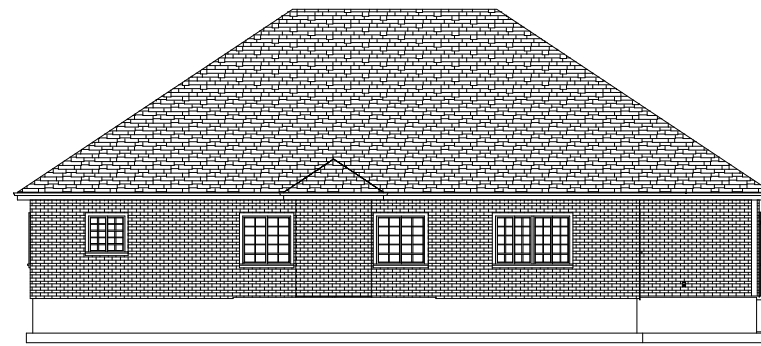
1 OF 1

Note: Exterior will be Siding Not Brick



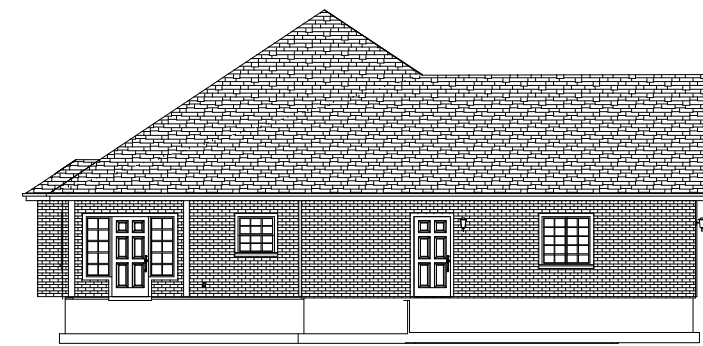
RIGHT ELEVATION

SCALE 1/16"=1'



REAR ELEVATION

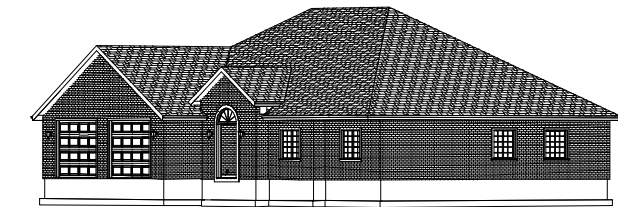
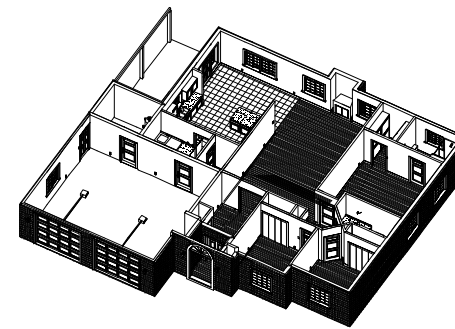
SCALE 1/16"=1'



LEFT ELEVATION

SCALE 1/16"=1'

Exterior Finish to be determined by contractor/homeowner and to meet subdivision requirements

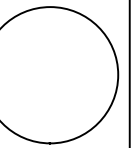


FRONT ELEVATION

SCALE 1/8"=1'

PERSPECTIVE VIEWS

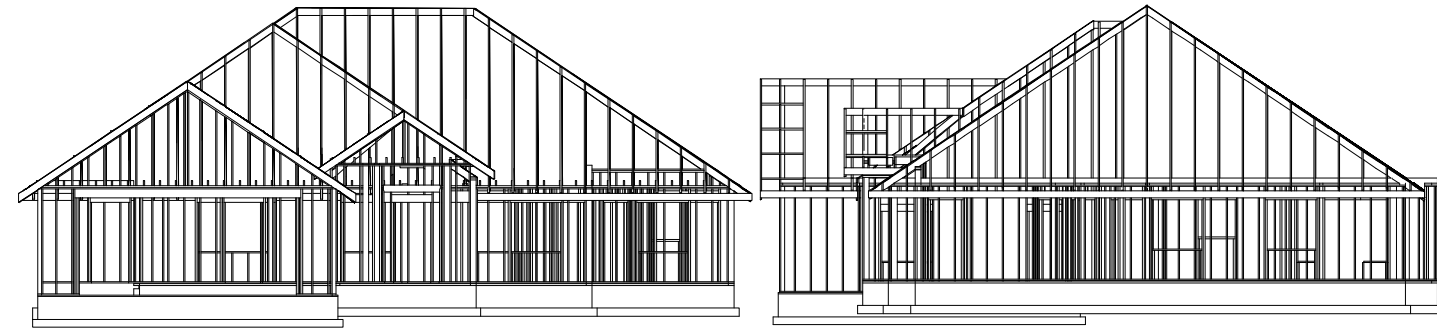
@COPYRIGHT SDSCAD Specialized Design Systems



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| DATE | |
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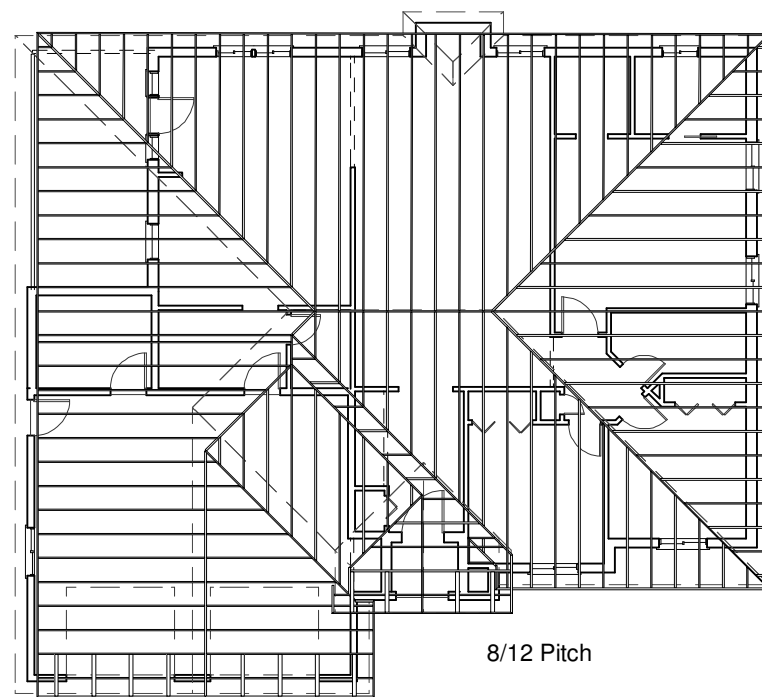
Roof Framing:

1. Fascia to be 2"x Douglas Fir.
2. For soffit size see details.
3. For spans and dimensions refer to floor plans.
4. Trusses are to be an approved truss design from the truss manufacture's engineer.
Install as per engineers specs
5. Use Simpson H-1 hurricane anchors at each truss or rafter to wall connection.
6. Solid blocking required between joists, rafters, and trusses over all bearing walls.
Such blocking shall be 1 1/2" minimum thickness and full depth of joists, rafters, or trusses.
7. Minimum header sizes shall be according to the header size table unless otherwise noted.
8. Basis of design roof live/snow load of 37 psf, and roof dead load of 15 psf.
9. Plywood roof decking to be Min 1/2" thick, 24/0, CDX or 5/8 wafer.



ROOF FRAMING

SCALE 1/16"=1'



8/12 Pitch

SEE GENERAL SPECS AND
NOTES FOR FRAMING DETAILS

PRE-ENGINEERED ENERGY TRUSSES AS SUPPLIED BY TRUSS MANUFACTURER

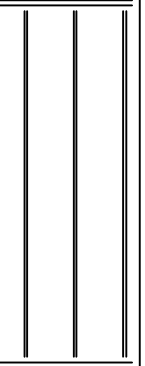
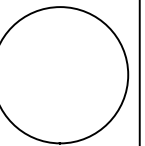
1. Trusses to be 24" O.C.
2. Attic access min 22 1/2" x 30" were most convenient. For all areas greater than 30"
3. Place vaults where possible as indicated on the floor plan
4. Install all trusses as per truss manufacturer installation guidelines.
5. 8/12 Pitch

General framing: (Douglas Fir)

1. Minimum header sizes shall be according to the following table unless otherwise noted.
Header sizes (single story construction)
2'-0" to 4'-0" Span 2-2x4's
4' + to 6'-0" Span 2-2x6's
6' + to 8'-0" Span 2-2x8's
8' + to 10'-0" Span 2-2x10's
10' + to 12'-0" Span 2-2x12's
2. Brace all exterior walls and cross-stud partitions at each end of building and at least every 25' of length by one of the following:
 - a. Simpson WB 126 wall bracing with 3-16d nails at each end and 1-8d nails at each stud.
 - b. Plywood sheathing of a minimum thickness of 3/8 inch.
3. Fire stopping:
 - a. Fireblock stud spaces over 10' in height, furred spaces, soffits, drop ceilings, cove ceilings, stair stringers at top and bottom of run, bearing walls and ceiling joist lines, etc.
Firestopping shall consist of 2" nominal lumber.
 - b. Firestop openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor levels with approved noncombustible materials.
4. CDX plywood is not approved where exposed to weather, i.e., roof overhangs.
5. Exterior wall framing to be 2"x6" studs at 16" o.c. Interior wall, framing at non-bearing walls to be 2"x4" studs at 24" o.c. and at bearing walls 2"x4" studs at 16" o.c. with double top plate.
6. Shear wall to be 3/8" CDX plywood applied horizontally.
7. All stress grade lumber shall comply with WCLA specs and bear approval stamp on all pieces in place.
8. Framing lumber shall be Douglas Fir construction grade Fb 1450 or better unless otherwise noted.
9. Nailing to be per current U.B.C. unless otherwise noted.
10. All bearing partitions shall have double top plates.
11. Structural glued laminated timbers to be stamped by an approved agency.
12. Use redwood or pressure treated sole plates at all exterior walls.

Floor Framing:

1. All floor joist to be Douglas Fir #2 or T.J.I. @ 16" o.c. unless otherwise noted.
2. For spans and dimensions refer to floor plans.
3. Use Simpson H 2.5 hurricane anchors at each floor joist to bearing wall connection.
4. Solid blocking between joists over all bearing walls, and midspans such blocking shall be 2" minimum thickness and full depth of joists.
5. Minimum header sizes shall be according to the header size table unless otherwise noted.
6. Basis of design: floor live load of 40 psf, and floor dead load of 15 psf.
7. Floor decking to be 3/4" thick T & G wafer board.
8. Joist hangers to be Simpson U210 or equal unless otherwise noted.
9. Double joists and or double blocking at all interior walls.



CLIENT _____

DATE _____

DRAWN BY _____

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DATE _____

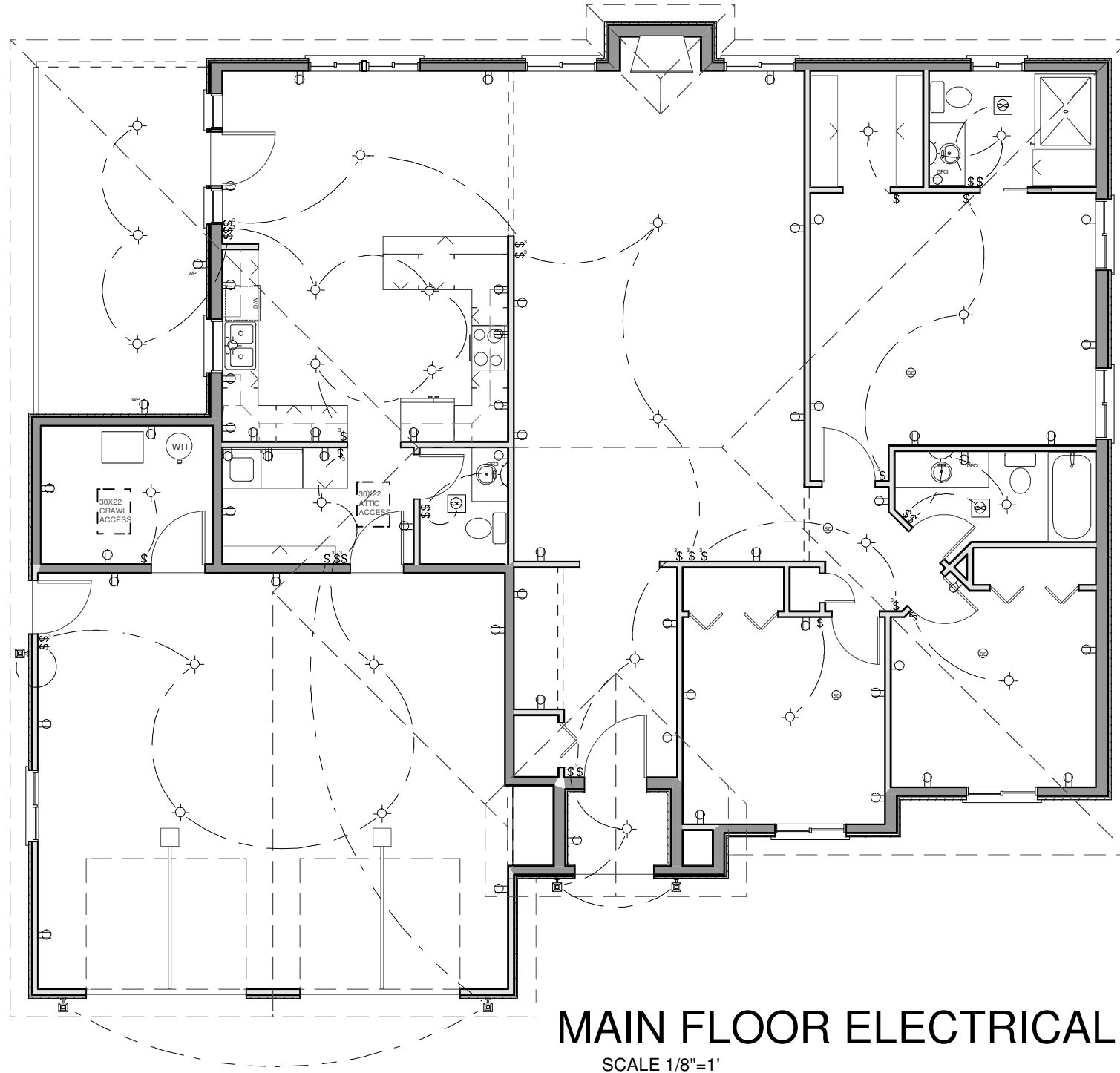
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Electrical Systems:

1. Inspection is required prior to backfill of lines.
2. Provide 20 ft. of No. 4 copper wire as ground electrode in foundation footing.
3. Bond interior piping system with #8 bare copper.
4. Provide main jumping bond with #4 bare copper.
5. Electrical service is to be 200 amp service, 120/240 volt, 1 phase raintight, underground.
6. Provide separate 20 amp circuits to washer.
7. Provide 20 amp circuits to family and dining room, and a minimum of two 20 amp circuits to kitchen.
8. Prewire for TV, telephone in kitchen, family room, living room, and in every bedroom.
9. Install ground fault current interrupter on exterior, garage, kitchen, and bathroom convenience outlets.
10. Bottom half of outlet controlled by switch when shown.
11. All outlets in kitchen are to be at +44" excluding those for the refrigerator, range, disposal, and dishwasher.
12. Maximum spacing of outlets shall not exceed 12 ft. along wall line and at any wall over 24" wide in all rooms except kitchen, bath, utility, and garage.
13. Install light in walk-in closet 18" minimum horizontal from any shelf.
14. Provide a ventilation fan capable of producing a change of air every 12 minutes for bath or utility.
15. Provide smoke detector alarm conforming to Section 1210(A) U.B.C. and local building codes in every bedroom and on each floor.
16. CO2 Detector on each floor.
17. Ceiling fan hangers on all bedroom and living room lights.
18. Consult with contractor and homeowner for all final light fixture and light placement and details.



| ELECTRICAL LEGEND | |
|-------------------|---|
| SYMBOL | DESCRIPTION |
| | METER SOCKET |
| | PANEL BOX |
| | CEILING FAN W/ LIGHT |
| | FLUORESCENT LIGHT FIXTURE |
| | 110V CEILING LIGHT FIXTURE |
| | 110V RECESSED LIGHT FIXTURE |
| | 110V EAVE LIGHT FIXTURE |
| | 110V CHANDLIER LIGHT FIXTURE |
| | 110V WALL LIGHT FIXTURE |
| | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | FOUR WAY SWITCH |
| | DIMMER SWITCH |
| | OUTDOOR SWITCH |
| | 110V DUPLEX RECEPTACLE |
| | 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED |
| | 110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER |
| | 110V FLOOR MOUNTED DUPLEX RECEPTACLE |
| | 240V RECEPTACLE |
| | TELEPHONE JACKS |
| | TELEVISION JACKS |
| | DOOR BELL PUSH BUTTON |
| | THERMOSTAT |
| | SMOKE DETECTOR |
| | EXHAUST FAN |
| | DOOR CHIME |
| | FIRE ALARM PANEL |
| | COMPUTER POINT |

Residential Design

SDS-CAD
Specialized Design Systems

P O Box 374 Mendon, Utah www.sds-cad.com email: sds-cad@psu.net

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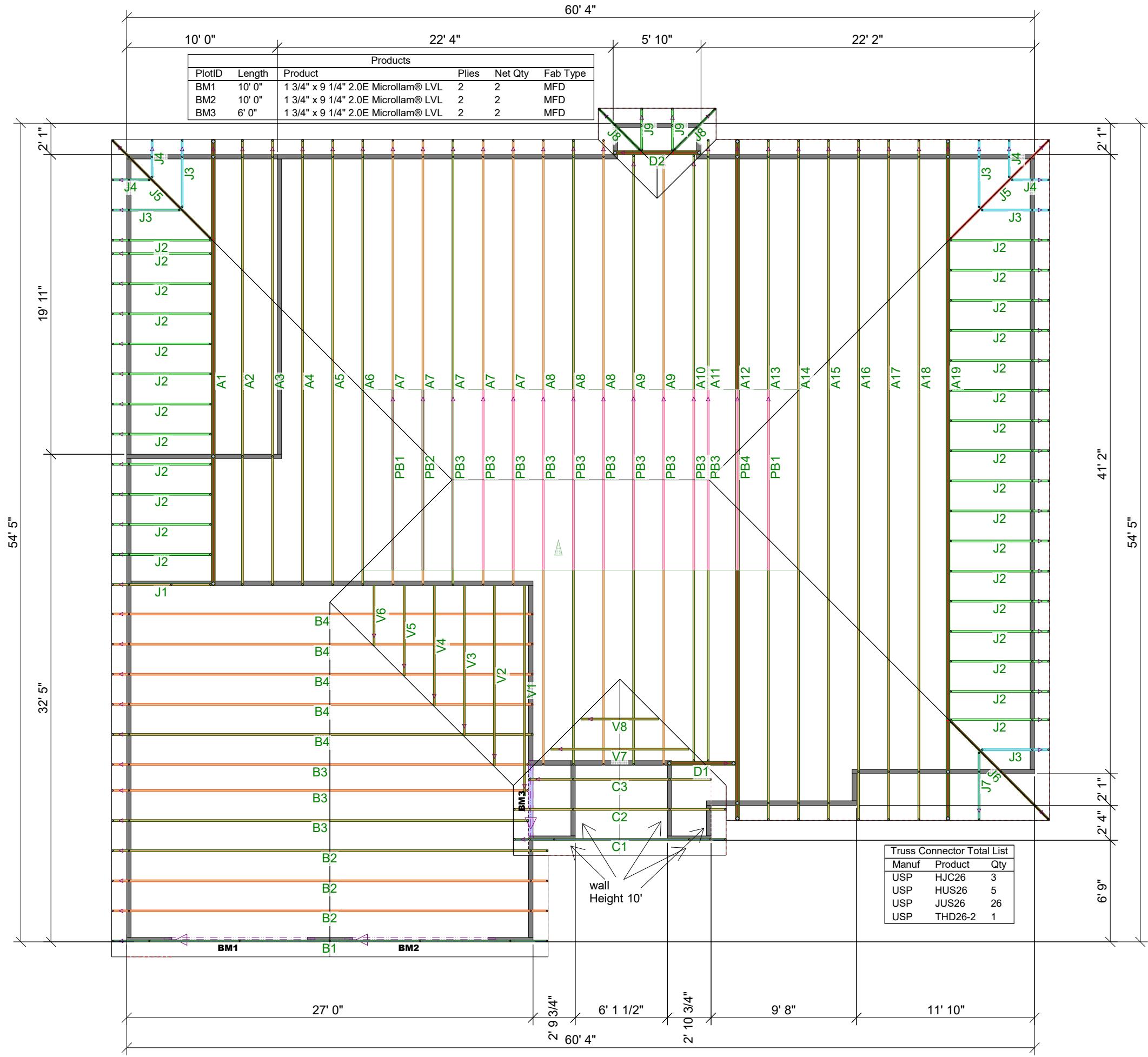
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REVISIONS _____

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OF
7

TRUSS TO WALL CONNECTIONS, IF SHOWN, ARE FOR UPLIFT ONLY AND DO NOT CONSIDER LATERAL LOADS. ALL CONNECTORS ON THIS PROJECT ARE TO BE INSTALLED PER THE CONNECTOR MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHOWN THAT ARE NOT "TRUSS TO TRUSS" ARE SUGGESTIONS ONLY AND ARE TO BE VERIFIED BY THE BUILDING DESIGNER OR ENGINEER OF RECORD FOR SUITABILITY TO THIS PARTICULAR PROJECT. UFP MID-ATLANTIC, LLC. ACCEPTS NO RESPONSIBILITY FOR THE SPECIFIC APPLICATION OR SUITABILITY OF ANY CONNECTOR THAT IS NOT "TRUSS TO TRUSS" AS THEY APPLY TO THIS SPECIFIC STRUCTURE.



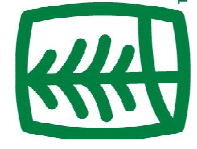
| PlotID | Length | Product | Plies | Net Qty | Fab Type |
|--------|--------|-------------------------------------|-------|---------|----------|
| BM1 | 10' 0" | 1 3/4" x 9 1/4" 2.0E Microllam® LVL | 2 | 2 | MFD |
| BM2 | 10' 0" | 1 3/4" x 9 1/4" 2.0E Microllam® LVL | 2 | 2 | MFD |
| BM3 | 6' 0" | 1 3/4" x 9 1/4" 2.0E Microllam® LVL | 2 | 2 | MFD |

ROOF AREA: 3759.25 ft² RIDGE LINE: 54.46 ft VALLEY LINES: 53.42 HIP LINES: 131.07  Indicates Left End of Truss

Customer
CUF Keene
Job Name
Plan 204
Date: 06/02/21
Scale: NTS
Revision Date 1:
Revision Date 2:

Quality Products for Quality Builders

Drawn By: JNN
Checked By: ***
Drawing Number
21060948



UFP MID-ATLANTIC, LLC
A UFP INDUSTRIES COMPANY

| | |
|----------------|----------------------|
| BURLINGTON, NC | PHONE (800) 476-9356 |
| CHESAPEAKE, VA | PHONE (800) 476-3190 |
| CLINTON, NC | PHONE (810) 590-3220 |
| CONWAY, SC | PHONE (800) 397-9572 |
| JEFFERSON, GA | PHONE (800) 648-4038 |
| LOCUST, NC | PHONE (704) 888-0920 |
| LIBERTY, NC | PHONE (800) 648-4038 |
| OOLETWAH, TN | PHONE (644) 497-0056 |
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1. TEMPORARY BRACING TO BE INSTALLED w/T.P.I. STANDARD BCS-B1.
2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.
3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.
4. BLDRFRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.
5. THIS LAYOUT IS NOT AN ENGINEERED DRAWING. THIS DRAWING WAS CREATED TO ESTABLISH TRUSS PLACEMENT ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE ADEQUATE SUPPORT FOR ALL THE ELEMENTS SHOWN IN THIS DRAWING.