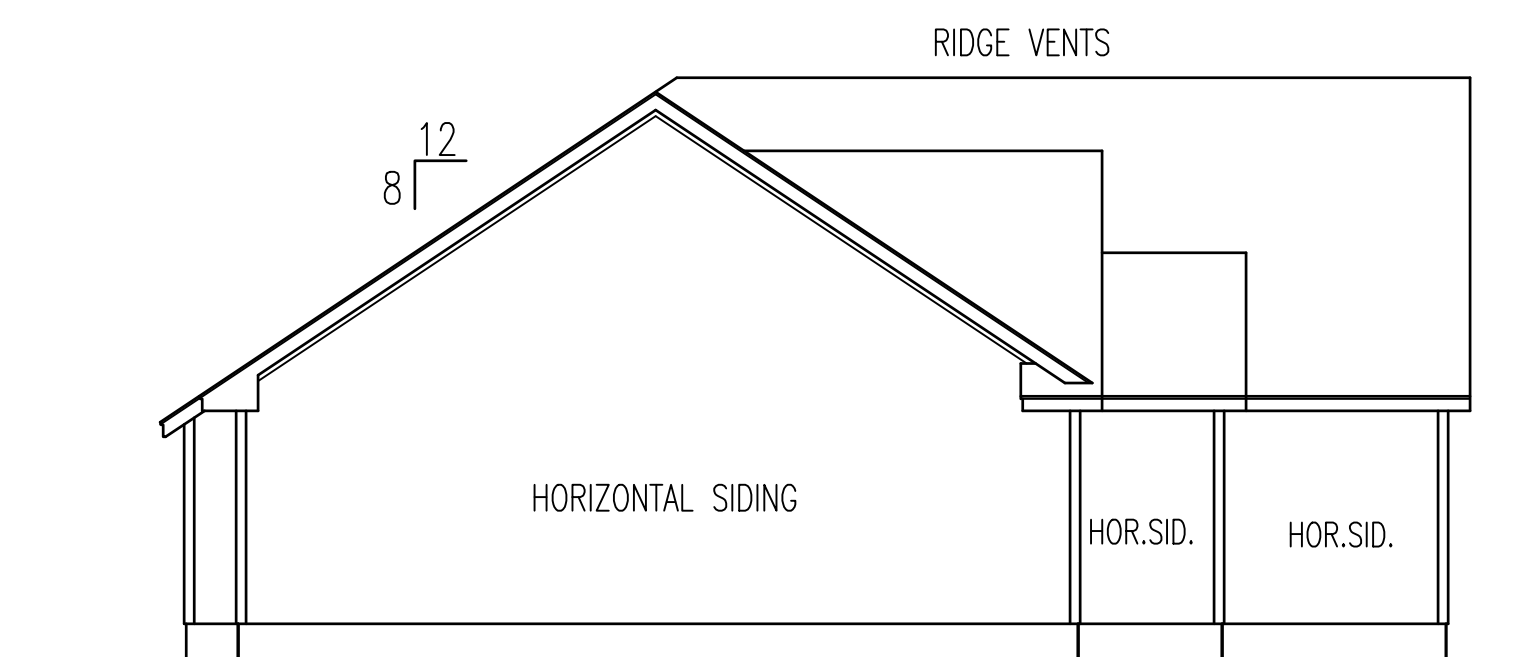
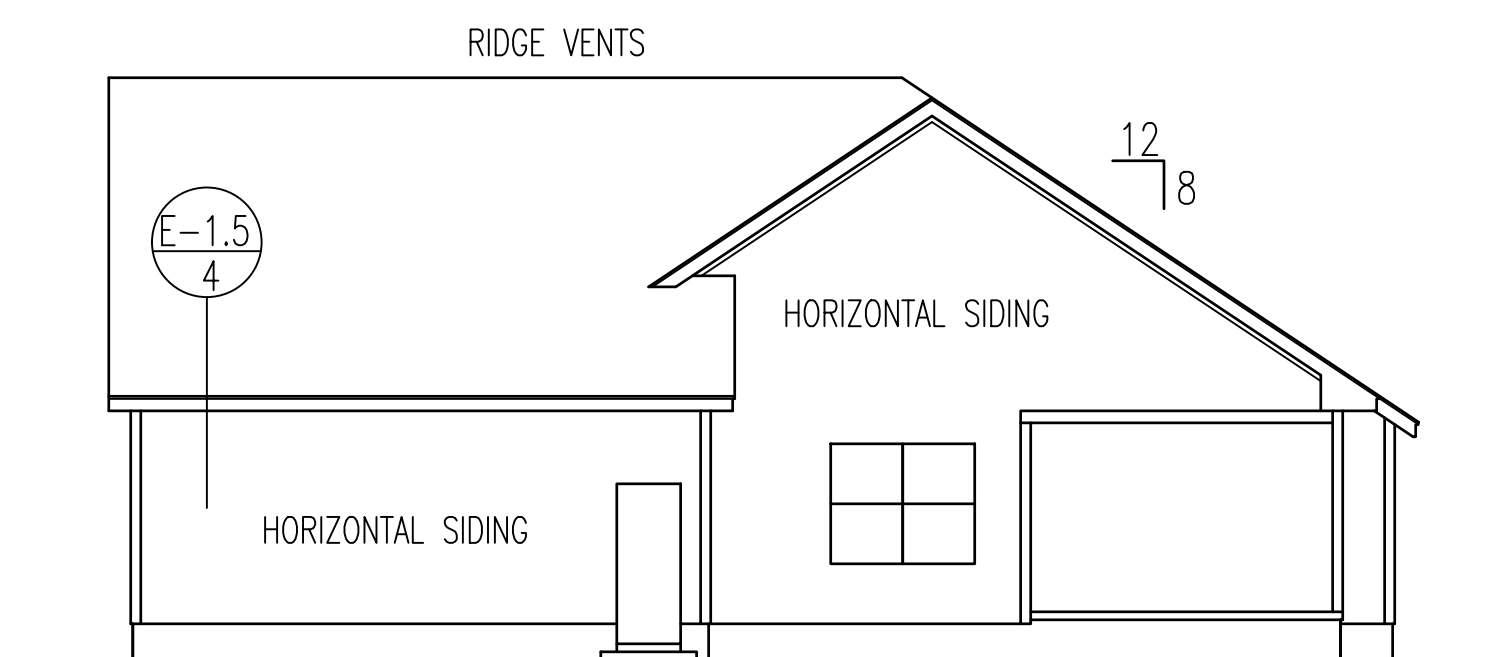


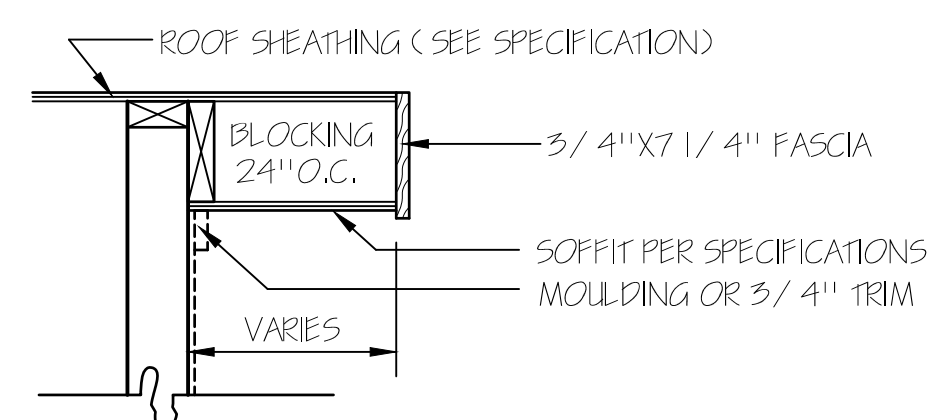
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



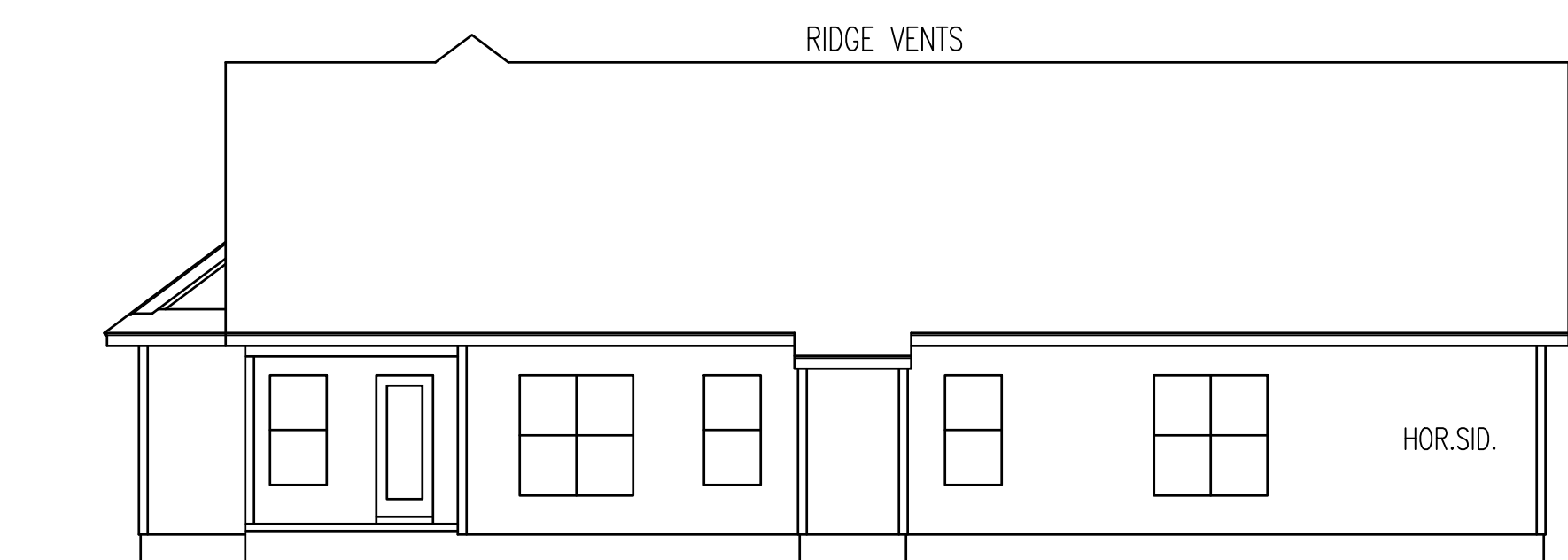
LEFT ELEVATION



RIGHT ELEVATION



RAKE DETAIL FOR GABLE ENDS



REAR ELEVATION
SCALE: 1/8" = 1'-0"

HERO PACKAGE

TM DESIGNS
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 (910) 354-4736 TMDESIGNS2016@GMAIL.COM

WATERMARK HOMES
 EXCLUSIVE RESIDENCE DESIGN FOR:

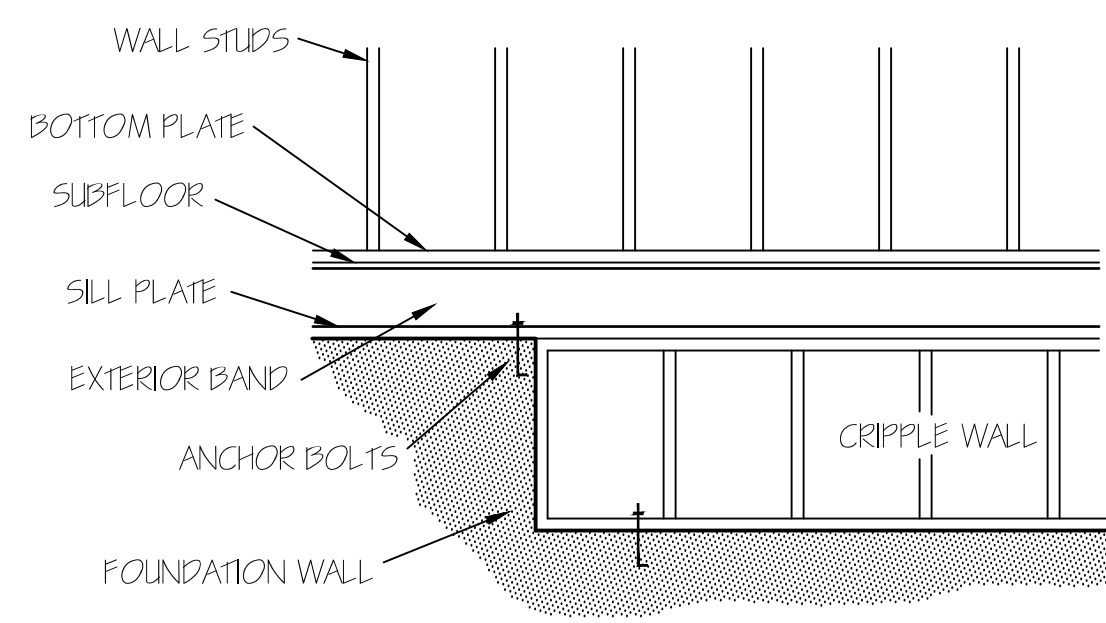
LOT: 65 SOUTH CREEK
 NAME: PINION III

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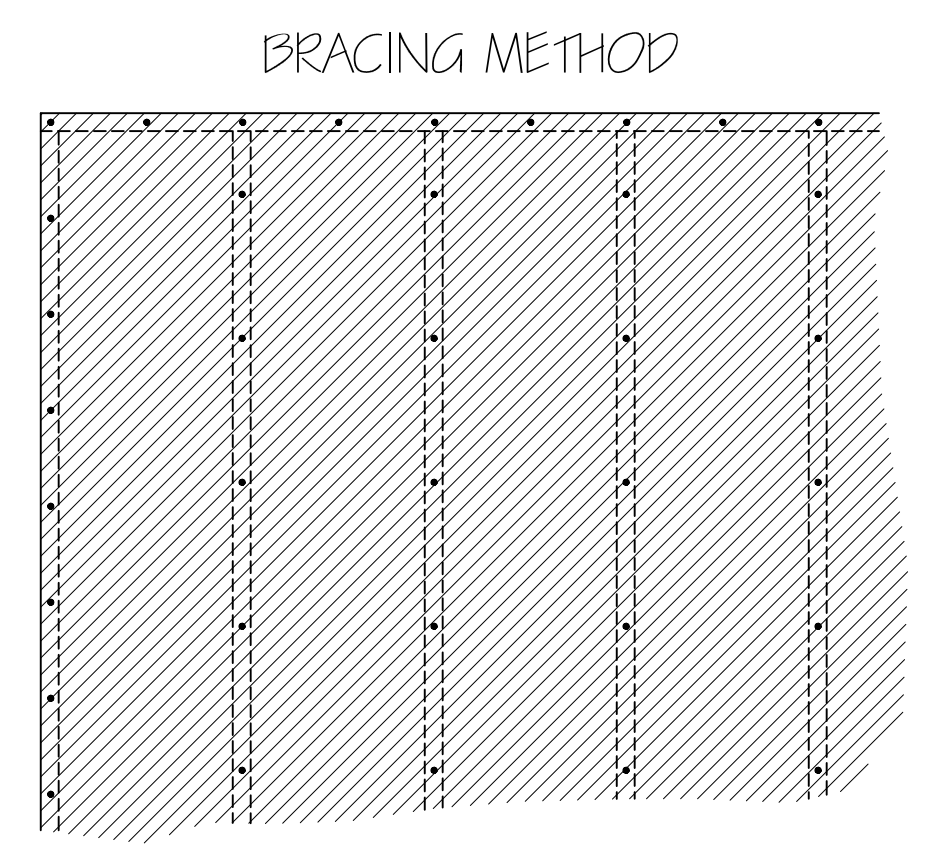
PLAN NUMBER
RG20-A04

OPTION #1

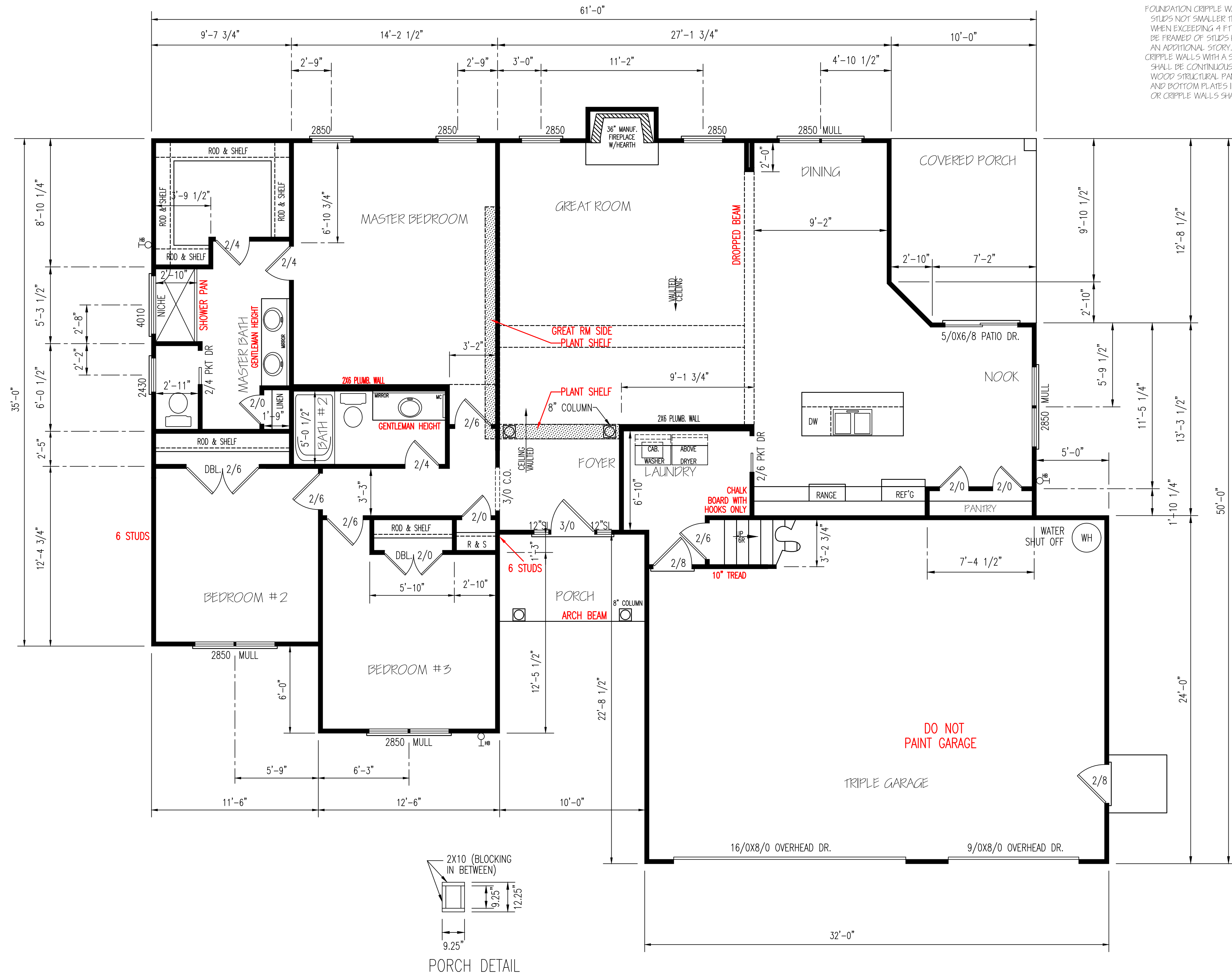
| | | | |
|---|--------|---------|---|
| 1 | GARAGE | F | R |
| | DATE: | 11/5/20 | |



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDS ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.3(1). OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 6" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.



| EXTERIOR WALLS (2) 2X10 HEADERS | | |
|------------------------------------|-----------------------|-----------------------|
| CLEAR SPAN FOR HEADER | NUMBER OF STUDS JACKS | NUMBER OF STUDS KINGS |
| ALL DOOR & C.O. BELOW 4' | 1 | 1 |
| ALL DOOR & C.O. 4' TO 7'-11" | 2 | 2 |
| ALL DOOR & C.O. 8' AND ABOVE | SIZED BY ENGINEER | |

****UNLESS NOTED OTHER WISE****

ENERGY TABLE
UFACTOR OF WINDOWS .30
CLIMATE ZONE 3
INSULATION: WALLS 15
CEILING 38

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

HEATED AREA

| | | |
|--------|------|-------|
| 1ST FL | 1779 | SQ FT |
| 2ND FL | 302 | SQ FT |
| TOTAL | 2081 | SQ FT |

OTHER AREAS

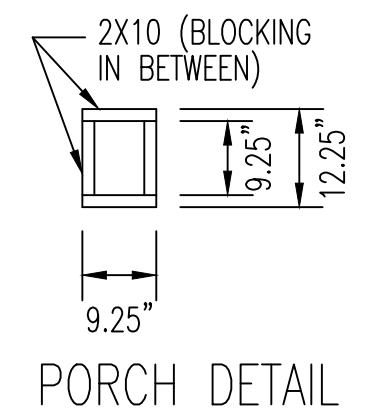
| | | |
|---------|-----|-------|
| GARAGE | 626 | SQ FT |
| P.PORCH | 54 | SQ FT |
| R.PORCH | 115 | SQ FT |

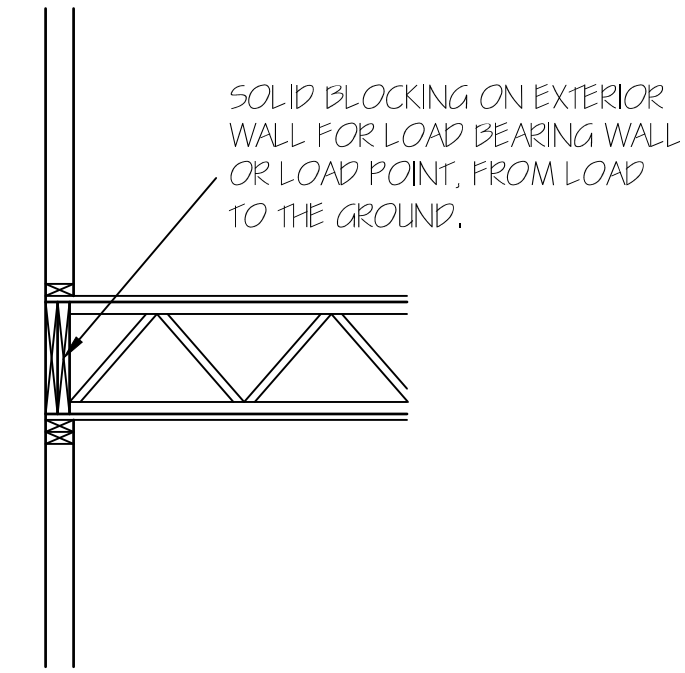
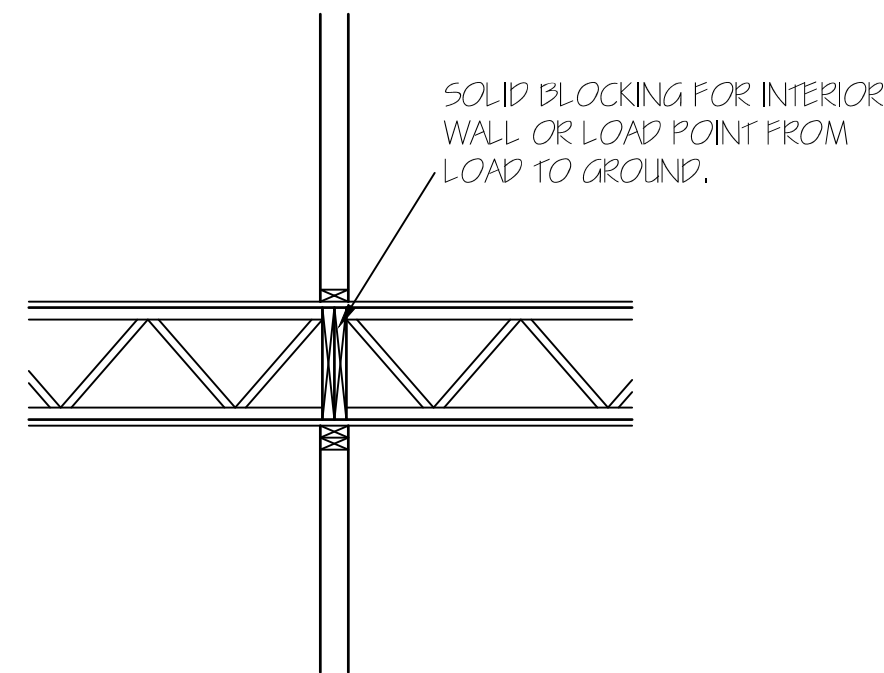
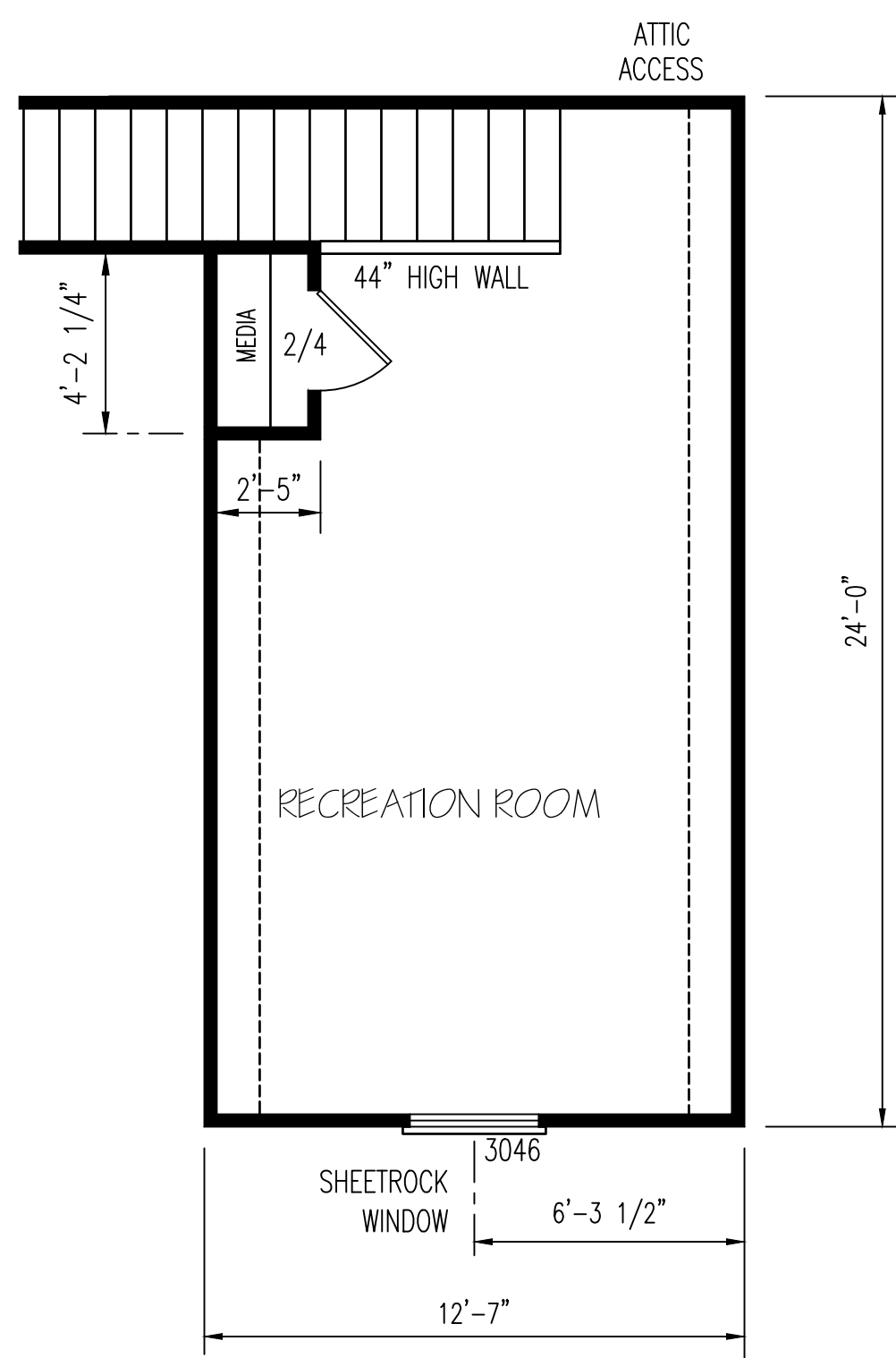
NOTE:
CEILINGS ARE 9'-0" UNLESS NOTED.
SET WINDOWS @ 7'-4" UNLESS NOTED.

GARAGE PANEL WALL
GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

HERO PACKAGE

DO NOT PAINT GARAGE





SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXCLUSIVE RESIDENCE DESIGN FOR:

WATERMARK HOMES

NAME: PINION III

LOT: 65 SOUTH CREEK

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PLAN NUMBER
RG20-A04

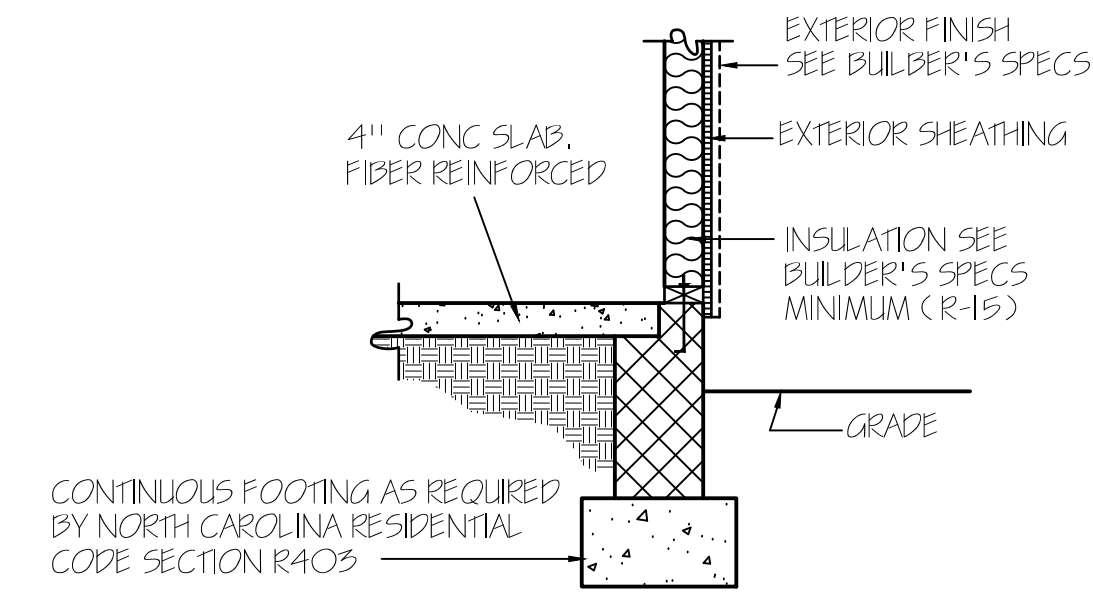
OPTION #1

| | | | |
|--------|--------|---------|---|
| 2 B | GARAGE | R | F |
| | DATE: | 11/5/20 | |

WALL ANCHOR OPTIONS

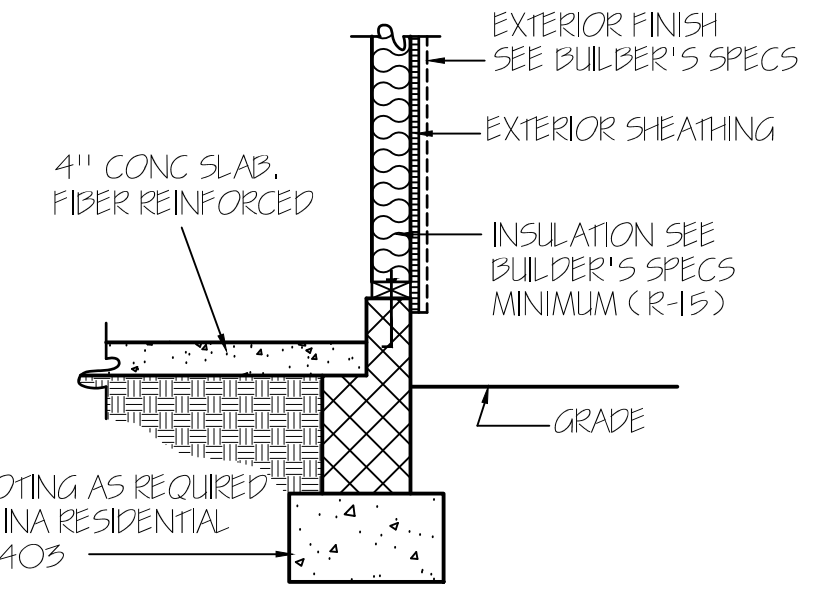
USE ANCHOR BOLTS
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C.
 AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED
 MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS
 PER EACH STUD WALL

NOTE:
 FOUNDATION DETAILS SHOWN ARE BASED ON
 ASSUMED SOIL BEARING CAPACITY OF
 2000 PSF. LOCAL SITE CONDITIONS MUST BE
 INVESTIGATED. ALL FOOTING TO BE LOCATED
 BELOW FROST DEPTH.



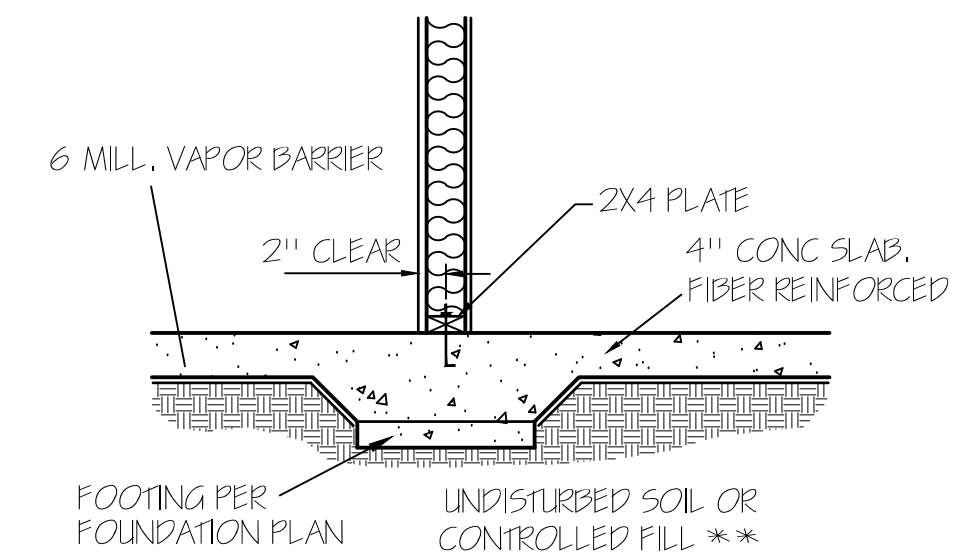
NOTE:
 PERIMETER INSUL. MAY EXTEND HORIZ. UNDER SLAB
 24" OR VERTICAL 24" BELOW SLAB FLOOR

CONCRETE SLAB FLOOR — (A)



NOTE:
 PERIMETER INSUL. MAY EXTEND HORIZ. UNDER SLAB
 24" OR VERTICAL 24" BELOW SLAB FLOOR

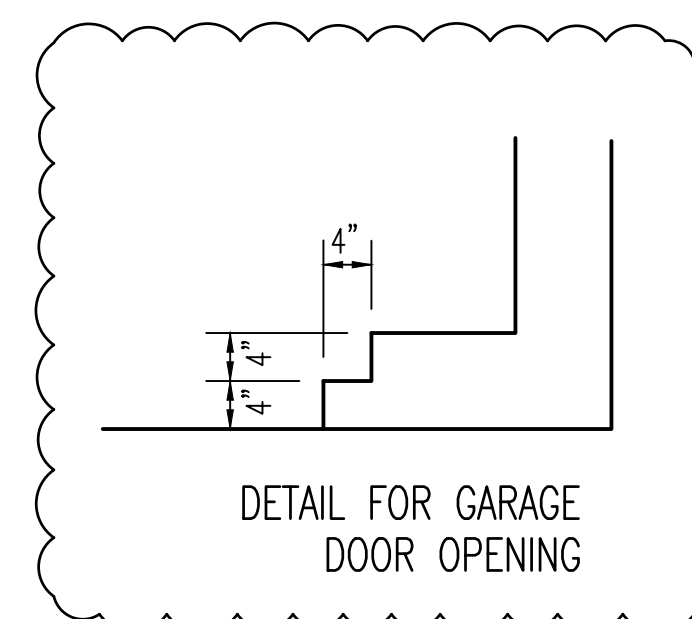
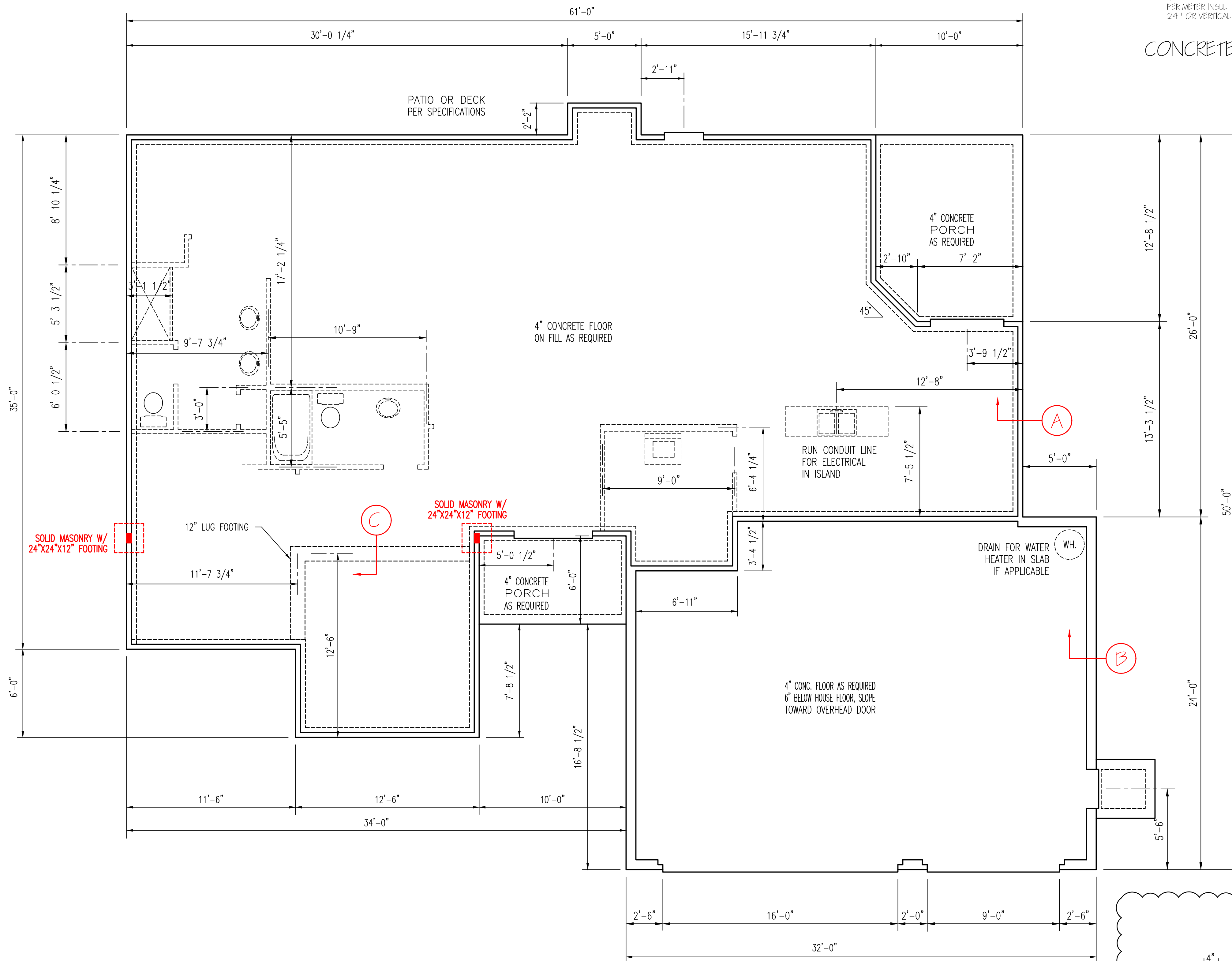
GARAGE WALL — (B)

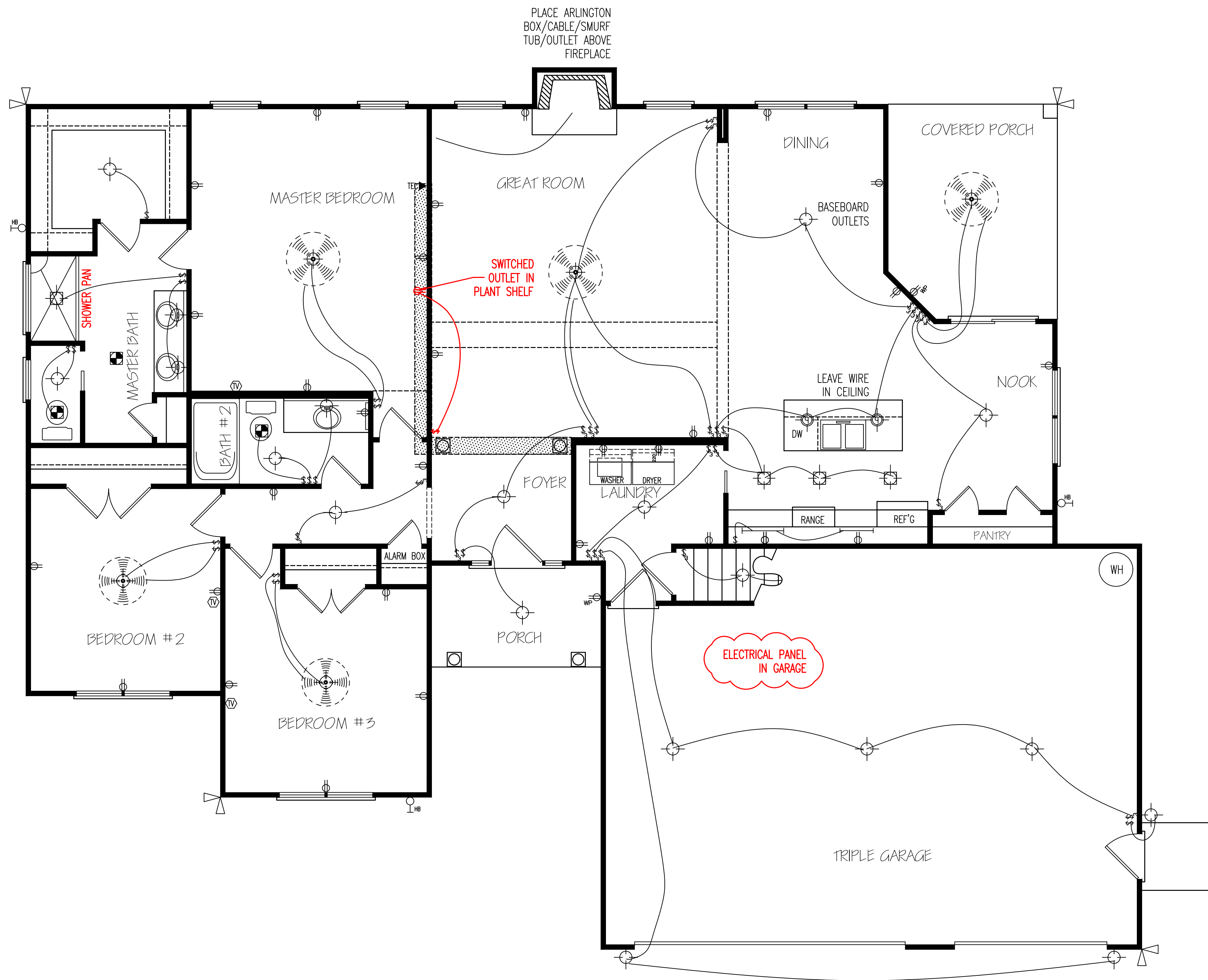


LOAD BEARING WALL THICKENED SLAB — (C)

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

STEPS:
 SET BRICK STEPS ON
 4" CONCRETE SIDEWALK





FIRST FLOOR
ELECTRICAL LAYOUT

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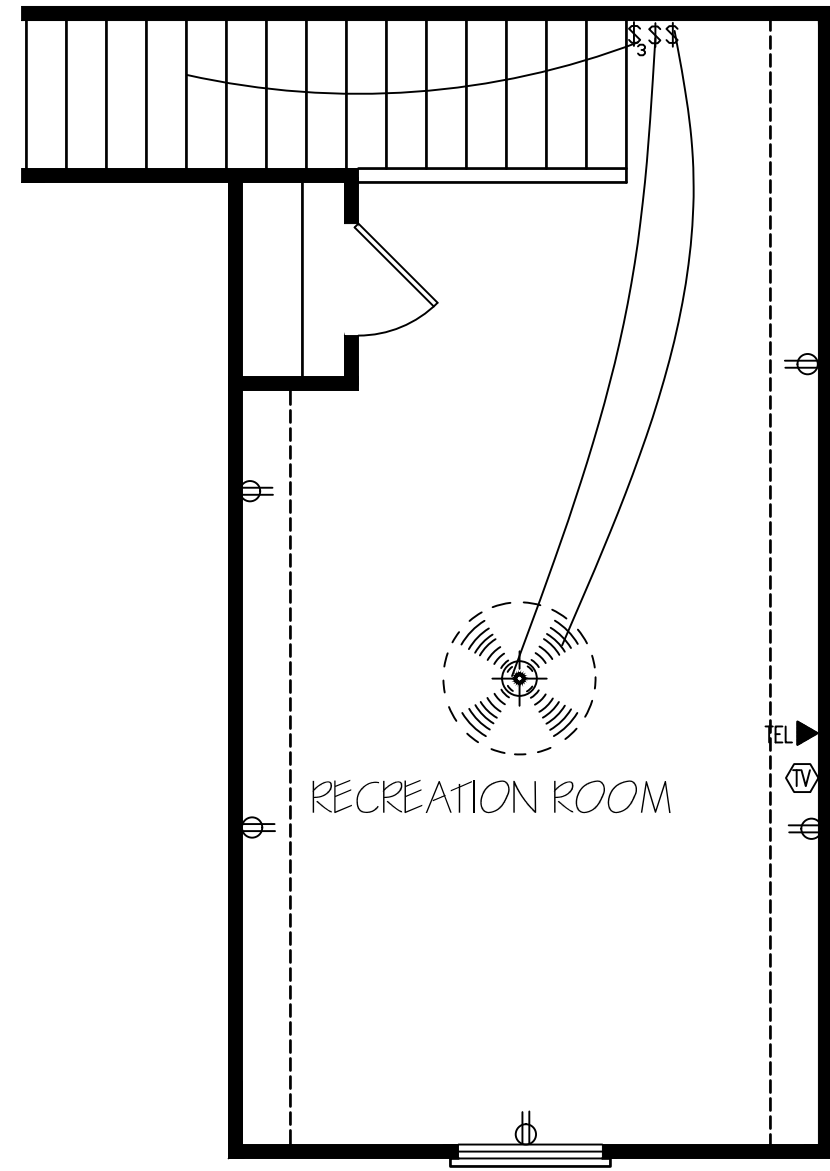
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PLAN NUMBER
RG20-A04
OPTION #1

| | | | |
|-----|--------|---------|---|
| E-1 | GARAGE | R | F |
| | DATE: | 11/5/20 | |



SECOND FLOOR
ELECTRICAL LAYOUT

EXCLUSIVE RESIDENCE DESIGN FOR:

WATERMARK HOMES

NAME: PINION III

LOT: 65 SOUTH CREEK

T M DESIGNS

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PLAN NUMBER
RG20-A04

OPTION #1

| | | | |
|-----|--------|---------|---|
| E-2 | GARAGE | R | F |
| | DATE: | 11/5/20 | |