

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Unaltered building only review.
Permit holder responsible for full compliance with the code.

03/11/2021




REDBUD H&H HOMES

PLAN REVISIONS

R-21-B 1) ADDED ROOF VENTING CALCULATIONS FOR ELEVATIONS A, B, AND C.
2) ADDED ROOM DIMENSIONS TO ROOM LABELS FOR CLARITY.
3) CHANGE MASTERS TO OWNERS THROUGHOUT PLANS/ELEVATIONS TO MEET H&H REQUIREMENTS.
4) UPDATED BATHROOM HAVING IN ACCORDANCE TO H&H STANDARDS.
5) REVISED AND VERIFIED SQUARE FOOTAGE.

H-6-3010 1) CHANGED FIREPLACE TO OPTIONAL INSTEAD OF STANDARD PER H&H.
2) UPDATED CHRS/EETIS.

~~REDBUD SQUARE FOOTAGES~~

AREA	ELEV 'N'
1st FLOOR	1502 SF
2nd FLOOR	1129 SF
TOTAL LIVING	3229 SF
GARAGE	464 SF
PORCH	121 SF
OPT. COVERED PATIO	100 SF
OPT. 3-CAR GARAGE	240 SF

REDBUD SQUARE FOOTAGES

AREA	ELEV 'N'
1st FLOOR	1501 SF
2nd FLOOR	1132 SF
TOTAL LIVING	3234 SF
GARAGE	464 SF
PORCH	201 SF
OPT. COVERED PATIO	100 SF
OPT. 3-CAR GARAGE	240 SF

~~REDBUD SQUARE FOOTAGES~~

AREA	ELEV 'N'
1st FLOOR	1502 SF
2nd FLOOR	1136 SF
TOTAL LIVING	3238 SF
GARAGE	464 SF
PORCH	128 SF
OPT. COVERED PATIO	100 SF
OPT. 3-CAR GARAGE	240 SF

Sample Marked - added staircase
Inventory Marked



CO NUMBER	2710.007
CITY/TOWN	REXDALE
ISSUED	07-01-18
REVISED	11-27-18
REVISED	1-16-20

DRAWINGS ON 1/4"=1' SHEET ARE ONE HALF THE SCALE NOTED

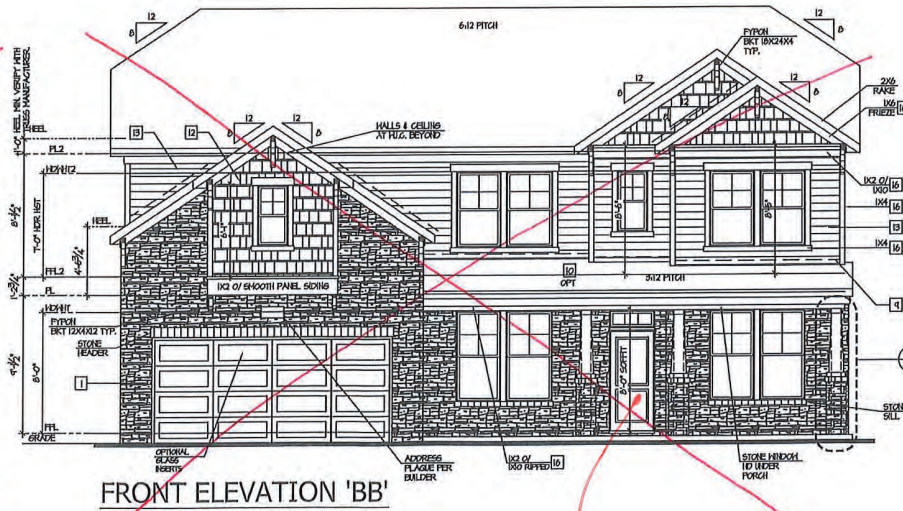
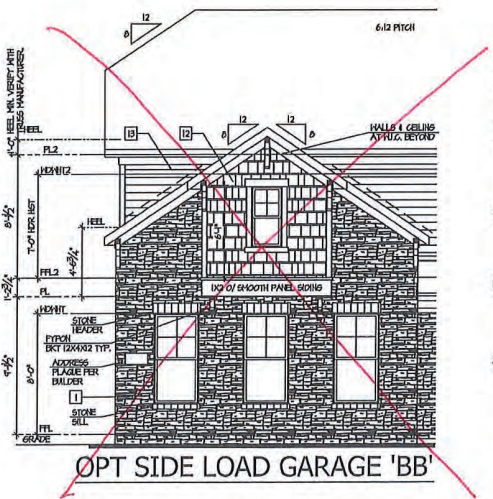
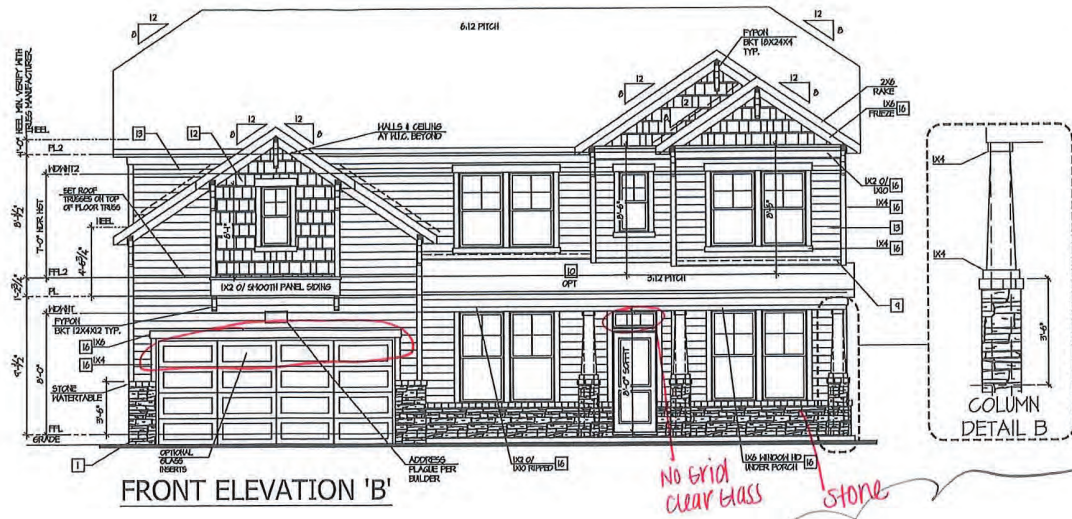
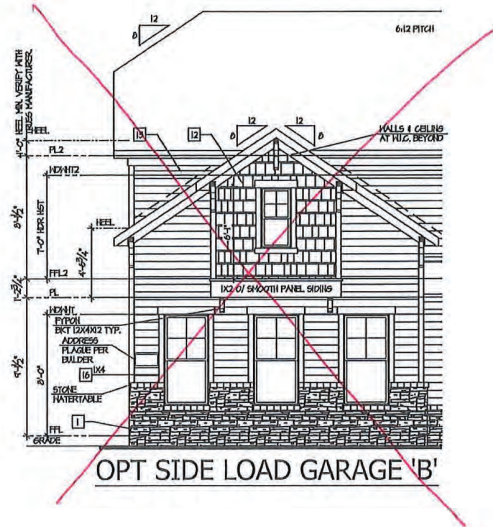
REDBUD - GARAGE LEFT
H&H HOMES

ACX000175

ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF DIMENSIONS, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
IF ANY DISCREPANCIES ARE FOUND TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

TITLE
REVISION LOG

SHEET
CS



NOTES:

- ALL WORK CONTAINED HEREIN IS FOR INFORMATION ONLY. THE USER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- HEIGHT HEADINGS:
- 1ST FLOOR = 8'-0" TO FIN. ON EXTERIOR.
- 2ND FLOOR = 8'-0" TO FIN. ON EXTERIOR.
- INTERIOR HEIGHTS REFER TO DEVELOPER.
- HEIGHTS MANUFACTURER FOR DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOORS AS SELECTED BY DEVELOPER.
- SWING DOORS AS SELECTED BY DEVELOPER, HAZARD PANEL AS NOTED.
- CROWN AS SHOWN, TOP OF CROWN TO BE A HEIGHT OF 2" ABOVE FIN. IN HEAD UP OF CROWN.
- ALL EXTERIOR WINDOWS TO BE INSTALLED WITH MANUFACTURER'S PROTECTIVE PROTECTION AGAINST OCEAN.
- ALL PORTALS OF A WINDOW SHALL BE FURLED ON GROUND FROM THE BOTTOM OF THE WINDOW CASE, INCLUDING POSTS, RALES, SILLING, STOPS AND FLOOR STOP.

KEY NOTES:

- 1) ARCHITECT SPECIFIC WHERE AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 2) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 3) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 4) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 5) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
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- 15) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 16) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 17) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 18) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 19) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.
- 20) WINDOW FULL SIZES AS SELECTED BY DEVELOPER, IDENTIFY AS NOTED.

ELEVATION "B/BB"
GARAGE LEFT

NOTICE OF PLAN AND THAT THIS DRAWING OFFICE SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY WORK OR CONSTRUCTION. ANY DISCREPANCY OR ERROR IN THIS DRAWING OR CONSTRUCTION TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLAN HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAWING OFFICE, THE DRAWER SHALL NOT BE HELD RESPONSIBLE.



ADD NUMBER: 2182.07
 CAD FILE NAME: REDBUD-IT
 REVISION: 11-27-18
 REVISION: 11-27-18

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT
H&H HOMES

TITLE
 SIDE AND REAR ELEVATIONS
 ROOF PLAN
 BUILDING SECTION

SHEET
A6.3



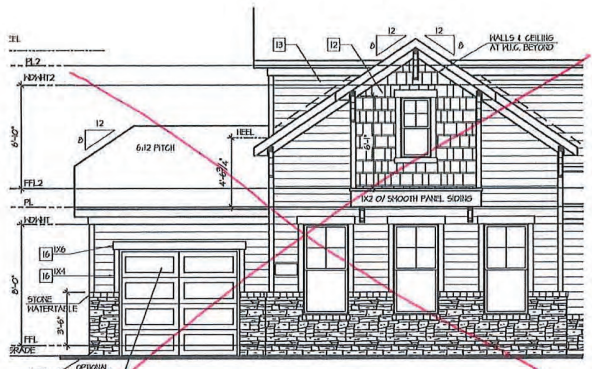
JOB NUMBER: 27102.07
 CDD FILE NAME: REDBUD - H
 DATE: 02-21-18
 REVISION: 11-25-18
 DESIGNED: 11-15-18

DRAWINGS ON 11"x17"
 SHEET ARE ONE HALF
 THE SCALE NOTED

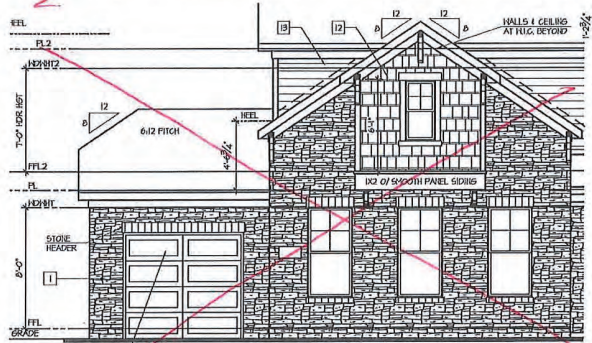
REBUD - GARAGE LEFT
 H&H HOMES

TITLE
 SIDE AND REAR ELEVATIONS
 ROOF PLAN
 BUILDING SECTION

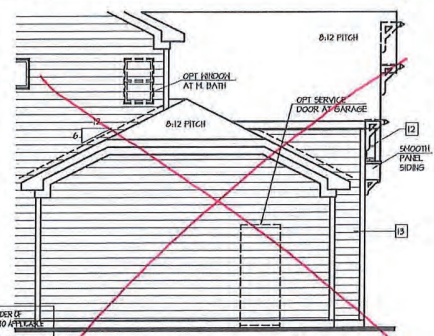
SHEET
 A6.5



OPT 3-CAR SWING-IN CARRIAGE GARAGE 'B'

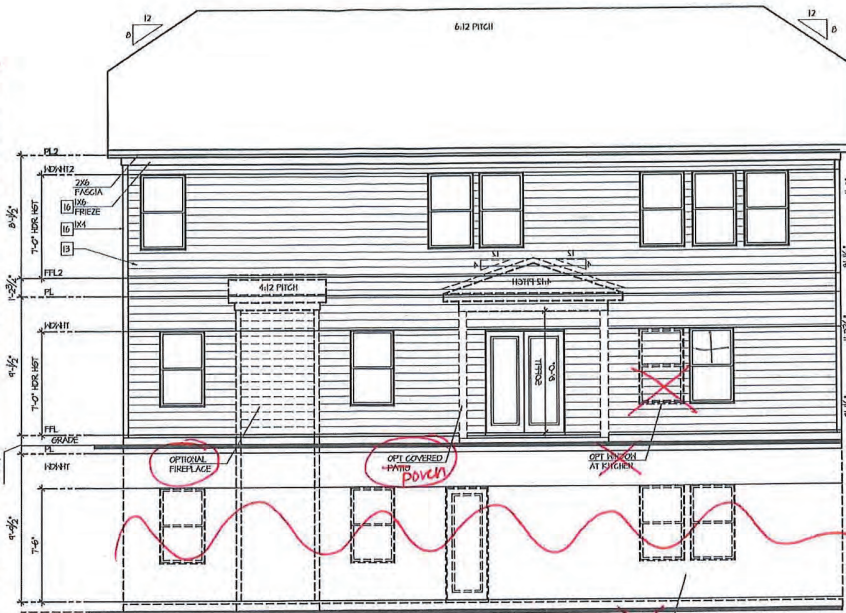


OPT 3-CAR SWING-IN CARRIAGE GARAGE 'BB'

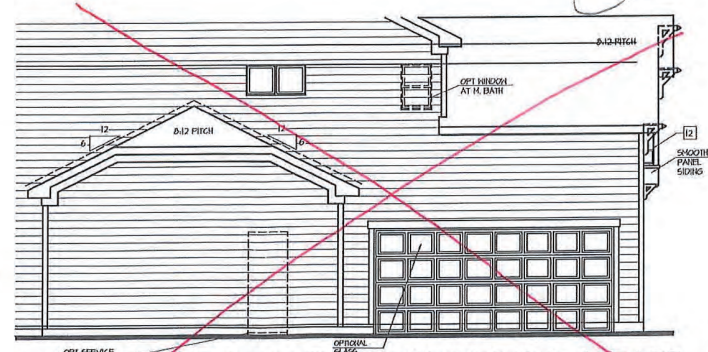


OPT 3-CAR FRONT LOAD GARAGE

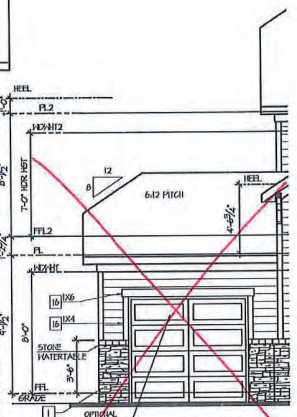
SOURCE OF PLANS FROM THIS DRAWING OFFICE SHALL NOT RELIEVE THE DRAFTER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO ALL APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION.
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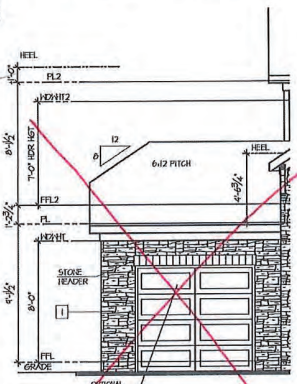
REAR ELEVATION 'B'



OPT 3-CAR SWING-IN CARRIAGE GARAGE



OPT 3-CAR FRONT LOAD GARAGE 'B'

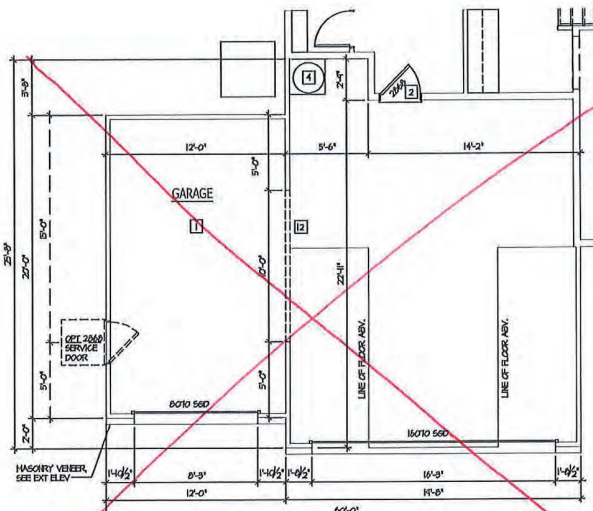


OPT 3-CAR FRONT LOAD GARAGE 'BB'

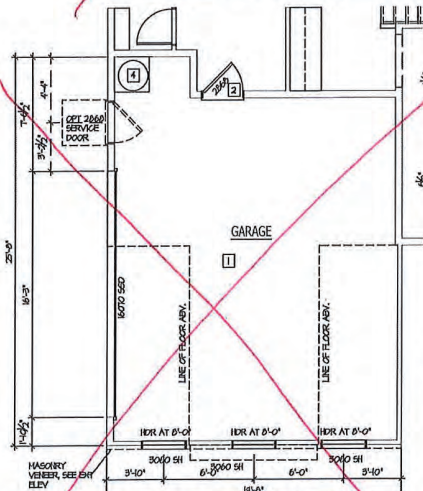
ELEVATION "B/BB"

NOTES
 SCALE IN 1/4" = 1'-0" IF PRINTED IN HALF SIZE
 SCALE IN 1/8" = 1'-0" IF PRINTED IN FULL SIZE

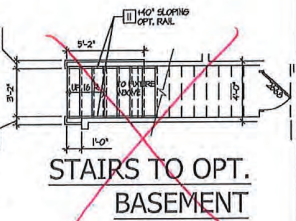
GARAGE LEFT



OPTIONAL 3-CAR GARAGE - FRONT LOAD 'B'



OPT. SIDE LOAD GARAGE 'B'



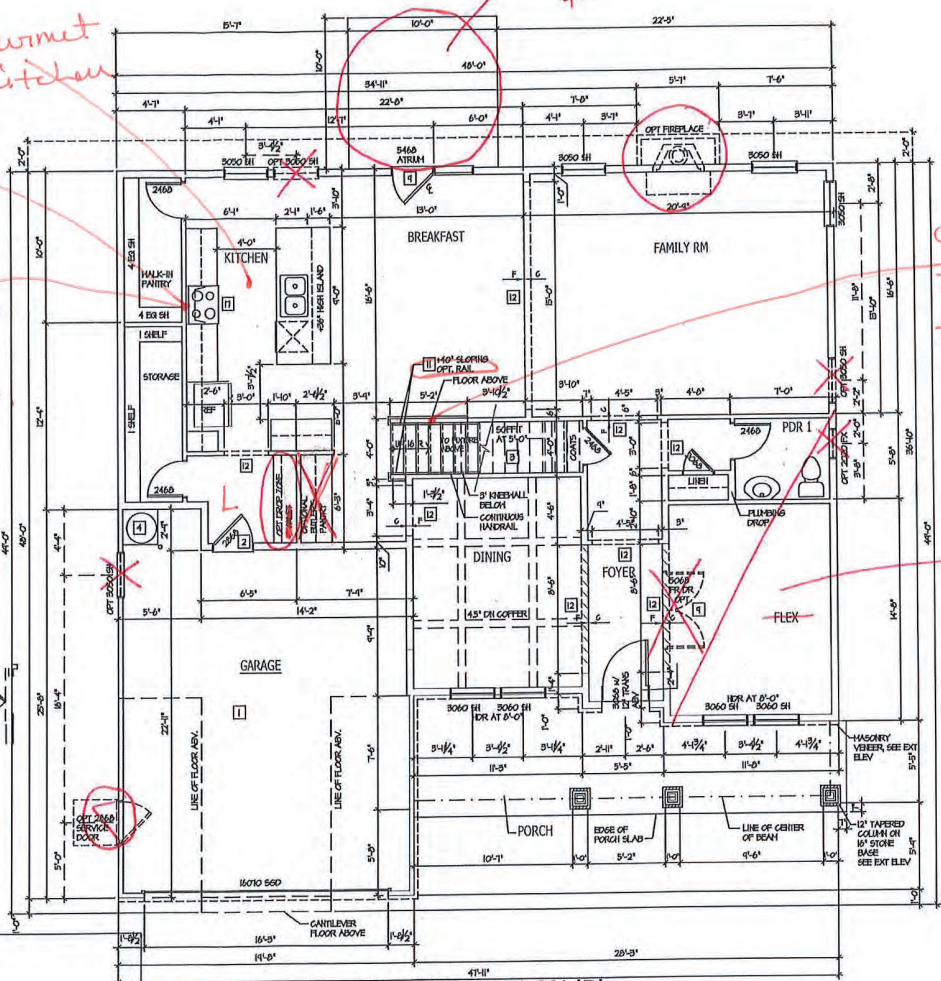
STAIRS TO OPT. BASEMENT

Gourmet Kitchen
gas line
vent hood

see cov. pover apt.

curb wall
Iron Pica
oak tread

see Bed #5
BAM #3
opt.



1ST FLOOR PLAN 'B'

<p>- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS</p> <p>- WINDOW HEAD HEIGHTS</p> <p>1ST FLOOR = 4'-0" FINISH ON ELEVATION</p> <p>2ND FLOOR = 6'-0" FINISH ON ELEVATION</p> <p>ALL DIMENSIONS TO WINDOW AND DOORS ARE TO CENTERLINE.</p>	
<p>KEY NOTES:</p> <p>1. FINE PROTECTION</p> <p>2. ROOF TO COVER FREE REVISIONS AND/OR REVISIONS AT THE TIME OF THE FIRST REVISION. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT.</p> <p>3. ROOF TO COVER FREE REVISIONS AND/OR REVISIONS AT THE TIME OF THE FIRST REVISION. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT.</p> <p>4. ROOF TO COVER FREE REVISIONS AND/OR REVISIONS AT THE TIME OF THE FIRST REVISION. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT.</p> <p>5. ROOF TO COVER FREE REVISIONS AND/OR REVISIONS AT THE TIME OF THE FIRST REVISION. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT. ALL REVISIONS SHALL BE APPROVED BY THE ARCHITECT.</p>	<p>KEY NOTES:</p> <p>1. AUTO ACCESS LANE RETURN TO REDUCE LARGEST AREA OF DRIVEWAY SEE 1ST FLOOR PLAN FOR DETAILS. ACCESS AS SHOWN PER LOCAL CODE. AUTO ACCESS LANE RETURN TO REDUCE LARGEST AREA OF DRIVEWAY SEE 1ST FLOOR PLAN FOR DETAILS.</p> <p>2. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>3. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>4. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>5. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>6. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>7. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>8. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>9. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>10. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>11. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>12. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>13. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>14. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>15. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>16. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>17. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>18. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>19. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p> <p>20. TO BE PROVIDED BY LOCAL PROFESSIONAL CODES</p>

ISSUANCE OF PLAN FROM THIS DRAFTING OFFICE SHALL NOT RELEASE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL LOCAL ORDINANCES AND REFER TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION.

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MAIN FLOOR PLAN
GARAGE LEFT

NOTE:
SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE
SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE



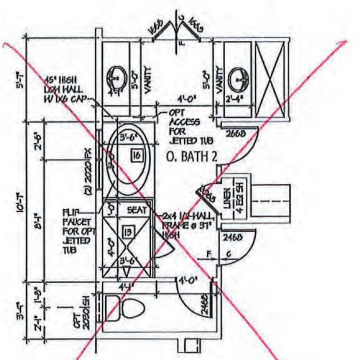
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DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

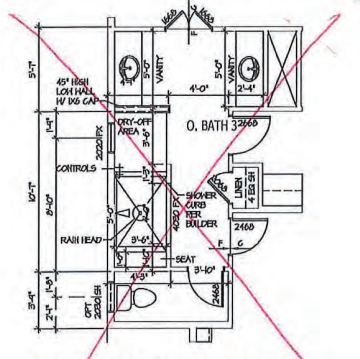
REDBUD - GARAGE LEFT
H&H HOMES

TITLE
MAIN FLOOR PLAN
STAIR SECTION

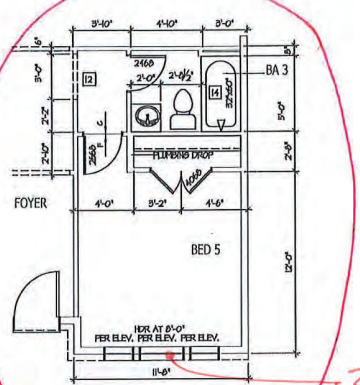
SHEET
A2.1



OPT. OWNER'S BATH 2

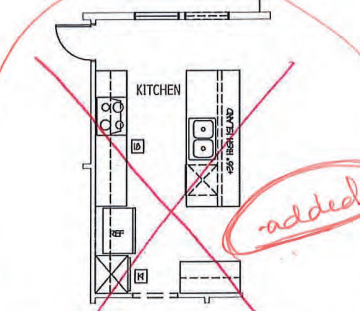


OPT. OWNER'S BATH 3



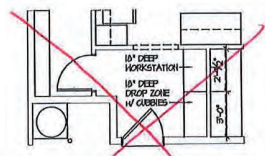
OPT. BED 5/ BATH 3

2 windows per elevation

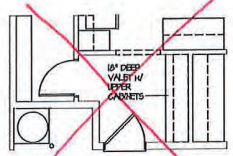


OPT. GOURMET KITCHEN

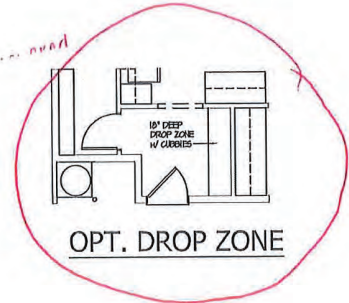
added



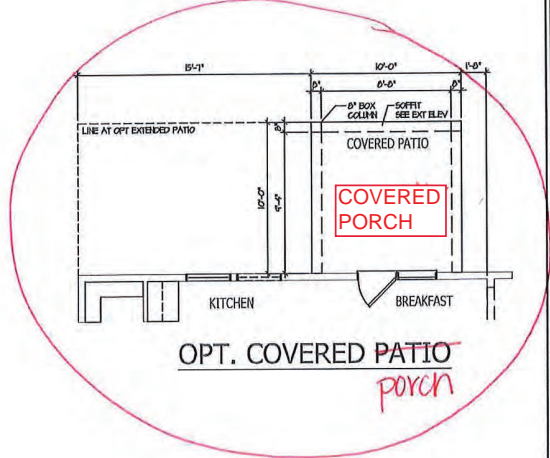
OPT. WORKSTATION AND DROP ZONE



OPT. VALET



OPT. DROP ZONE



OPT. COVERED PATIO

porch

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS - ENCLOSED HEAD HEREIN 1ST FLOOR = 6'-0" FIN. ON ELEVATIONS 2ND FLOOR = 6'-0" FIN. ON ELEVATIONS ALL DIMENSIONS TO INTERIOR AND DOORS ARE TO CENTERLINE	
KEY NOTES: 1) USE TO GAIN ACCESS FROM REAR PORCH AND GARAGE TO REAR PORCH AND GARAGE. REAR PORCH SHALL BE FINISHED WITH ONE (1) LAYER OF GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 2) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 3) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 4) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 5) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 6) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 7) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 8) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 9) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES. 10) USE TO GAIN ACCESS FROM REAR PORCH TO REAR PORCH. PER LOCAL CODES.	KEY NOTES: 1) ATIC ACCESS LANGE SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 2) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 3) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 4) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 5) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 6) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 7) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 8) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 9) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES. 10) INTERIOR FINISH SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES AND ENGINEER'S REQUIREMENTS. ALL INTERIORS SHALL BE FINISHED WITH TYPE 'X' GYPSUM BOARD. PER LOCAL CODES.

DISCLAIMER OF PLAN FROM THIS DRAWING OFFICE SHALL NOT BE HELD THE HOLDER OF RESPONSIBILITY TO VERIFY AND VERIFY ALL NOTES, DIMENSIONS, AND AGREEMENT TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION.
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MAIN FLOOR OPTIONS
 SCALE IS 1/8" = 1'-0" IF PRINTED IN HALF SIZE
 SCALE IS 1/4" = 1'-0" IF PRINTED IN FULL SIZE
GARAGE LEFT

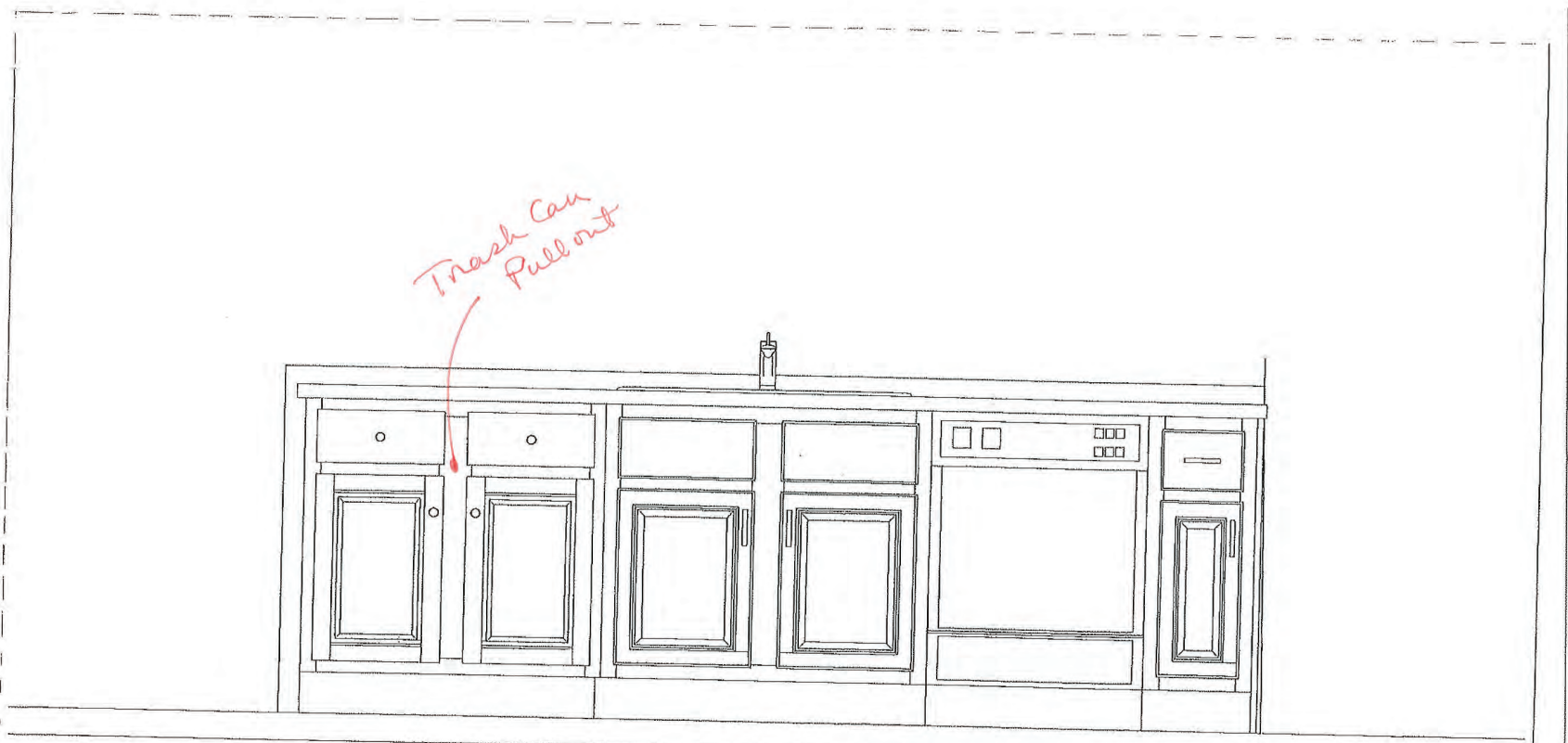


Single oven
microwave combo

vented
Hood

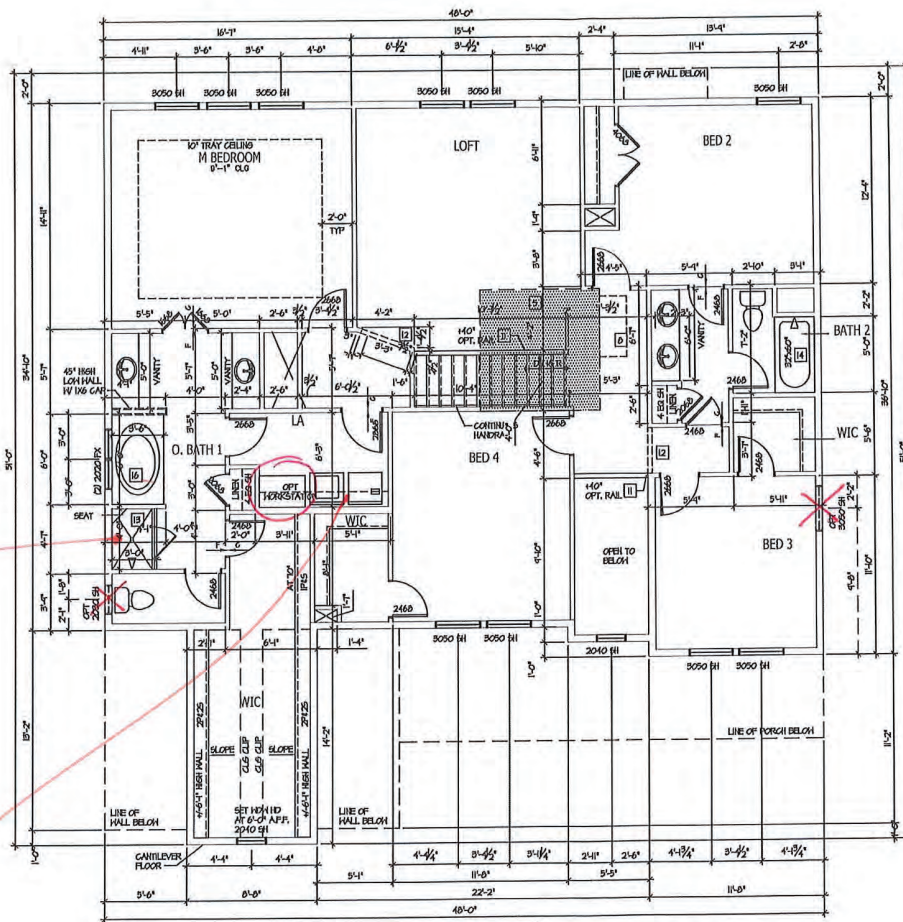
Roll Out
Shelves

2020	Designed: 2/26/2019 Printed: 2/27/2019
REDBU All	Drawing #: 1



*Trash Can
Pull out*

2020	Designed: 4/26/2018
	Printed: 7/16/2018
REDBU All	Drawing #: 1



Tile Owners
showers

Laundry
Cabinets

• FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS
 • INDICATED HEIGHTS:
 1ST FLOOR - 4'-0" UIC ON BEHAVIOR
 2ND FLOOR - 4'-0" UIC ON BEHAVIOR

ALL OPENINGS TO HEDDOD AND DOORS ARE TO CENTERLINE.

KEY NOTES:	KEY NOTES:
1) FINISH FLOOR	1) FINISH FLOOR
2) FINISH FLOOR	2) FINISH FLOOR
3) FINISH FLOOR	3) FINISH FLOOR
4) FINISH FLOOR	4) FINISH FLOOR
5) FINISH FLOOR	5) FINISH FLOOR
6) FINISH FLOOR	6) FINISH FLOOR
7) FINISH FLOOR	7) FINISH FLOOR
8) FINISH FLOOR	8) FINISH FLOOR
9) FINISH FLOOR	9) FINISH FLOOR
10) FINISH FLOOR	10) FINISH FLOOR
11) FINISH FLOOR	11) FINISH FLOOR
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2ND FLOOR PLAN 'B'

ISSUANCE OF PLANS THAT THE DRAFTERS OFFICE SHALL NOT HOLD THE DRAFTER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE DRAINAGE CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY CONSTRUCTION OF THESE PLANS OR OTHERWISE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTERS OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY DIMENSIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTERS OFFICE, THE DRAFTERS OFFICE SHALL NOT BE HELD RESPONSIBLE.

UPPER FLOOR PLAN

SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE
 SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE

GARAGE LEFT



JOB NUMBER	27107.07
ISSUE DATE	07-01-18
ISSUED BY	11-27-18
REVISION	1-12-20

DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT
 H&H HOMES

TITLE
 MAIN FLOOR PLAN
 STAIR SECTION

SHEET
 A3.1



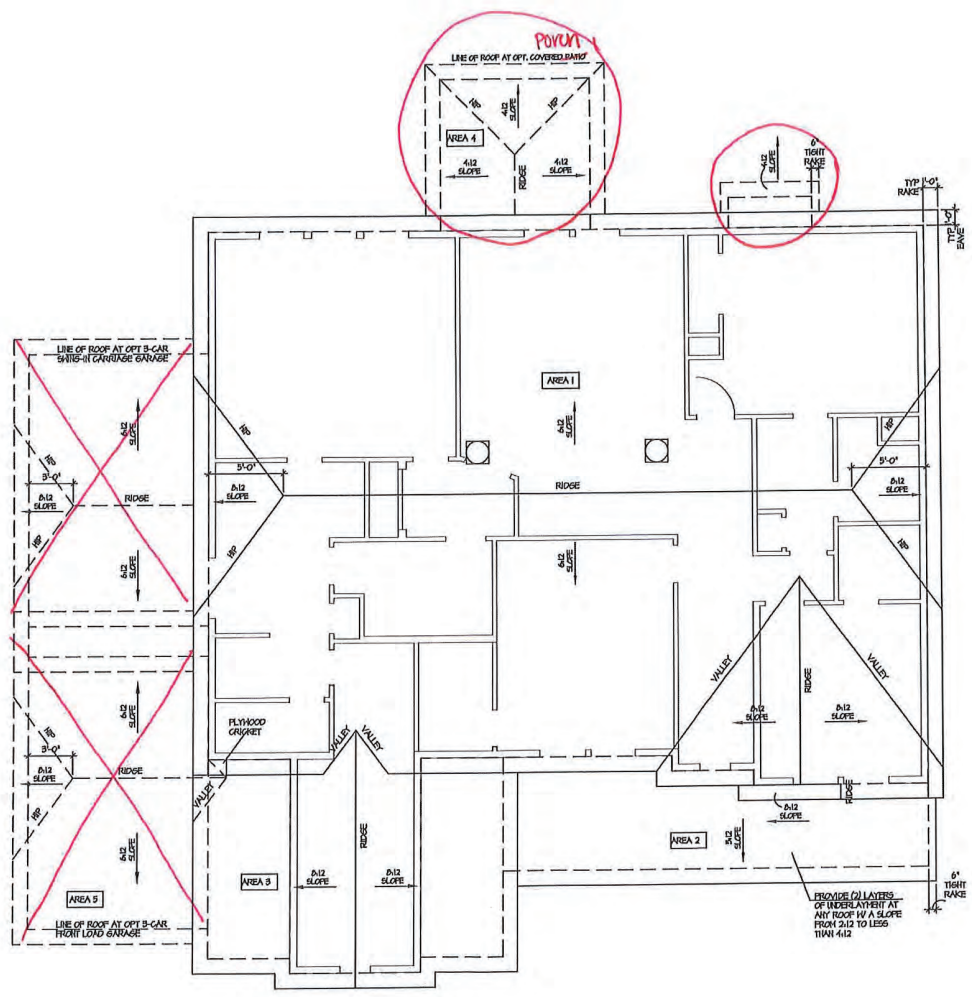
NO. DRAWN	27/07/07
DATE TIME	10:00:00
ISSUED	02-01-10
REVISED	11-27-10
REVISED	1-16-20

DRAWINGS ON 1/4" x 11" SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT
H&H HOMES

TITLE	
FRONT ELEVATION	
SCALE	

SHEET	A4.1
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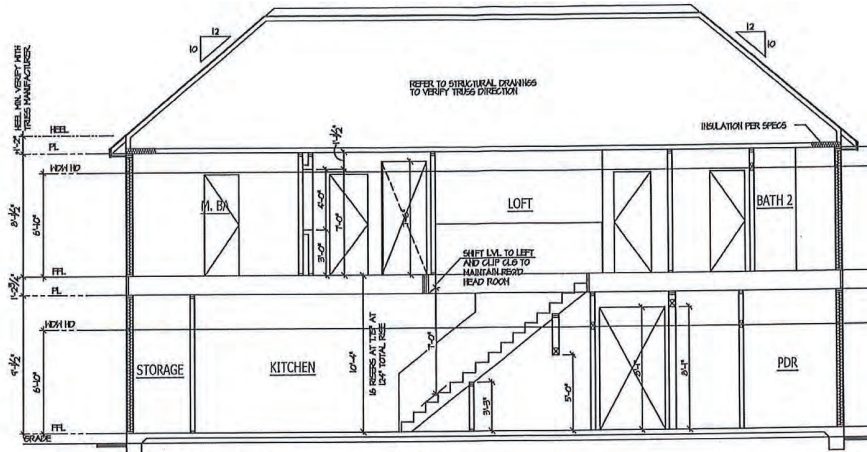


ROOF PLAN "B"

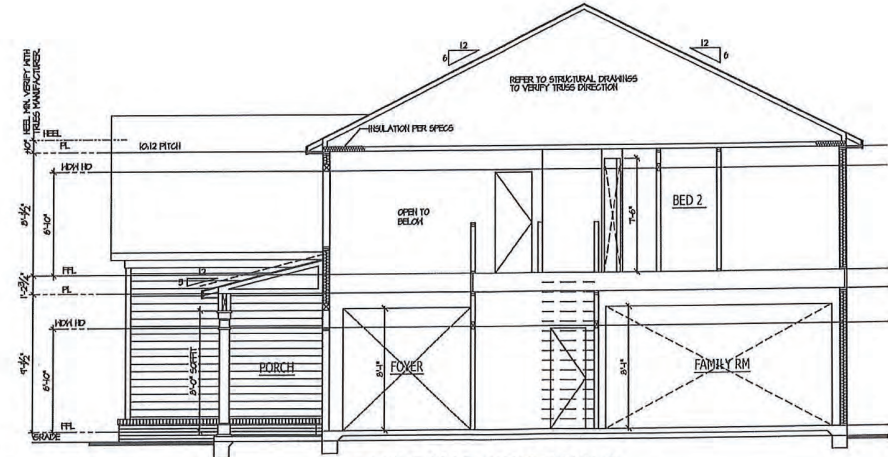
ROOF PLAN "B"

SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE
SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE

ISSUANCE OF PLANS FROM THIS DRAWING OFFICE SHALL NOT RELIEVE THE OWNER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND REFERENCES TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR REFERENCES TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAWING OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT TAKE PLACE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAWING OFFICE, THE DRAWING OFFICE SHALL NOT BE HELD RESPONSIBLE.



BUILDING SECTION 1



BUILDING SECTION 2

ISSUANCE OF PLANS FROM THIS OFFICE SHALL NOT RELIEVE THE OWNER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION.
 ANY DISCREPANCY OF DIMENSIONS, NOTES, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAWING OFFICE FOR CORRECTION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 ANY REVISIONS OR CHANGES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEE.
 IF ANY REVISIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAWING OFFICE, THE DRAWING OFFICE SHALL NOT BE HELD RESPONSIBLE.



PRO NUMBER	27187-07
DATE FILED	08-20-11
ISSUED	07-21-12
REVISED	11-27-12
REVISED	1-14-20

DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT
 H&H HOMES

TITLE
 FRONT ELEVATION
 DETAILS

BUILDING SECTIONS

NOTE:
 SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE
 SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE

GARAGE LEFT

SHEET
 A5.0



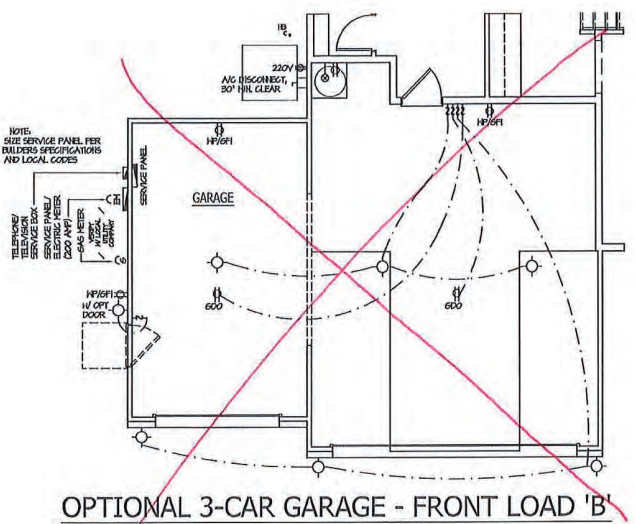
NO NUMBER 27107.07
 DATE FILED 08-08-10
 ISSUED 07-20-10
 REVISED 11-27-10
 PERIOD 11-16-10

DRAWINGS ON 11"x17"
 SHEET ARE ONE HALF
 THE SCALE NOTED

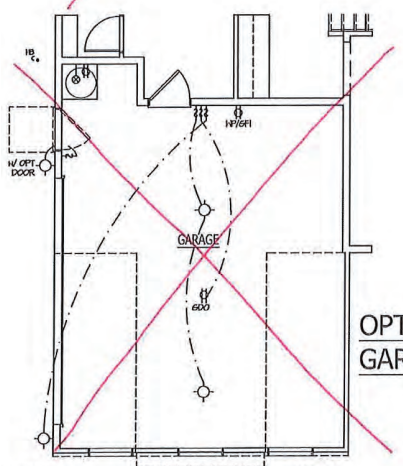
REDBUD - GARAGE LEFT
 H&H HOMES

TITLE
 MAIN FLOOR ELEC. PLAN

SHEET
 E5



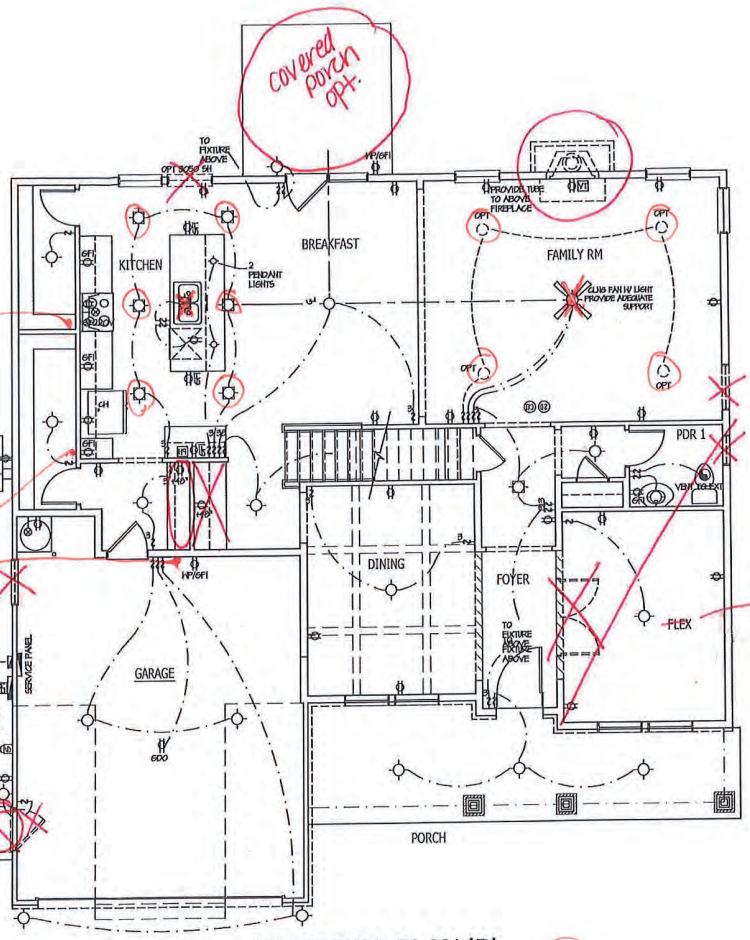
OPTIONAL 3-CAR GARAGE - FRONT LOAD 'B'



OPT. SIDE LOAD GARAGE 'B'



STAIRS TO OPT. BASEMENT



1ST FLOOR PLAN 'B'

NOTES:
 1. PROVIDE AND INSTALL GROUND BONDING DEVICES (GSD) AS INDICATED ON PLANS OR AS ITEMS A AND B BELOW LOCATED:
 2. UNLESS OTHERWISE INDICATED, INSTALL OUTLETS AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 SWITCHES... 4'
 OUTLETS... 18"
 TELEPHONE... 48" (UNLESS ANY CONTRADICTORY TELEPHONE, 4")
 3. ALL 8" DEEP DETECTORS SHALL BE HANGARDED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A HANGARDED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED EDGE DETECTORS.
 4. ALL 8" AND 24" RECEPTACLES IN KITCHEN, BREAK ROOM, ENTRY ROOM, OFFICE, BOILER ROOM, PAVILION, LOUNGE, CLOSET, BATHROOM, REAR PORCH, CLOSET, HALLWAYS, AND ALL PLACES SHALL REQUIRE A COMBINATION TYPE AFCI, DISK AND WATER-PROOF RECEPTACLES.

NOTES:
 5. ALL 8" AND 24" RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO DETERMINE THAT ALL ELECTRICAL WORK IS IN FULL CONFORMANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
 7. ENERGY EFFICIENT LIGHTS AS FOLLOWS: ENERGY EFFICIENT HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH EACH ALARM BEING FEED FROM THE LOCAL POWER UTILITY. EACH ALARM SHALL HAVE BATTERY BACKUP. COORDINATION OF ENERGY EFFICIENT LIGHTING SHALL BE LISTED ON A LABEL BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ELECTRICAL KEY

⊕	DUPLEX OUTLET
⊕	LEAD-RESISTANT GFI DUPLEX OUTLET
⊕	GROUND-FULL CROCK-INTERMEDIATE DUPLEX OUTLET
⊕	HALF-ROUNDED DUPLEX OUTLET
⊕	240 VOLT OUTLET
⊕	REINFORCED JUNCTION BOX
⊕	WALL SWITCH
⊕	THREE-WAY SWITCH
⊕	FOUR-WAY SWITCH

ELECTRICAL KEY

⊕	CEILING MOUNTED RECESSED LIGHT FIXTURE
⊕	WALL MOUNTED RECESSED LIGHT FIXTURE
⊕	RECESSED RECESSED LIGHT FIXTURE
⊕	OPT - VAPOR PROOF EXHAUST FAN (VENT TO EXTERIOR)
⊕	EXHAUST FAN (VENT TO EXTERIOR)
⊕	FLUORESCENT LIGHT FIXTURE
⊕	TROUBLE SHOOT

ELECTRICAL KEY

⊕	CABLE
⊕	RAM BATTEN SWITCH
⊕	SMOKE DETECTOR BY EXISTING DOOR
⊕	COX DETECTOR
⊕	INTERCOM
⊕	TELEPHONE
⊕	TELEVISION
⊕	ELECTRICAL METER
⊕	ELECTRICAL PANEL
⊕	DISCONNECT SWITCH

ELECTRICAL KEY

⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	CEILING FAN WITH RECESSED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	GAS SUPPLY WITH VALVE
⊕	ROCKE DOOR
⊕	1/4" WATER TIGHT OUT
⊕	WALL LOCKER

ISSUANCE OF PLANS FROM THIS DEPARTMENT'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, ORDINANCES, AND AGREEMENT TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, ORDINANCES, OR AGREEMENT TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DEPARTMENT OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISION OR CHANGE, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE FROM THE FINAL PLAN HAVE BEEN CORRECTED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DEPARTMENT OFFICE, THE DEPARTMENT SHALL NOT BE HELD RESPONSIBLE.

MAIN FLOOR ELECTRICAL PLAN 'B'

SCALE: 1/4" = 1'-0" IF PRINTED IN HALF SIZE
 SCALE: 1/8" = 1'-0" IF PRINTED IN FULL SIZE
 GARAGE LEFT

Dedicated 110V GFCI

Covered porch opt.

Bed 5/BATH 3 opt.

16



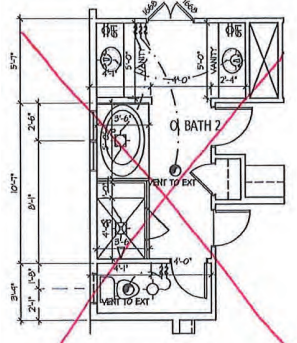
JOB NUMBER	27102.07
DWG FILE NAME	REDBUD-11
DATE	07-21-18
PERIOD	11-22-17
REVISION	1-11-20

DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

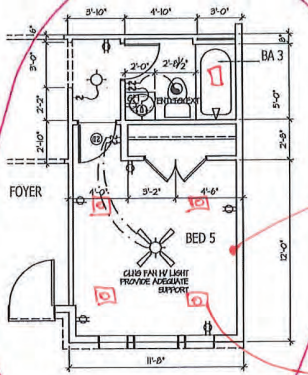
REDBUD - GARAGE LEFT
H&H HOMES

FILE
ELECTRIC AT PLAN OPTION

SHEET
E11



OPT. OWNER'S BATH 2

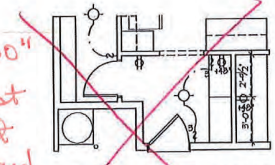


OPT. BED 5/ BATH 3

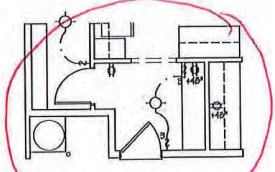
*1-Ø @ 60"
1-Ø just below at baseboard*

recessed cans w/ trimmer

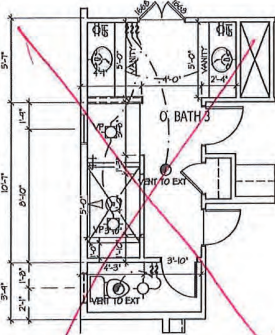
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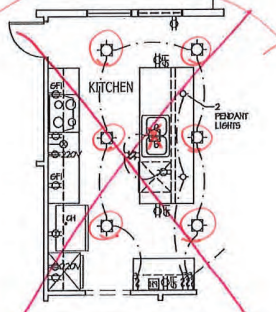
OPT. WORKSTATION AND DROP ZONE



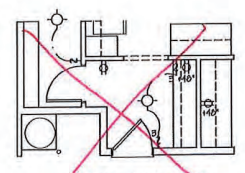
OPT. DROP ZONE



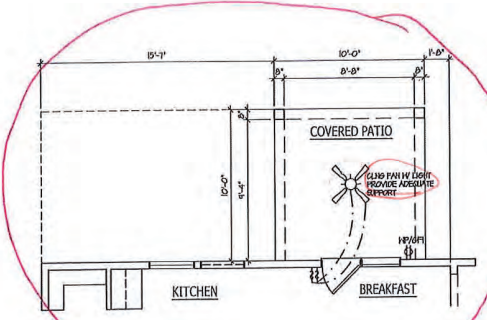
OPT. OWNER'S BATH 3



OPT. GOURMET KITCHEN



OPT VALET



OPT. COVERED PATIO

porch

NOTES:

1. PROVIDE AND INSTALL GROUND FAULT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS NOTED AND 1 BELOW INDICATED.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
 - SWITCHES ... 4'-0"
 - OUTLETS ... 1'-0"
 - TELEPHONE, JY WALKS AND CONTROLS? TELEPHONE, JY
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A NON-RECHARGEABLE BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CREDITED SMOKE DETECTORS.
4. ALL BA AND SBA RECEPTACLES IN KITCHENS, BREAK ROOMS, ENTRY ROOMS, DINING ROOMS, LIVING ROOMS, PANTRY, LABORATORY, DRUGS, DISPENSARY, RECEPTION ROOMS, CLOSETS, WALKERS, AND OTHER AREAS SHALL FEATURE A CORNERWICH TYPE A2CL POWER AND VENT-FLOOR RECEPTACLE.

NOTES:

5. ALL BA AND SBA SMOKE RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO VERIFY THAT ALL ELECTRICAL WORK IS INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, FEDERAL, AND FEDERAL CODES.
7. EVERY BUILDING HAVING A FORMAL, FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS DERIVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COORDINATION WITH A PROFESSIONAL ALARM INSTALLER SHALL BE LIMITED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

ELECTRICAL KEY

- ⊕ DUPLEX OUTLET
- ⊕ RECEPTACLE
- ⊕ RECEPTACLE WITH DUPLEX OUTLET
- ⊕ GFI
- ⊕ GFI WITH DUPLEX OUTLET
- ⊕ 200V
- ⊕ REINFORCED JUNCTION BOX
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ CEILING MOUNTED RECESSED LIGHT FIXTURE
- ⊕ WALL MOUNTED RECESSED LIGHT FIXTURE
- ⊕ RECESSED RECESSED LIGHT FIXTURE
- ⊕ RECEPTACLE WITH VAPOR PROOF DOWNHAT FAN VENT TO EXTERIOR
- ⊕ DOWNHAT FAN VENT TO EXTERIOR
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE

ELECTRICAL KEY

- ⊕ CEILING MOUNTED RECESSED LIGHT FIXTURE
- ⊕ WALL MOUNTED RECESSED LIGHT FIXTURE
- ⊕ RECESSED RECESSED LIGHT FIXTURE
- ⊕ RECEPTACLE WITH VAPOR PROOF DOWNHAT FAN VENT TO EXTERIOR
- ⊕ DOWNHAT FAN VENT TO EXTERIOR
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE

ELECTRICAL KEY

- ⊕ CHIMNEY
- ⊕ FURN DUCTION OUTLET
- ⊕ SMOKE DETECTOR
- ⊕ BATTERY BACKUP
- ⊕ CO2 DETECTOR
- ⊕ THERMISTAT
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ ELECTRICAL FETTER
- ⊕ ELECTRICAL PANEL
- ⊕ PRECONNECT OUTLET

ELECTRICAL KEY

- ⊕ CEILING FAN (PROVIDE ADEQUATE SUPPORT)
- ⊕ CEILING FAN WITH RECESSED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
- ⊕ GAS SUPPLY LINE VALVE
- ⊕ HAZE BEAMS
- ⊕ 1/2" WATER END OUT
- ⊕ WALL COCKE

NOTICE OF PLAN FROM THIS DRAWING OR OTHERWISE SHALL NOT RELIEVE THE DRAFTER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY OF ERROR IN NOTES, DIMENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE SUBJECT TO THE ATTENTION OF THE CONTRACTOR OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY REVISIONS OR CHANGES NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES. IF ANY REVISIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE CONTRACTOR OFFICE, THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE.

ELECTRICAL OPTION

NOTE: SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE

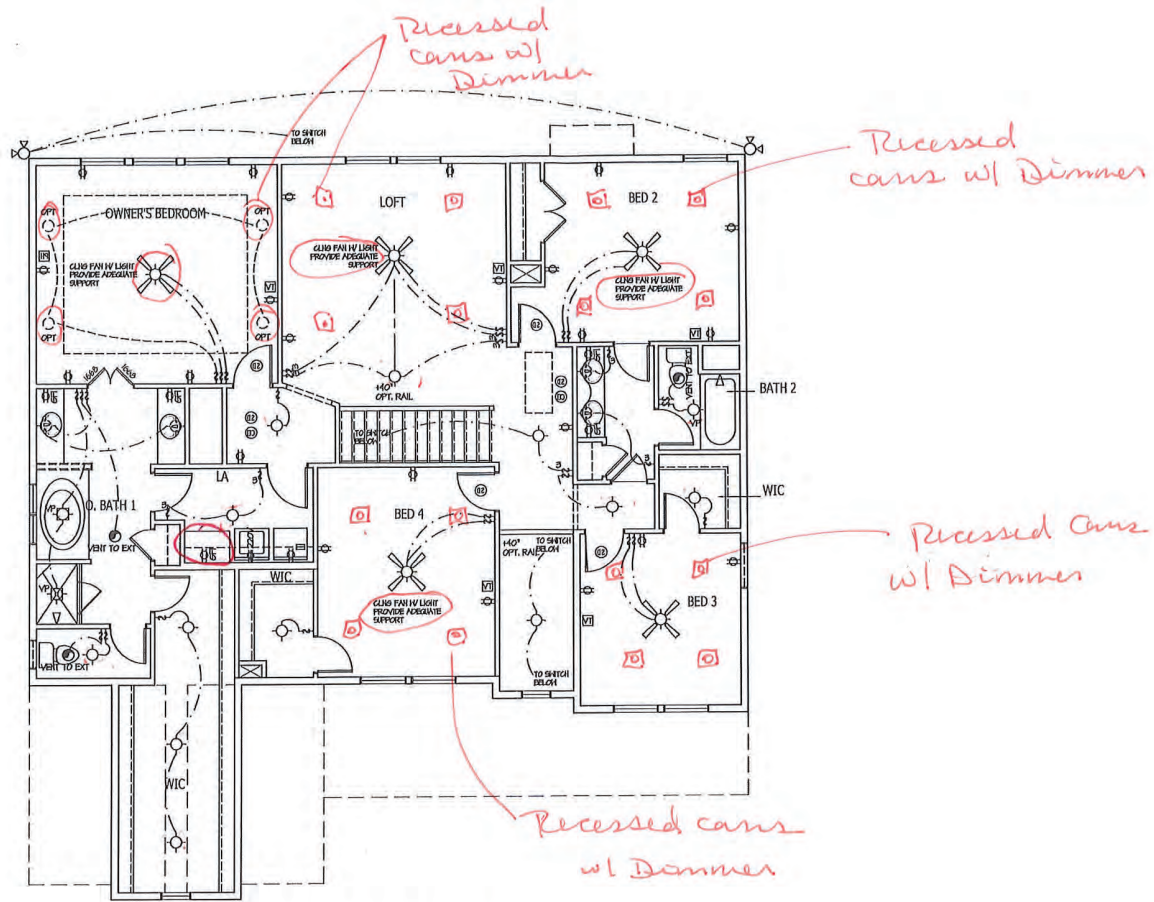


JOB NUMBER	2102.07
DATE FOR ISSUE	10/24/11
ISSUED	11-22-11
REVISED	11-22-11
REVISION	11-22-11

DRAWINGS ON THIS SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT
H&H HOMES

THE UPPER FLOOR ELEC. PLAN
SHEET
E8



2ND FLOOR PLAN 'B'

- NOTES:**
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS INDICATED ON PLANS OR AS PER NEC 4 AND 5 BELOW INDICATED.
 2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS UNLESS FROM THE FLOOR:
 - SWITCHES... 4'
 - OUTLETS... 18"
 - TELEPHONE... 48"
 - TELEVISION... UNLESS ADV. CONTRACTOR
 - TELEVISION... 36"
 3. ALL SMOKE DETECTORS SHALL BE HANGING INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A HANGING BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED BATTERY BACKUP.
 4. ALL BA AND SAN RECEPTACLES IN KITCHEN, BATH, FAMILY ROOMS, DINING ROOMS, BREAK ROOMS, PANTRY, BREAK ROOMS, OFFICE, RECREATION ROOMS, CLOSETS, HALLWAYS, AND OTHER AREAS SHALL REQUIRE A CORROSION TYPE APPL. DEVICE AND WATER-PROOF RECEPTACLES.

- NOTES:**
5. ALL BA AND SAN RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (GFI).
 6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
 7. EVERY BUILDING HAS A FORMAL ALC. AIRING SYSTEM OR APPLIANCE. INTERLOCK OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
 8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. COORDINATION WITH REGIONAL TELEPHONE ALARMS SHALL BE LIMITED OR LABELED BY ANTI-CALL RECEPTION WITH LOCAL SERVICE.

ELECTRICAL KEY

()	DUPLEX OUTLET
()	LEAK-PROOF GFI DUPLEX OUTLET
()	GROUND-FULLY CIRCUIT-INTERCEPTER DUPLEX OUTLET
()	WALL-MOUNTED DUPLEX OUTLET
()	250 VOLT OUTLET
()	REINFORCED JUNCTION BOX
()	WALL SWITCH
()	THREE-WAY SWITCH
()	FOUR-WAY SWITCH

ELECTRICAL KEY

()	CELLING MOUNTED RECESSED LIGHT FIXTURE
()	WALL MOUNTED RECESSED LIGHT FIXTURE
()	RECESSED RECESSED LIGHT FIXTURE
()	WATER-PROOF EXHAUST FAN (VENT TO OUTDOOR)
()	DOWNBLOW FANLIGHT COOPERATION (VENT TO OUTDOOR)
()	RECESSED LIGHT FIXTURE
()	TECHNICAL SYMBOL

ELECTRICAL KEY

()	CBES
()	FANH DITCH SWITCH
()	NOY SMOKE DETECTOR
()	WATER BATTERY BACKUP
()	COV DETECTOR
()	TELEPHONE
()	TELEVISION
()	ELECTRICAL METER
()	ELECTRIC PANEL
()	DISCONNECT SWITCH

ELECTRICAL KEY

()	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
()	CEILING FAN WITH RECESSED LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
()	GAS SUPPLY WITH VALVE
()	HOSE DRAIN
()	1/4" WATER MAIN OUT
()	WALL SOCKET

ISSUANCE OF PLANS FROM THIS DRAFTING OFFICE SHALL NOT RELIEVE THE DRAFTER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY SURRENDER OF DRAWINGS, ORIGINALS OR REVISIONS TO APPLICABLE BUILDING CODES SHALL BE DEPOSITED TO THE ATTENTION OF THE DRAFTING OFFICE FOR CORRECTION BEFORE COMMENCEMENT OF ANY CONSTRUCTION. ANY PERSON OR PERSONS NOT RELATED TO THE DRAFTING OFFICE WHOSE CONSTRUCTION IS RELATED TO THESE PLANS SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION. IF ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTING OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

UPPER FLOOR ELECTRICAL PLAN 'B'

NOTE: SCALE IS 1/4" = 1'-0" IF PRINTED IN HALF SIZE SCALE IS 1/8" = 1'-0" IF PRINTED IN FULL SIZE

GARAGE LEFT



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951
www.kse-eng.com (215) 804-4449

REDBUD

CAROLINA DIVISION

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS "THE BUILDING CODE"):
• 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:

- ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
- UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
- FLOOR = 40 PSF
- FLOOR (SLEEPING AREAS) = 30 PSF
- DECK = 40 PSF
- BALCONY = 40 PSF
- STAIRS = 40 PSF

DESIGN DEAD LOADS:

- ROOF TRUSS = 17 PSF (TC=7, BC=10)
- FLOOR TRUSS = 15 PSF (TC=10, BC=5)
- FLOOR JOIST = 10 PSF
- QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.

DESIGN WIND LOADS:

- ULTIMATE WIND SPEED = 120 MPH
- EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PCF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_b=2,325 PSI, F_v=310 PSI, F_c=900 PSI
- LVL: E=2,000,000 PSI, F_b=2,600 PSI, F_v=285 PSI, F_c=750 PSI
- PSL: E=2,100,000 PSI, F_b=2,900 PSI, F_v=290 PSI, F_c=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRS R301.1.3.



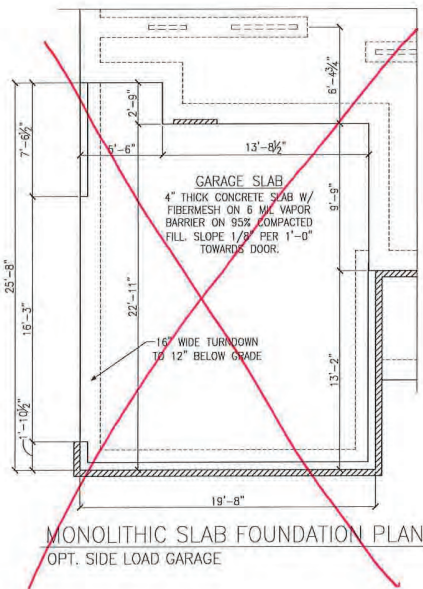
Cover Sheet

Redbud Model - RH
120 M.P.H.
Carolina Division

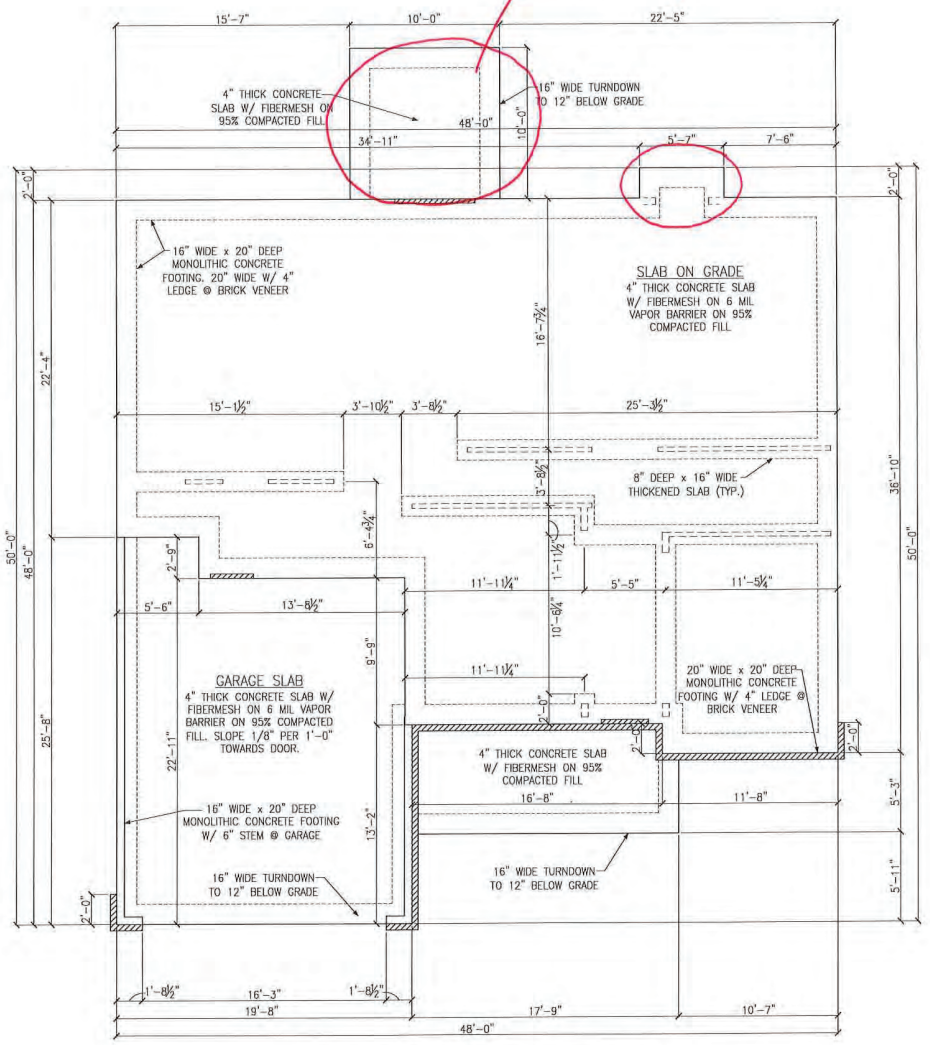
Project #: 105-16009
Designed By: KRK
Checked By:
Issue Date: 4/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34



S-0



see cov. porch opt.



MONOLITHIC SLAB FOUNDATION PLAN
ELEVATION A

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE.
- INTERIOR BEARING WALL.
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.

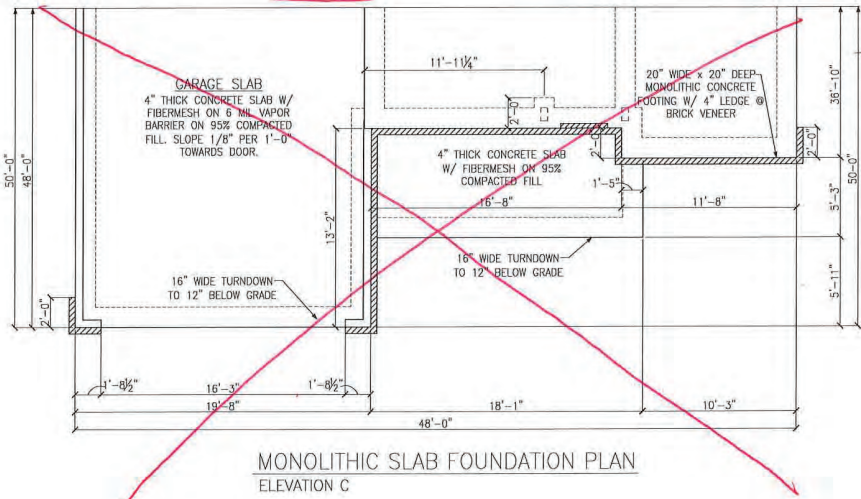
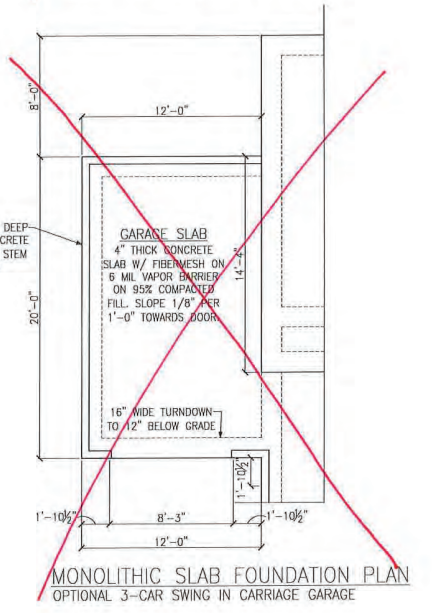
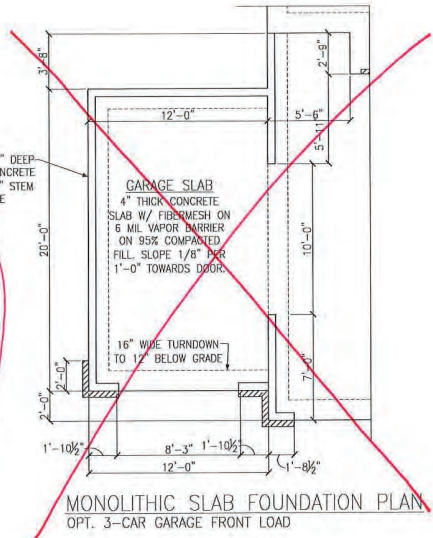
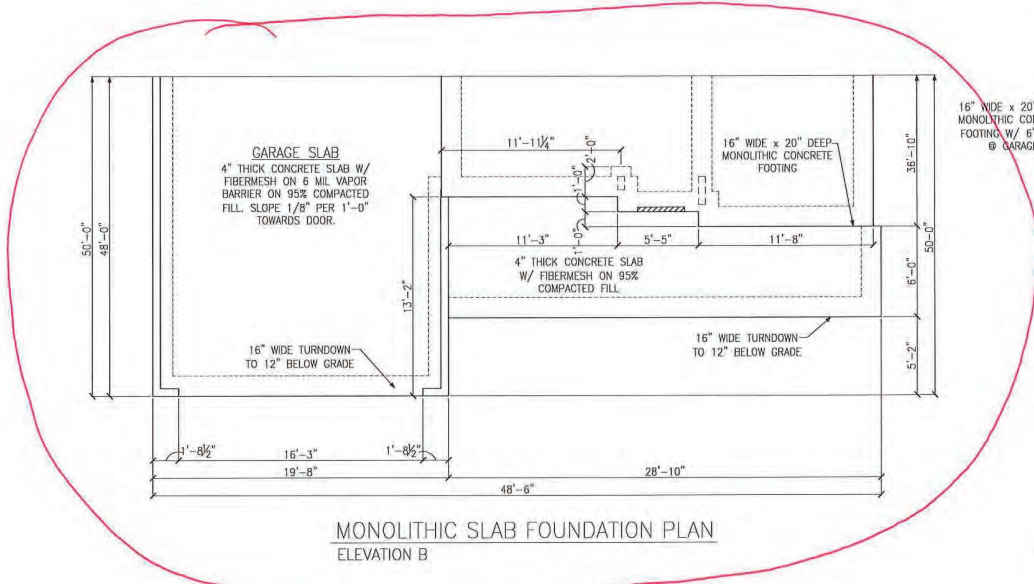
KEYNOTES:

⑦ REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL A OR B/SD-4.



Monolithic Slab Foundation Plans
Elevation A & Option
Redbud Model - LH
120 M.P.H.
Carolina Division

Project # 105-16009
Designed By: KKR
Checked By:
Issue Date: 4/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

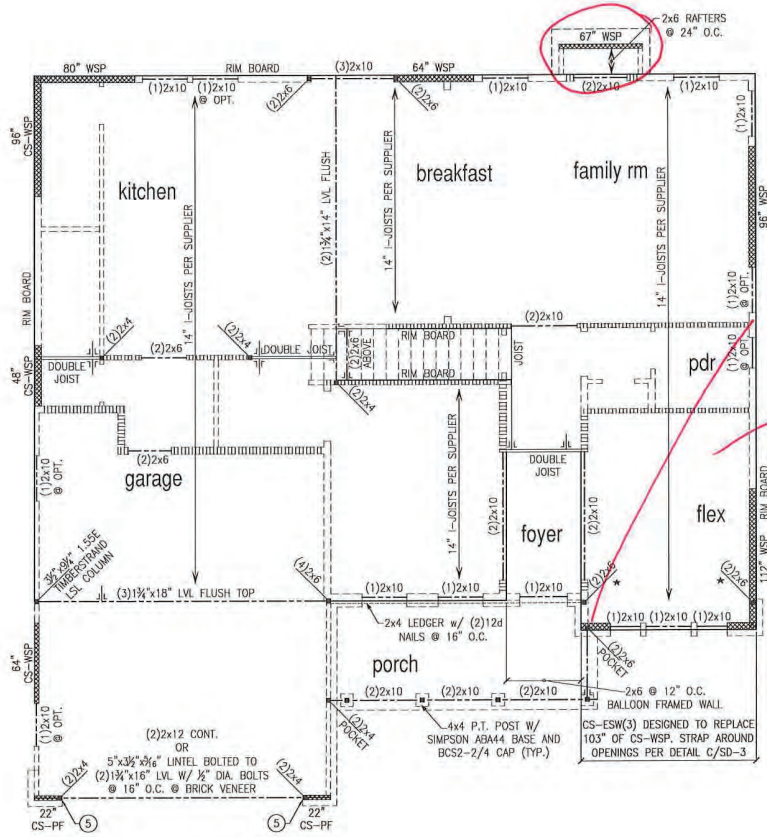


LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
	46" WSP
	LOCATION OF DOOR ABOVE
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
KEYNOTES:	
⑦	REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL A OR B/SD-4.



Monolithic Slab Foundation Plans
 Elevations B, C & Options
 Redbud Model - LH
 120 M.P.H.
 Carolina Division

Project #: 105-18009
 Designed By: KKK
 Checked By: KKK
 Issue Date: 4/1/19
 Re-issue:
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34

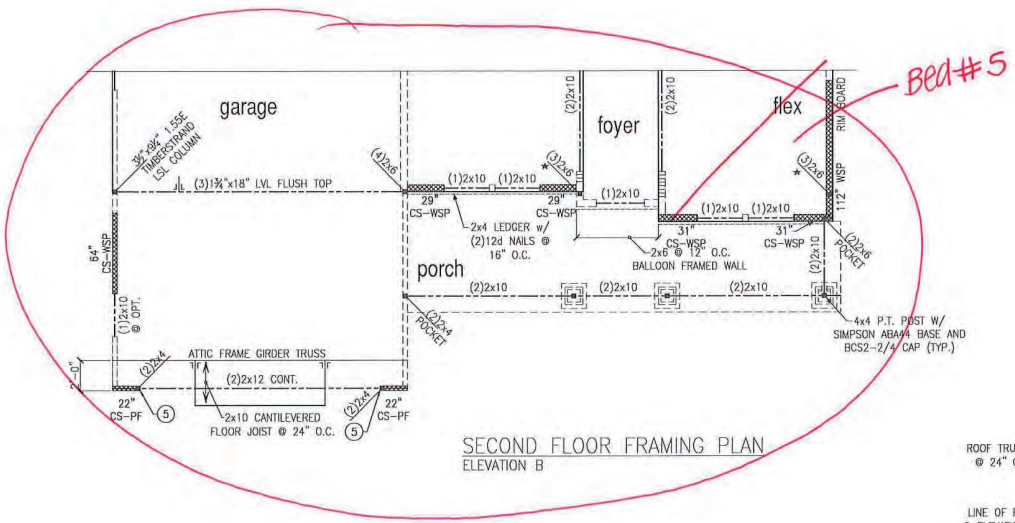


*Bed # 5 / Bath # 3
opt.*

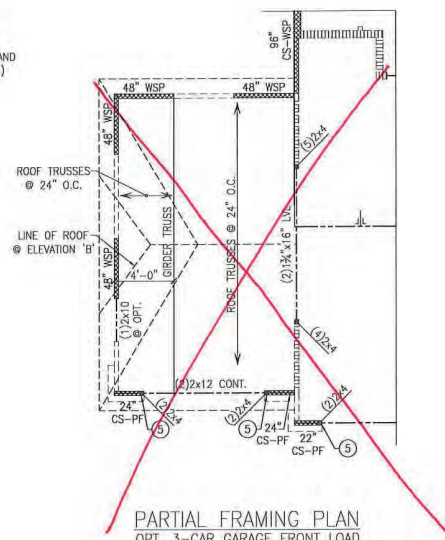
SECOND FLOOR FRAMING PLAN
ELEVATION A
see elev. B

LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
	48" WSP
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.	
KEYNOTES:	
(5)	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

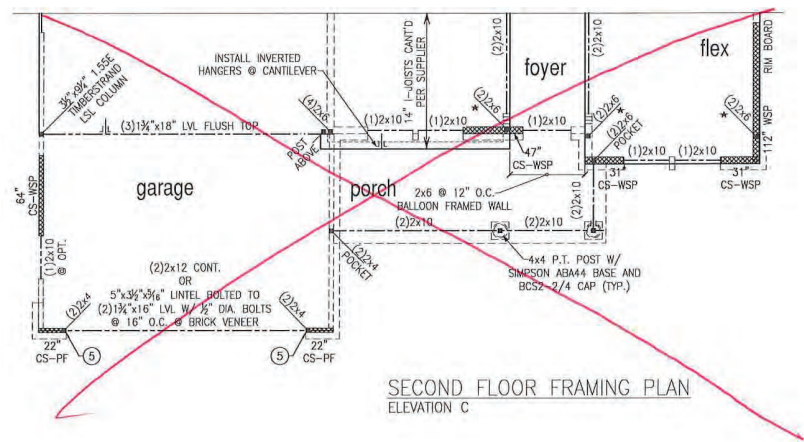




SECOND FLOOR FRAMING PLAN
ELEVATION B



PARTIAL FRAMING PLAN
OPT. 3-CAR GARAGE FRONT LOAD



SECOND FLOOR FRAMING PLAN
ELEVATION C

LEGEND

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- ▤ INTERIOR BEARING WALL
- ▨ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9" WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

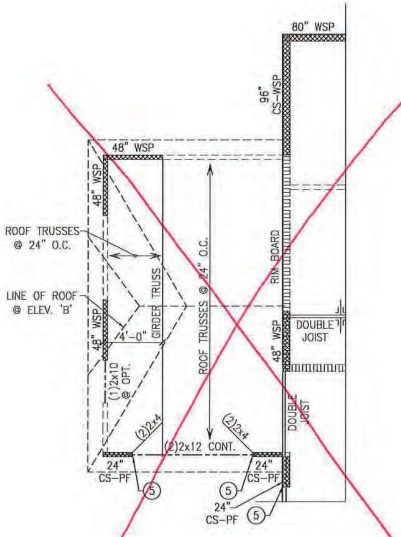
KEYNOTES:

⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

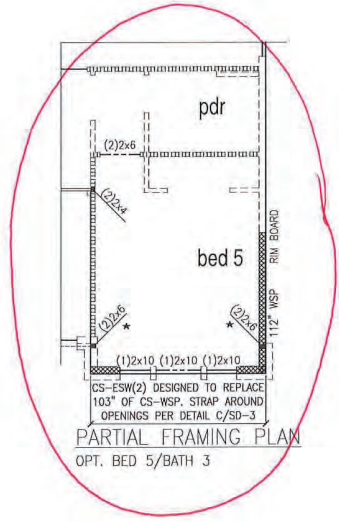


Second Floor Framing Plans
Elevations B, C & Option
Redbud Model - LH
120 M.P.H.
Carolina Division

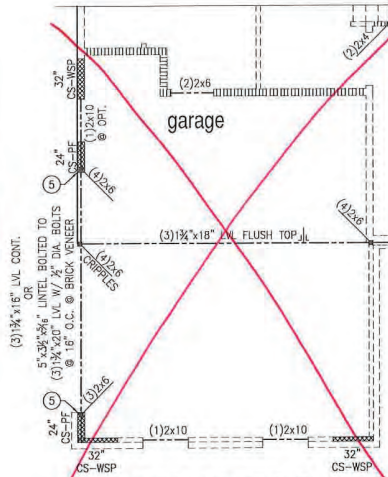
Project #: 105-16009
Designed By: KRK
Checked By:
Issue Date: 4/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34



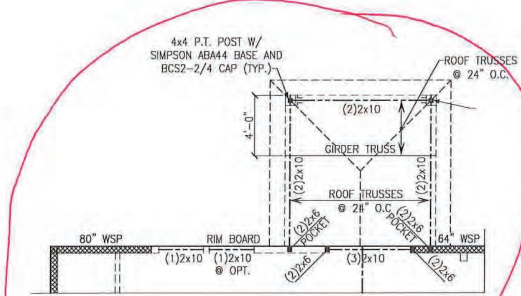
PARTIAL FRAMING PLAN
OPTIONAL 3-CAR SWING IN CARRIAGE GARAGE



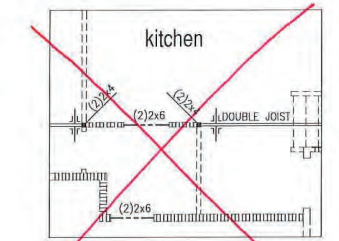
PARTIAL FRAMING PLAN
OPT. BED 5/BATH 3



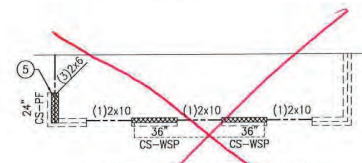
PARTIAL FRAMING PLAN
OPT. SIDE LOAD GARAGE
ELEVATIONS A & C



PARTIAL FRAMING PLAN
OPT. COVERED PATIO
porch



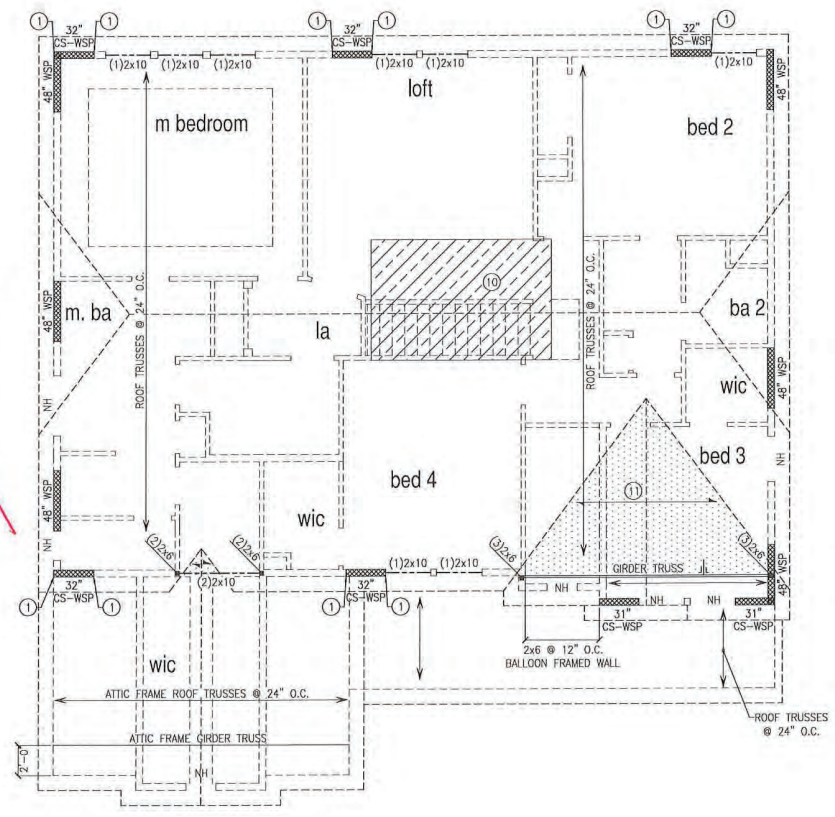
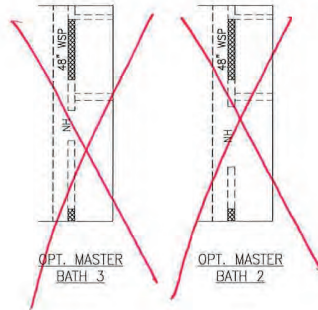
PARTIAL FRAMING PLAN
OPT. BUTLER PANTRY CABINET WRAP



PARTIAL FRAMING PLAN
OPT. SIDE LOAD GARAGE
ELEVATION B

LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE.
	INTERIOR BEARING WALL
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9\"/>	
FLOOR FRAMING TO BE 14\"/>	
KEYNOTES:	
	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





ROOF FRAMING PLAN
ELEVATION B

LEGEND

- * → PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE.
- ▤ → INTERIOR BEARING WALL
- ▨ → BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

KEYNOTES:

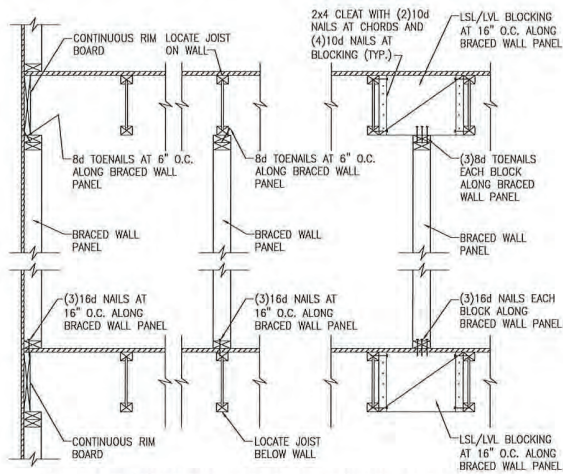
- ① CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.
- ⑩ 8'x12' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- ⑪ 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)



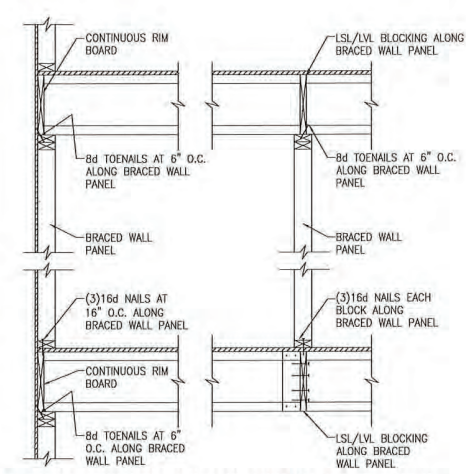
Roof Framing Plan
Elevation B
Redbud Model - LH
120 M.P.H.
Carolina Division

Project #: 105-16009
Designed By: KKK
Checked By:
Issue Date: 4/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

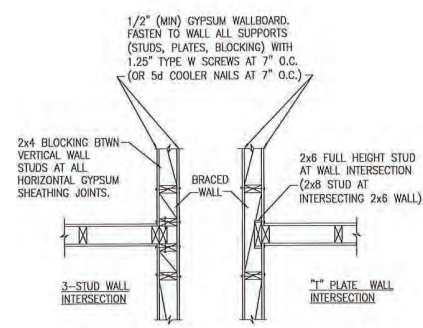
S-3.1



A TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS

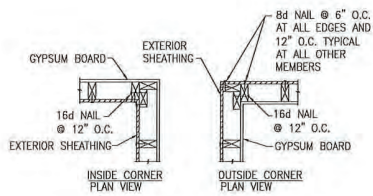


B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

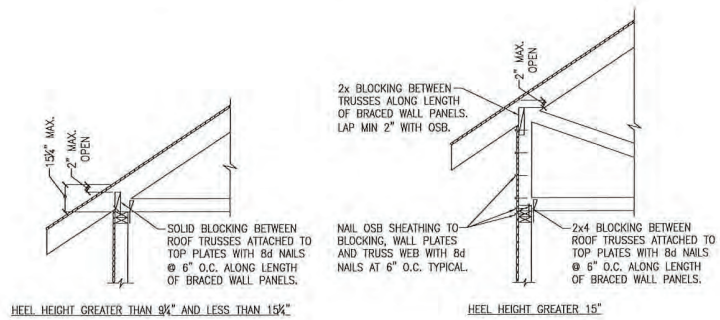


BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

C METHOD GB(1) AND GB(2) INTERSECTION DETAILS



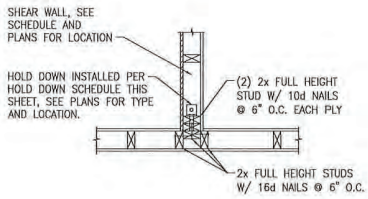
D TYPICAL EXTERIOR CORNER WALL FRAMING



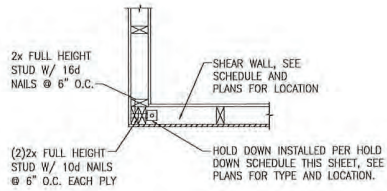
E ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS



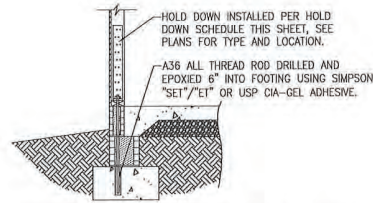
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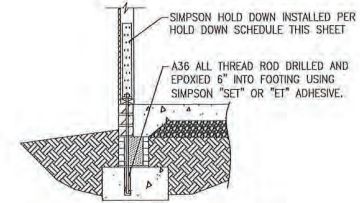
(A) TYPICAL HOLD DOWN DETAIL



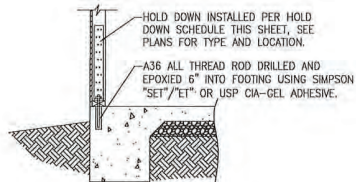
(B) TYPICAL HOLD DOWN DETAIL



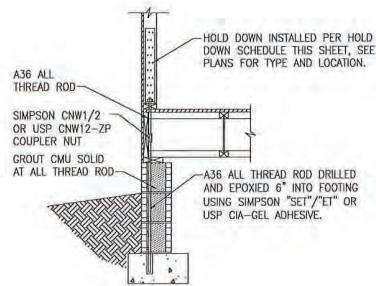
(C) HOLD DOWN AT STEMWALL SLAB FOUNDATION



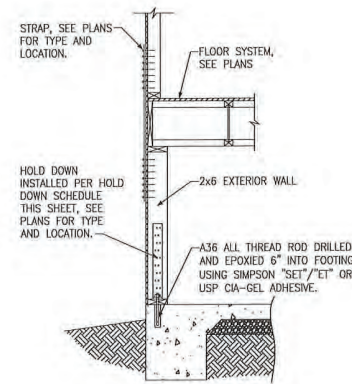
(C) HOLD DOWN AT STEMWALL SLAB



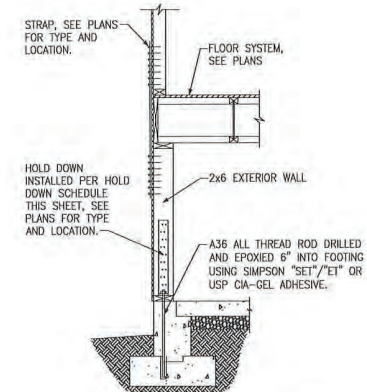
(D) HOLD DOWN AT MONOLITHIC SLAB FOUNDATION



(E) HOLD DOWN AT CRAWL SPACE FOUNDATION



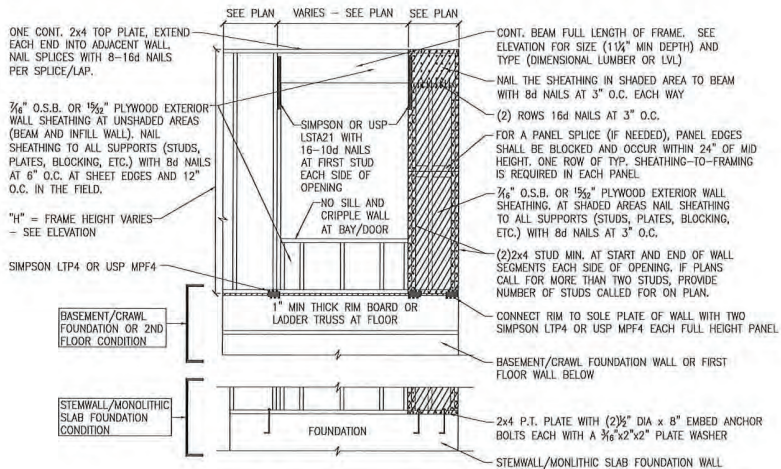
(F) HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



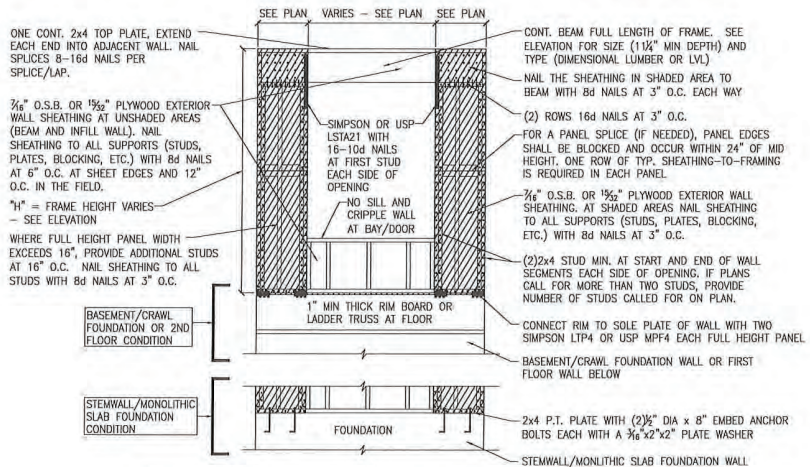
(G) HOLD DOWN AT BASEMENT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE			
HOLD DOWN	USP	ALL THREAD ROD	FASTENERS
LTT20B	LTS20B	1/2" DIA.	(10)10d NAILS
HTT4	HTT16	3/8" DIA.	(18)16dx2 1/2" LONG NAILS
HTT5	HTT45	3/8" DIA.	(26)16dx2 1/2" LONG NAILS

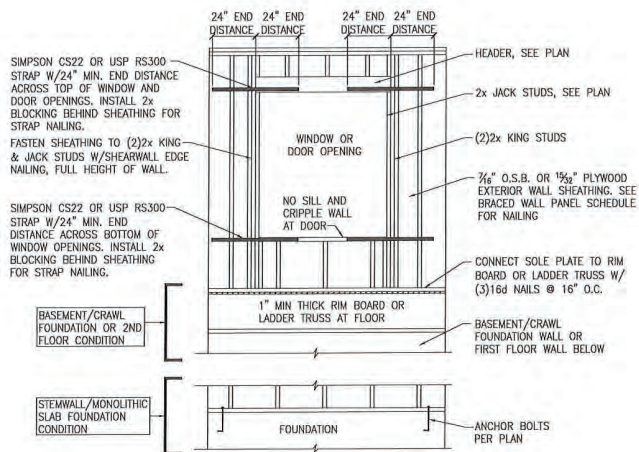




A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
ONE BRACED WALL SEGMENT



B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
TWO BRACED WALL SEGMENTS

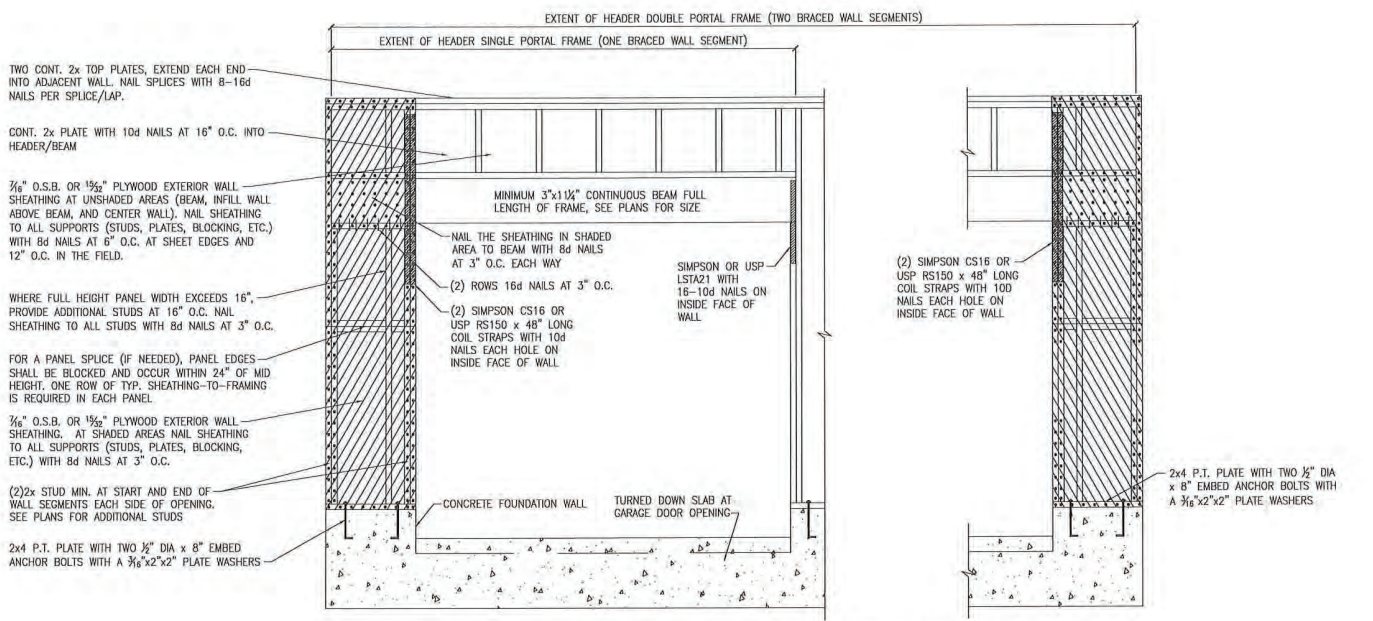


C WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL
ONLY REQUIRED WHERE SPECIFIED ON PLANS

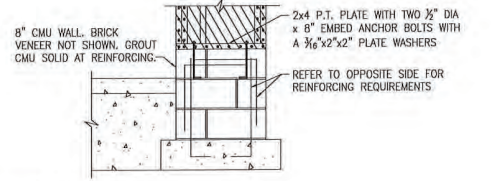
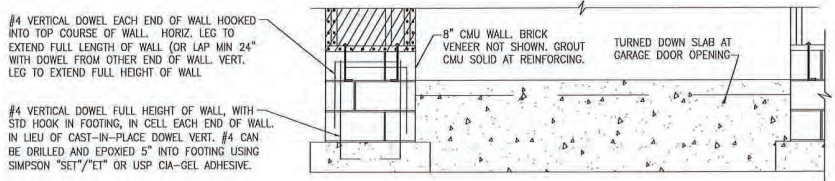
BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS.
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS.
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
PFH	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

BRACED WALL PANEL NOTES:

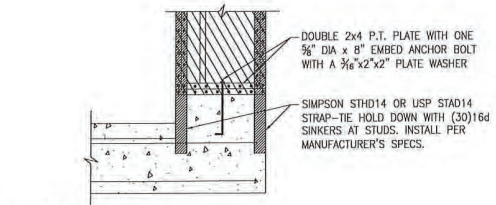
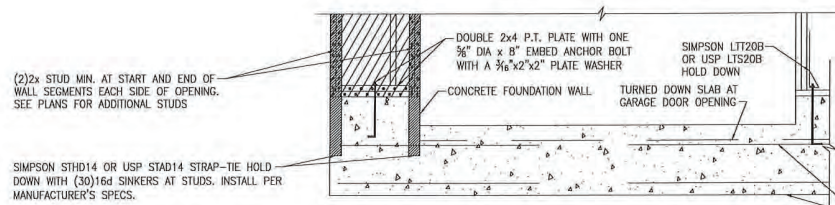
- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 7/16" O.S.B. OR 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.



A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
 MONOLITHIC SLAB OR BASEMENT FOUNDATION



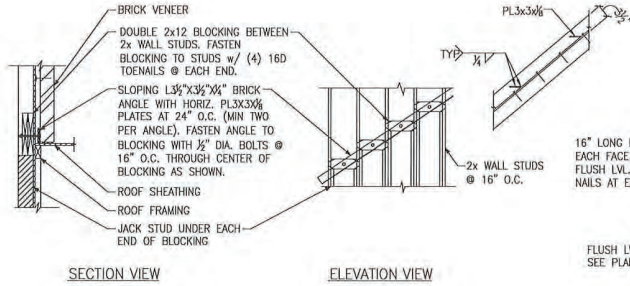
B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
 STEMWALL SLAB OR CRAWL SPACE FOUNDATION



C METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS
 MONOLITHIC SLAB OR BASEMENT FOUNDATION

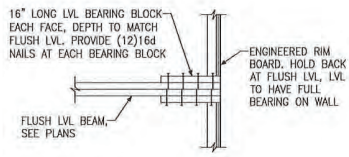
CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.



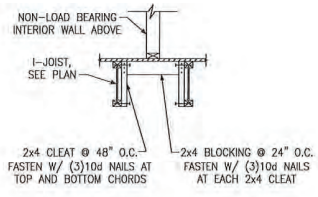


SECTION VIEW ELEVATION VIEW

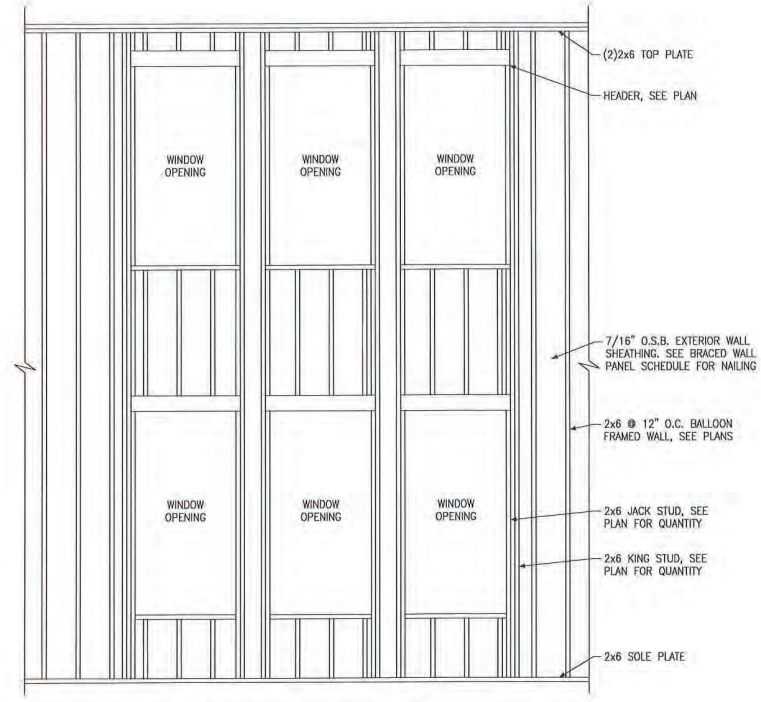
(A) BRICK LEDGER CONNECTION DETAIL



(B) BEARING ENHANCER FLUSH LVL



(C) I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



(D) BALLOON FRAMED WALL DETAIL N.T.S.



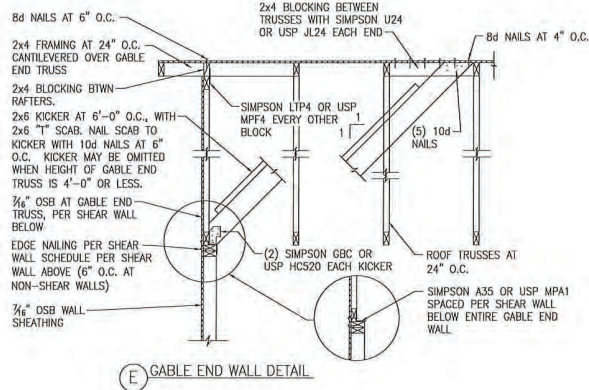
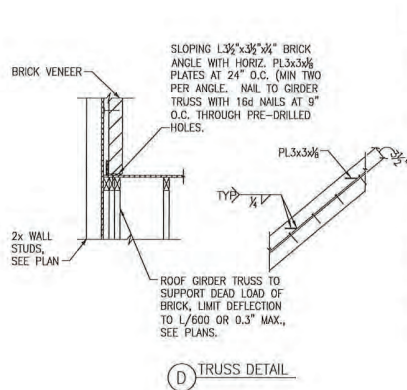
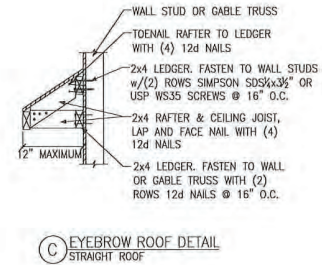
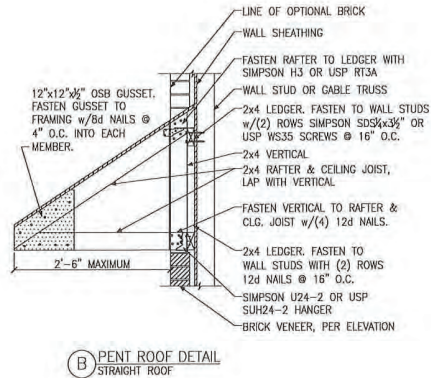
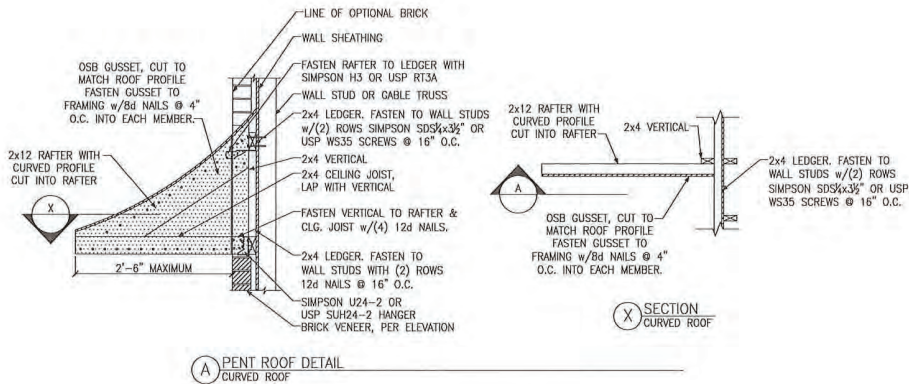
Miscellaneous Framing Details

120 M.P.H. Carolina Division



Project #:	105-19000
Designed By:	KRK
Checked By:	
Issue Date:	1/1/19
Re-Issue:	
Scale:	1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

SD-5



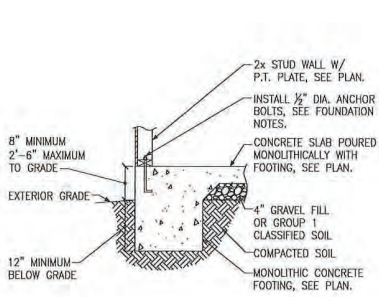
Miscellaneous Framing Details

120 M.P.H.
Carolina Division

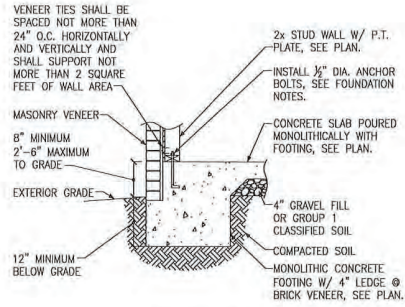


Project #:	105-19000
Designed By:	KRK
Checked By:	
Issue Date:	1/1/19
Re-Issue:	
Scale:	1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

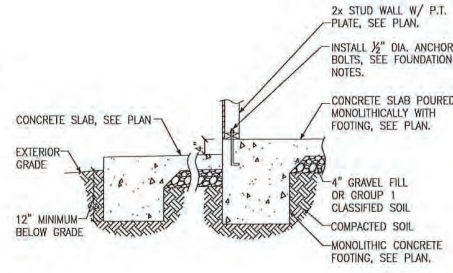
SD-6



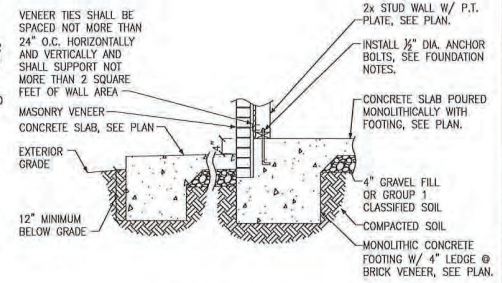
(A) FOUNDATION SECTION
EXTERIOR WALL



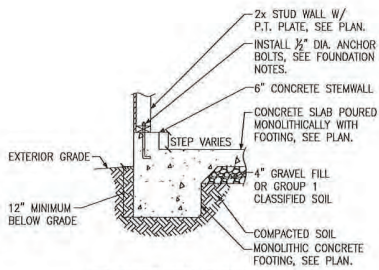
(B) FOUNDATION SECTION
EXTERIOR WALL @ MASONRY
VENEER



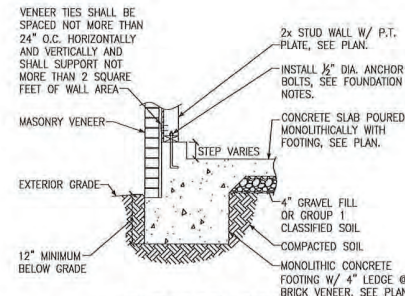
(C) FOUNDATION SECTION
EXTERIOR WALL AT PORCH



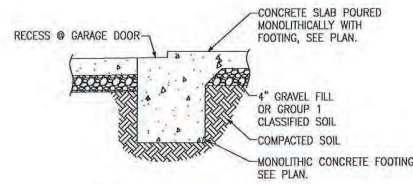
(D) FOUNDATION SECTION
EXTERIOR WALL AT PORCH W/ MASONRY
VENEER



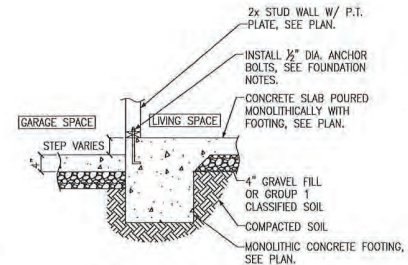
(E) FOUNDATION SECTION
EXTERIOR GARAGE WALL



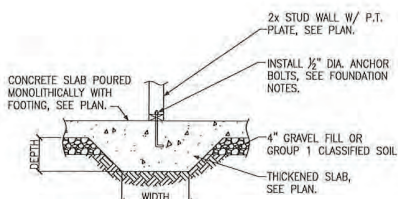
(F) FOUNDATION SECTION
EXTERIOR GARAGE WALL @ MASONRY
VENEER



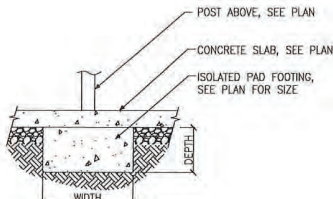
(G) FOUNDATION SECTION
GARAGE DOOR



(H) FOUNDATION SECTION
INTERIOR GARAGE WALL



(J) FOUNDATION SECTION
THICKENED SLAB



(K) FOUNDATION SECTION
ISOLATED PAD FOOTING

