REDBUD **H&H HOMES**

PLAN REVISIONS

II-71-B

D ADDED ROOF VENING CALCULATIONS FOR ELEVATIONS A, B, AND C,
3J ADDED ROOM DIVENSIONS TO ROOM LABELS FOR CLARITY

JOLANGE MARIESTS TO OWNERS INFOCKSION FFLANSELEVATIONS TO PEET HER
REGULERISMS.

JUPPAINED BAIRBOOM HAWING IN ACCORDANCE TO HHI STANDARDS.

5 TREVISED AND VERRIED SOURCE FOOTAGE.

I-16-2010 IJ CHANSED FIREFLACE TO OPTIONAL INSTEAD OF STANDARD PER HILL 2) UPDATED CITISHEETS.

REDBUD SQUARE F	OOTAGES	REDBUD SQUARE	FOOTAGES \	REDBUD SQUARE FO	OOTAGES
AREA	ECEV W	AREA	HEV B'	AREA	ETEA .C.
Ist FLOOR	1502 91	Ist FLOOR	ISOTI SF ISE FLOOR		1502 SF
2nd FLOOR	1123 SP	2nd FLOOR	1732 SF 2nd FLOC	R ×	1136 SF
TOTAL LIVINS	3225 SF	TOTAL LIVING	3234 SF TOTAL LI	VIIIS	3230 SF
SARAGE	464 SF	GARAGE	464 SF GARAGE		464 SF
PORCH	121 SF	PORCH	201 SF PORCH		128 55
OPT. COVERED PATIO	100 9	OPT. COVERED PATIO	IOO SF OPT. COM	PERED PATIO	100 SF
OPT 3-CAR GARAGE	240 SF	OPT. 3-CAR GARAGE	240 SF OPP. 3-C	AR GARAGE	240 SF

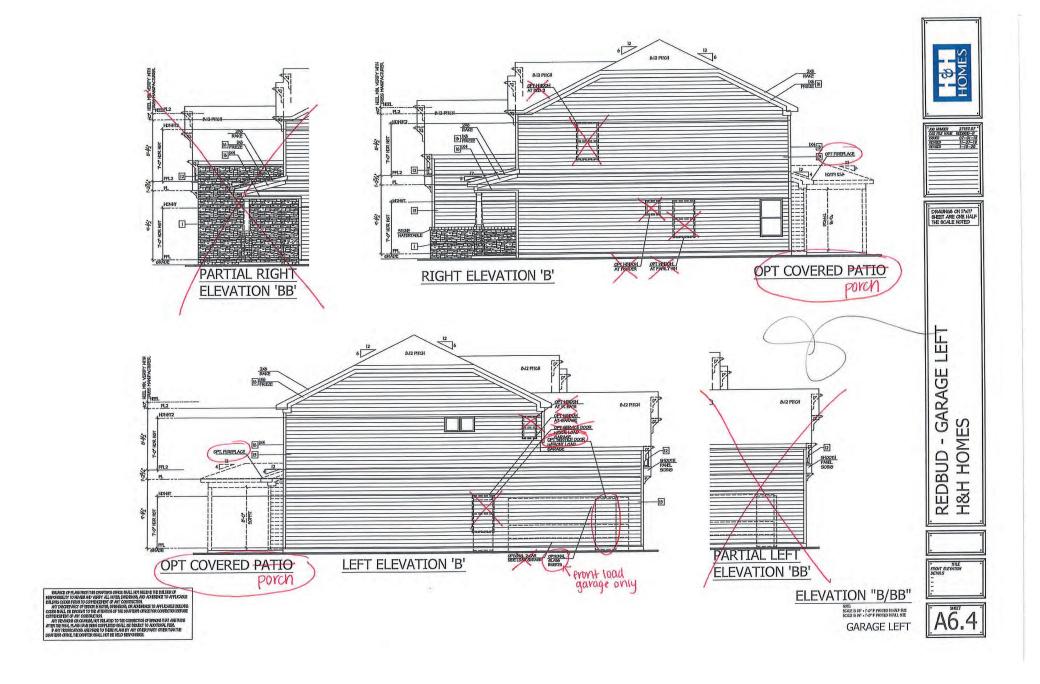
INSURCE OF FLAS FIRST INS CRIPTIES OTTOE BILL LIST RELIEVE THE DID DOR OF REPORTABILITY OF REVEALED AND WASTE FLAT LISTING, DISPESSOR, AND ADERDICE TO APPLICATE THE PROPERTY OF THE PROPERTY

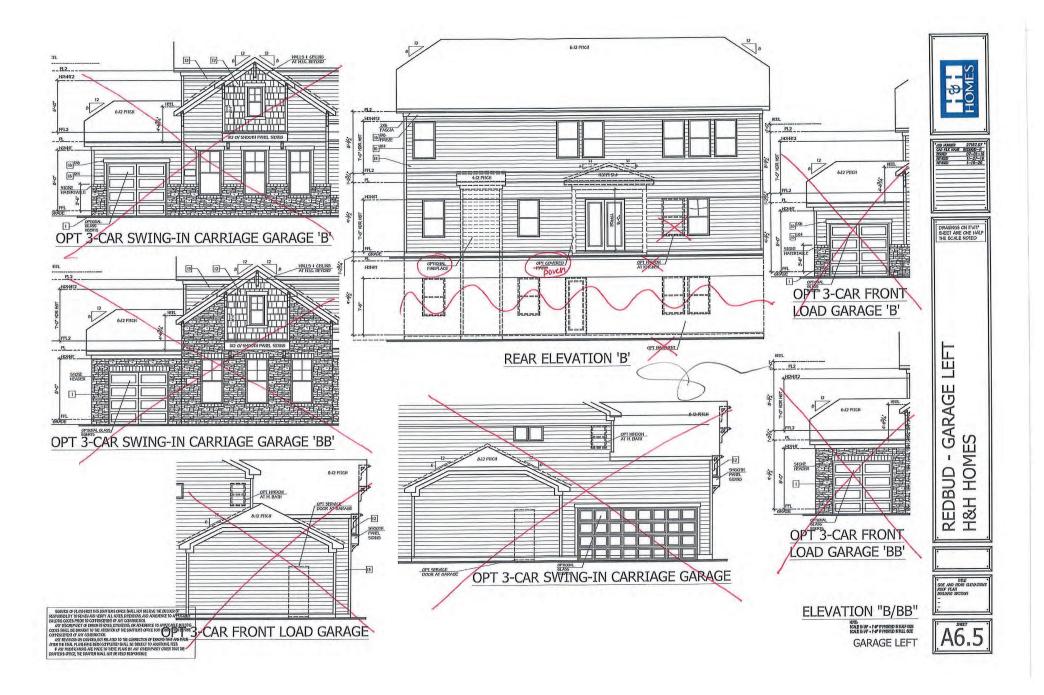
- GARAGE H&H HOMES REDBUD

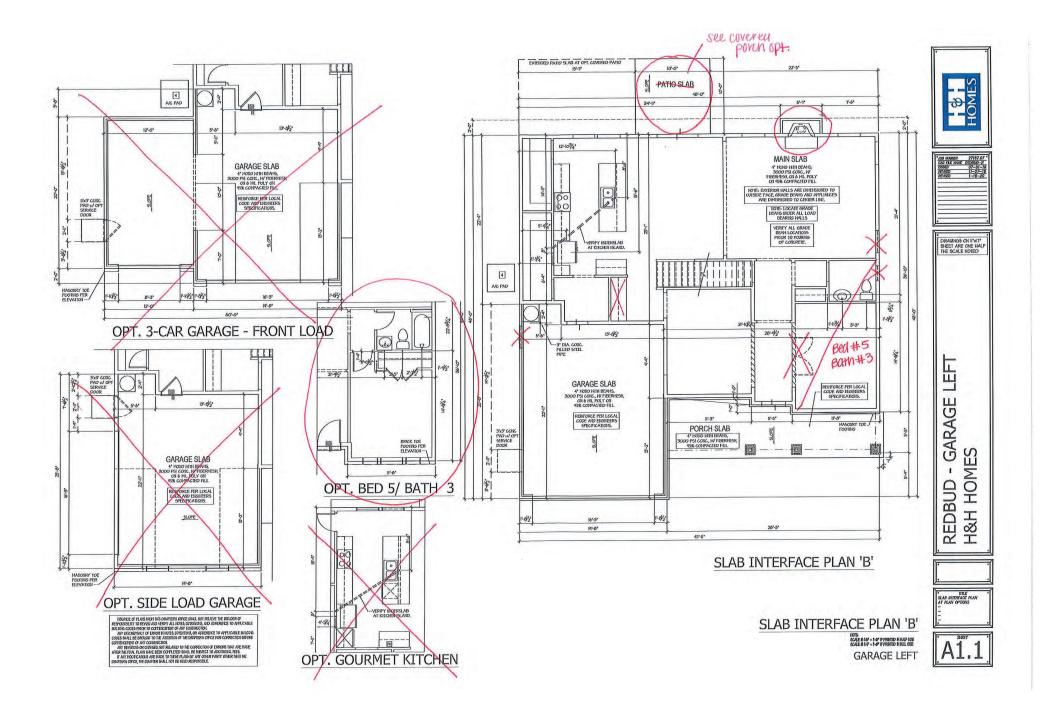
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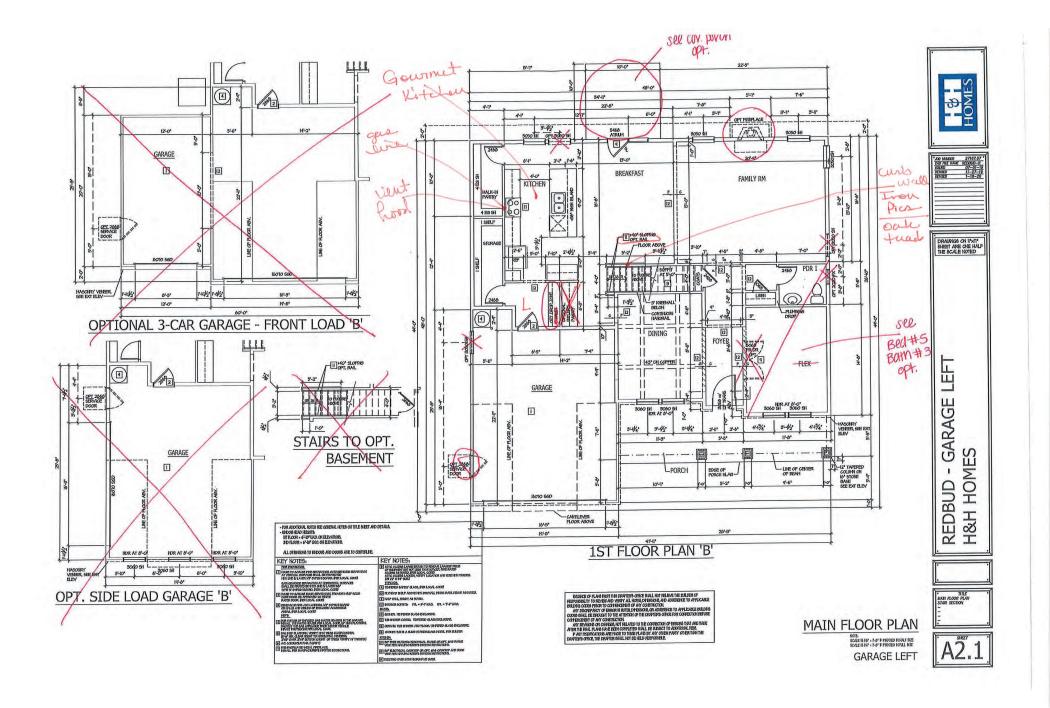


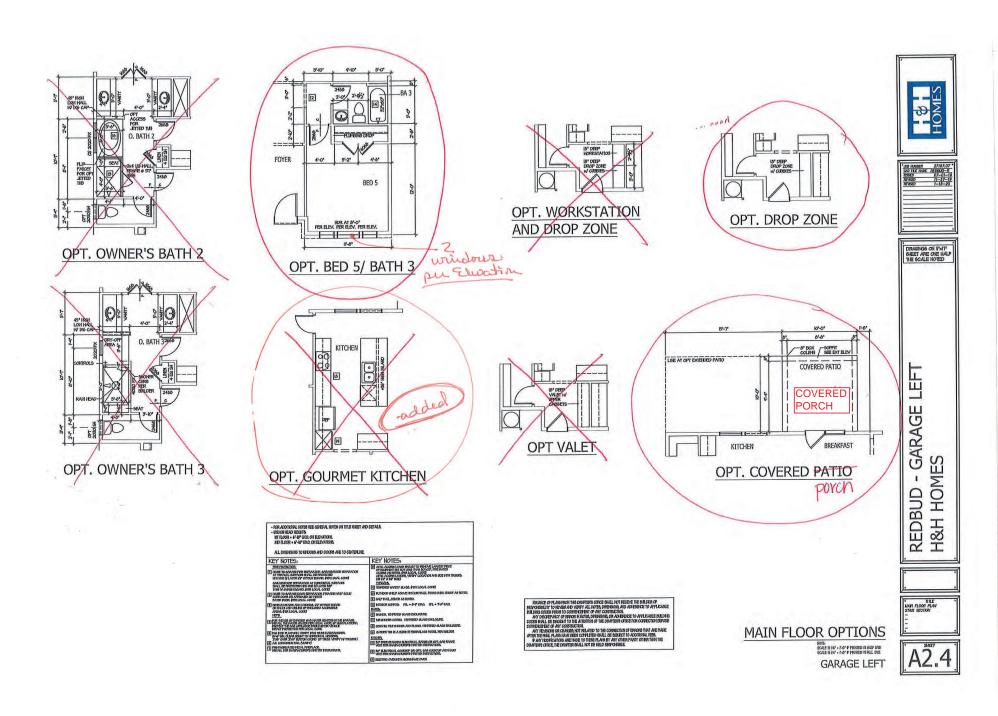


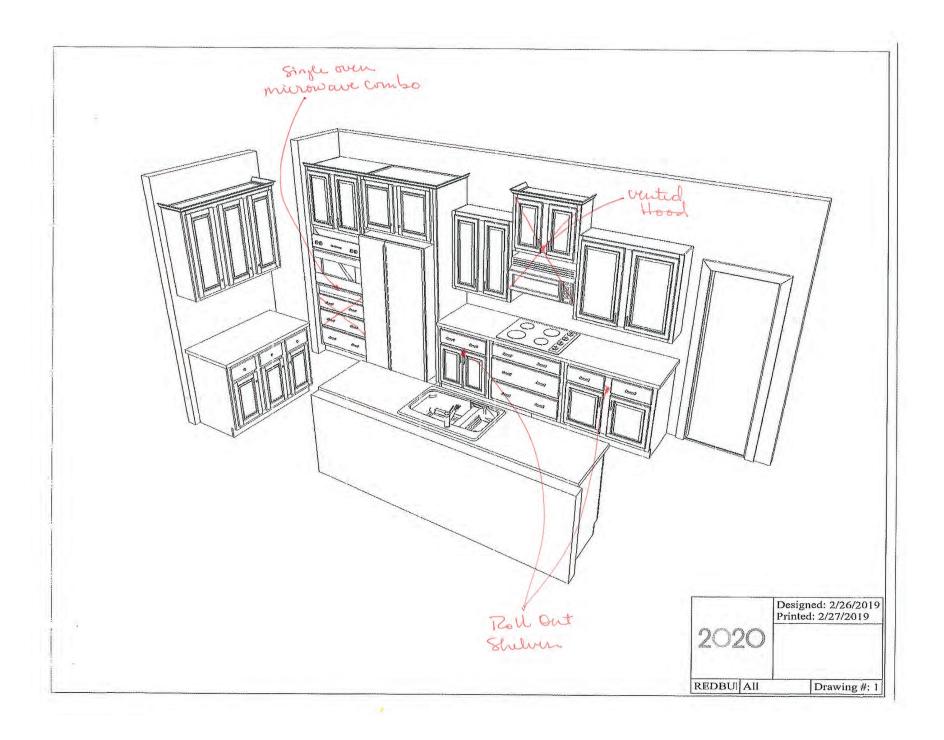


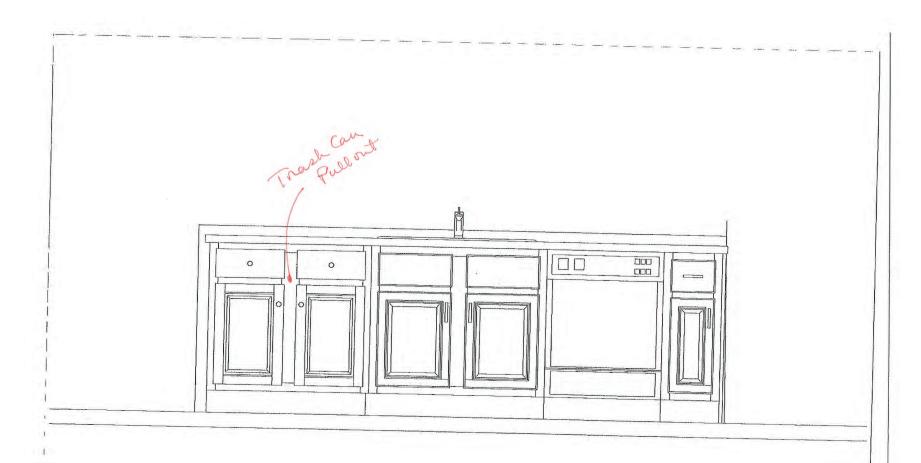






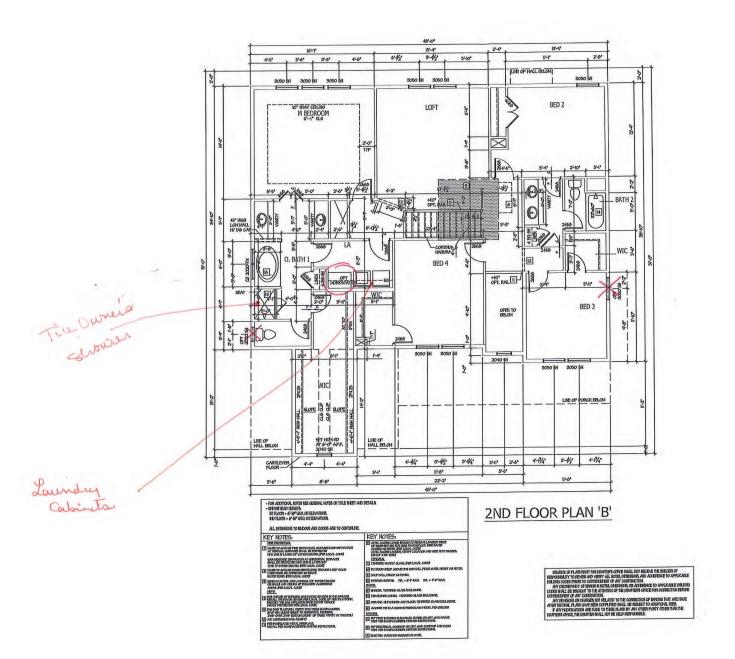






Designed: 4/26/2018
Printed: 7/16/2018

REDBU All Drawing #: 1







DRAWNGS ON II'XII' SHEET ARE ONE HALF THE SCALE NOTED

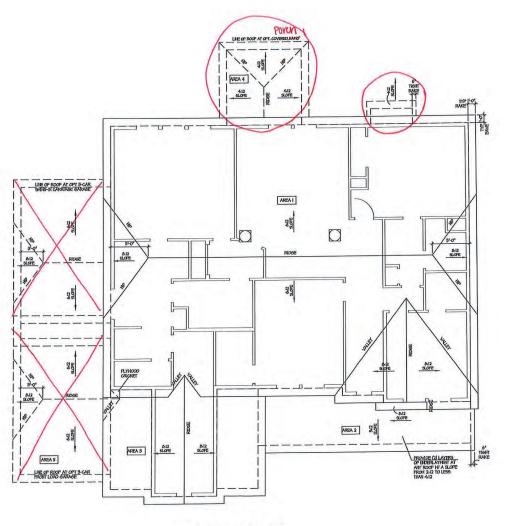
REDBUD - GARAGE LEFT H&H HOMES

UPPER FLOOR PLAN

SCALE IS NOT - F.-OF FRRIED IN HALF SIZE SCALE IS NOT - F-OF FRRIED IN HALF SIZE SCALE IS NOT - F-OF FRRIED IN HALF SIZE

A3.1

WAN FLOOR PLAN STAR SECTION



ROOF PLAN 'B'



DRAUNGS ON II'XII' SHEET ARE ONE HALF THE SCALE NOTED

REDBUD - GARAGE LEFT H&H HOMES

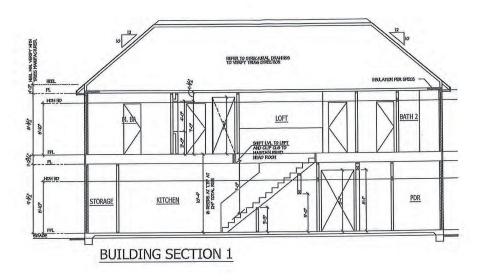


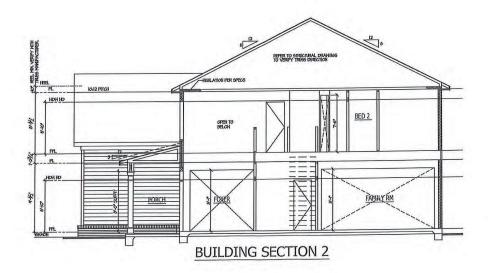
ROOF PLAN "B"

SOLE IS NOT - FOR PERSONED IN ILLE SEE
SCALE IS NOT - FOR PERSONED IN ILLE SEE
GARAGE LEFT

A4.1

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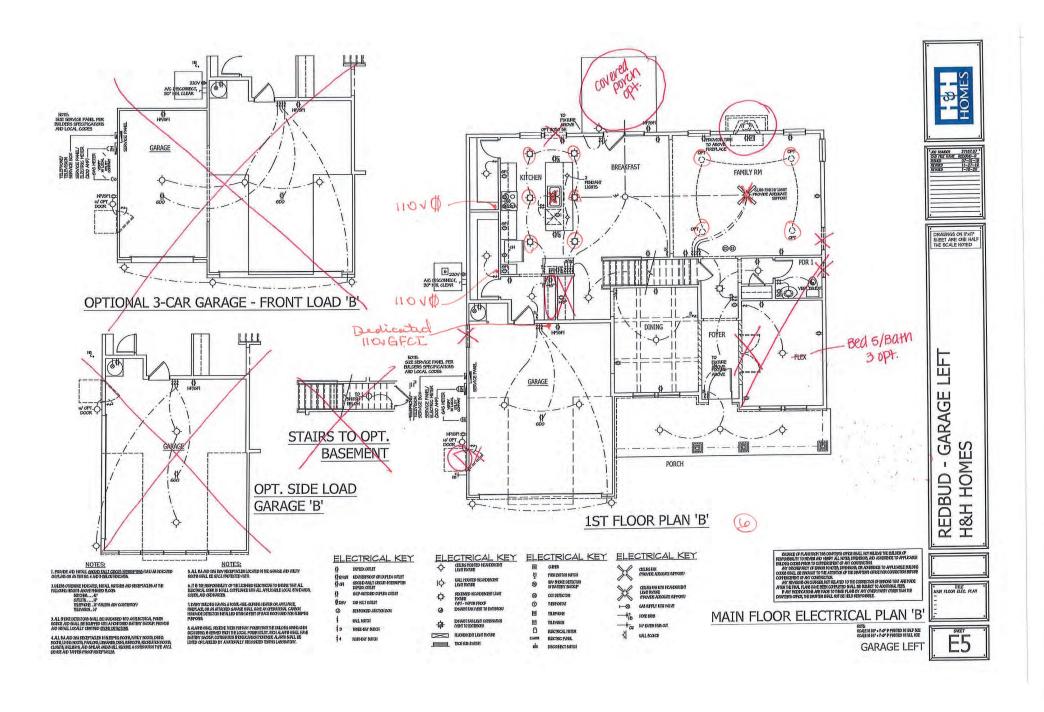
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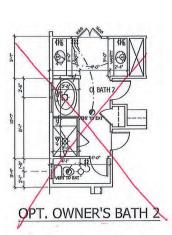
REDBUD - GARAGE LEFT H&H HOMES

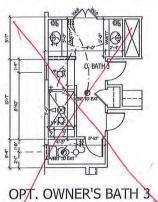
BUILDING SECTIONS

ONL
SOLE BY 1.00 F PRINTED HALD SEE
SOLE BY 1.00 F PRINTED HALD SEE
GARAGE LEFT

A5.0



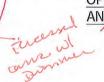


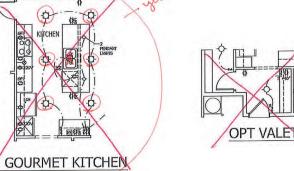


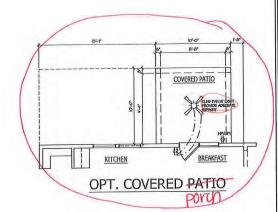














NOTES:

B. ALL BA AND 20'A DDY RECEPTICLES LOCATED IN THE GARAGE AND UTLETS BOOTHS WILL BE GECL PROTECTED (GEL)

ELECTRICAL KEY

DIFLEX OUTLET

200 VOLT OVILET RESTORCED JUICTICAL B

THREE-MAY BUTTON FOR-USY BUTGE

ELECTRICAL KEY ELECTRICAL KEY ELECTRICAL KEY

(VP) - V/POR PROCE

altes **РИН ВЛТОК СИТОК** COLDETECTOR 0 TATIONER

TELEPHONE THEYWOR 0 HECTRICAL PETER HACTRIC PANEL

CELLYS FAN (FRO/DE /DEQUATE BUFFORT)

-- GUS RIPTLY UTILYALVE

- +3 HOLE BIEST W WITER STUB OUT INT CONCE

NOMEC OF HABITED IN BOAPHER OFFICE BULL IN FILENCE THE DILETOR FERVINDENT OF FREE AN 1987 AL HOTEL DISEASE, AN ADTERIOR TO APPLICATE ANY DISEASE OFFICE OFFICE AN INDIA APPLICAD, AND ADDRESSOR TO APPLICATE ANY DISEASE OFFICE AND ADDRESSOR AND ADDRESSOR AND ADDRESSOR AND ADDRESSOR ADDRESSOR AND ADDRESSOR ADDRESSOR AND ADDRESSOR ADDRE

ELECTRICAL OPTION

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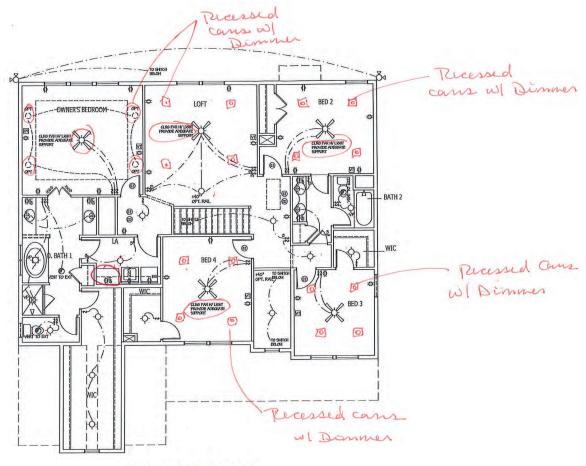


DRAWINGS ON II'xi1" SHEET ARE ONE HALF THE SCALE NOTED

田田 GARAGE REDBUD - GA H&H HOMES

TITLE CIRIC AT PLAN OPTIONS

E11



2ND FLOOR PLAN 'B'



I. FRO/CE AD NITAL GROUD FALL CROIT-HIBRAPTERS (GEU/AS NOICATED OF FAIR OF AS TESTING A AND IS BELOWN DECARED.

3. AL BYINE DETECTORS MALL DE HARDINED HTO AN ELECTRICAL POLER ROJACE AND GRALL DE EXIPPED UITH A MONTORED PATTERY BACKEP, PRO AND INSTALL LOCALLY CERTIFED BLIKE DETECTORS

A ALL BA AND YAN RECEPTACES IN KLEEPING ROCKS, FARLY ROCKS, DANK ROCKS, LIMBS ROCKS, PARLORS, LEGURER, DANS ON ROCKS, ROCKENSOR ROCKS CLOSES, MULIUMS, AND BATLAY, ROCKS BLL, RECIPIE A COMBINISM THE APCL PAYCE AND THEIR PROCE RECOPPLACES.

NOTES:

IF WIT BY WID JOY BOA BEACH LIGHTED HOW WE CHARGE WID MATHLE.

A JUAN GIVL HECKE HER FRYKY POER IRON HE BUDNE WAS UEN DISTURNE IN ERVED FROM HE LOCAL POER WILM, DISTURATE BUYLL KIVE BATTER DUCKE, COMMINION BY SECURED HONDOR JUAN SIVEL ER WIND OF LIST DISTURY WILL Y REPORT THAT IS LIGHT FOR

ELECTRICAL KEY

DIFLEX CATLET 200 YOLT CUILET

INTERNIOR THREE-LAY GUTCH

HUDGESCENT LISHT FORDER

ELECTRICAL KEY

ELECTRICAL KEY ELECTRICAL KEY CRES RVI PITOL SITOL

LOV BYOKE DETECTOR LY BATTERY BACKLE COI DETECTOR TATISCHESTAT TELESIOE TELEVAKH 0 ELECTRICAL HETER

ELECTRIC PAREL

CELLNS FAN UNI NEAVOESCENT LESHT FORTHE (FRO/IDE ADEQUIE REPORT) - HB HOSE BES OU WHER SABOUT THAT ECONE

MODARE OF FLAN FROM THE DRAFTERS CHIEF BULL NOT FELLINE THE PRILETS OF FERCHARDLATY OF FROM AN UNITY ALL MOTE, DEFENCES, AND JOSEPHICE TO AFFLICALE BULDING LOCAL PRICE TO CONTRIBUTE OF ANY CONTRIBUTE ON AFFLICALE BULDIN ALT DISCORPANCY OF ERROR IN HOTEL, DEPOSING, OR ACCEPTANT ON AFFLICALE BULDING ALT DISCORPANCY OF ERROR IN HOTEL, DEPOSING, OR ACCEPTANT ON AFFLICALE BULDING THE PRICE OF THE

BILINE COSTS FROM 10 CATHELISTS IN AN COSTITUTION AT THE PROPERTY OF THE PROPE

UPPER FLOOR ELECTRICAL PLAN 'B'

HOTE COLE IS NOT + F-OF F FRONTED IN HALF BUTE COLE IS NOT + F-OF F FRONTED IN HALF BUTE **GARAGE LEFT**















1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951

www.kse-eng.com

(215) 804-4449

REDBUD

CAROLINA DIVISION

THESE DRAWNGS ARE TO BE USED IN COMJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CAVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWNIGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL LENDINEER OF RECORD (SEPS, SHOULD ANY DISCEPERANCES BECOME APPARENT, THE CONTRACTOR SHALL MOTIFY KEE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INITIAT OF THE ENGINEER ISSTED ON THESE DOCUMENTS THAT THESE DOCUMENTS THAT THESE DOCUMENTS THAT THESE DOCUMENTS IN THE STRUCTURE, PROVINGING LICENSED PROFESSIONALS CLEAR INFORMATION, VERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTRIBUTED THE PRIOR TO THE COMMENCIANT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISHISTEPRETATIONS UNDEFICIENT AND ALL SHOULD AND ALL

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'): 2018 NORTH CAROLINA RESIDENTIAL CODE, WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

- DESIGN LIVE LOADS:

 ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)

 UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)

 HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF

 - FLOOR = 40 PSF FLOOR (SLEEPING AREAS) = 30 PSF

 - DECK = 40 PSF BALCONY = 40 PSF STAIRS = 40 PSF

DESIGN DEAD LOADS:

- N DEAD LOADS: ROOF TRUSS = 17 PSF (TC=7, BC=10) FLOOR TRUSS = 15 PSF (TC=10, BC=5) FLOOR JOIST = 10 PSF
- QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS..

- DESIGN WIND LOADS:

 ULTIMATE WIND SPEED = 120 MPH
 - · EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:
- TIL 210 SERES (SERIES AND SPACING PER PLANS)
- ISL: E-5,05,000 PSI, Fg-2,226 PSI, Fg-201 PSI, Fg-900 PSI
- LVL E-2,000,000 PSI, Fg-2,000 PSI, Fg-265 PSI, Fg-750 PSI
- PSI: E-7,000,000 PSI, Fg-260 PSI, Fg-265 PSI, Fg-750 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE
ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRC R301.1.3.





RH

Redbud Model - 120 M.P.H. Carolina Division

Division

Cover Project #: 105-16009 Designed By: KRK

ssue Date: 4/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34



THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR DRAWMES IS THE STRUCTURE ENGINEER OF RECORD (SERY PURPLE) THIS PROJECT, HE SEE BEARS THE RESPONSIBILITY OF THE PRIMARY STRUCTURE, ELEMENTS AND THE PERFORMANCE OF THIS STRUCTURE, ON OTHER PARTY MAY REVISE, ALLER, OR DELETE ANY STRUCTURE, ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN CONSENT OF RESE ENGINEERING, P.C. OR THE SEE, FOR THE PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND KSE ENGINEERING SHALL BE CONSIDERED THE SAME ENTITY

ENGINEERING SHALL BE CONSIDERED IN E-SAME ENTIN'.

HE STRUCTURE IS ONLY STRABE IN 11S COMPLETED FORM. THE
CONTRUCTOR SHALL PROVIDE ALL REQUIRED TEMPORARY BRACHE,
OURNIN CONSTRUCTION TO STRABLIZE THE STRUCTURE.

HE SER IS NOT RESPONSIBLE FOR CONSTRUCTION SEQUENCES,
METHODS, OR TECHNIQUES IN FOR CONTRUCTION WITH THE CONSTRUCTION

OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CONFORM TO THE CONTRACT

THE CONTRACTOR'S FAILURE TO CONFORM ID THE CONTRACT DOCUMENTS, SHOULD ANY NON-CONFORMITIES OCCUR. THE SER DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY, THE SER CONTRACT DOCUMENTS TO THE SER CONTRACT DOCUMENTS. ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION

OTHERS, OF FOR CONSTRUCTION METHODS, OF THE NAME DEVALUES. FROM THE PLANS. THE SER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS, ANY STRUCTURAL ELEMENTS OR DETAILS NOT FULLY DEVELOPED ON THE CONSTRUCTION DRAWINGS SHALL BE COMPLETED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, THESE DRAWINGS SHALL BE SUBMITTED TO KSE ENGINEERING FOR REVIEW DISWANIES SHALL BE SUBMILLEU IN SEZ ENGINEERING FOR REVIEW BEFORE ANY CONSTRUCTION BEGINS. THE SHOP DRAWNES WILL BE REVIEWED FOR OVERALL COMPLIANCE AS IT RELATES TO THE STRUCTURAL DESIGN OF THIS PROJECT, VERFICATION OF THE SHOP DISWANNES FOR DIMENSIONS, OF FOR ACTUAL FIELD CONDITIONS, IS NOT THE RESPONSIBILITY OF THE SER OR NES ENGINEERING, P.C.

VERIFICATION OF ASSUMED FIELD CONDITIONS IS NOT THE VERTICATION OF ASSUMED FIELD CONDITIONS IS NOT THE
RESPONSIBILITY OF THE SER. THE CONTRACTOR SHALL VERIFY THE
FIFLO CONDITIONS FOR ACCURACY AND REPORT ANY DISCREPANCIES. FIELD CONDITIONS FOR ACCUPACT AND REPORT ANY DISCREPANCE TO KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. THE SER IS NOT RESPONSIBLE FOR ANY SECONDARY STRUCTURAL ELEMENTS OR NON-STRUCTURAL ELEMENTS, EXCEPT FOR THE ELEMENTS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS.

THIS STRUCTURE AND ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE AND ANY LOCAL CODES OR RESTRICTIONS

CODES OR RESINGUIONS.

9 DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

10. PROVIDE MOISTURE PROTECTION AND FLASHING PER ARCHITECTURAL

FOUNDATIONS:

FOUNDATIONS: SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE BUILDING CODE.

CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR.

3. MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO

MAXIMUM DEPTH OF UNBELLANCED FILE AGAINST MASURIXY WALLS TO BE AS SPECIFIED IN THE BUILDING CODE. THE SER HAS NOT PERFORMED A SUBSURFACE INVESTIGATION. VERIFICATION OF THE ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR. SHOULD ANY ADVERSE SOIL CONDITION BE ENCOUNTERED. THE SER MUST BE CONTACTED BEFORE PROCEEDING.

THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE FOR THE REGION IN WHICH THE STRUCTURE IS TO BE CONSTRUCTED, BUT NOT LESS THAN A MINIMUM OF 12" BELOW GRADE, ALL FOOTINGS TO HAVE A MINIMUM PROJECTION OF 2" ON

GRADE, ALL POUTINES TO PAVE A MINIMAN PROCEEDING OF 2 ON EACH SIDE OF FOUNDATION WALLS, MAXIMUM FOOTING PROJECTION SHALL NOT EXCEED THE THICKNESS OF THE FOOTING, WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH M." ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" O.C. INSTALL MINIMUM 2 ANCHOR BOLTS PER SECTION, 12" MAXIMUM FROM CORNERS. 1/2" DIAMETER x 8" LONG SIMPSON TITEN HD OR USP SCREW-BOLT+ SCREWS MAY BE SUBSTITUTED ON A 1 FOR 1

BASIS.
ANY FILL SHALL BE PLACED UNDER THE DIRECTION OR RECOMMENDATION OF A LICENSED PROFESSIONAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% HAVENAUL DRY PORTEIN.

MAXIMUM DRY DENSITY.

B. EXCAVATIONS OF FOOTINGS SHALL BE LINED TEMPORARILY WITH A MIL POLYETHYLER MEMBRANE IF PLACEMENT OF CONCRETE DOES

MIL POLYETHYLEN: MEMBRANE IF PLACEMENT OF CONCRETE DUESS NOT OCCUR WITHIN 24 - HOURS OF EXCAMPION SUBGRADE CONTAINING WATER, ICE, FROST, OR LOOSE MATERAL.

10. PROWIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS (SEE

ARCHITECTURAL PLANS AND DETAILS).

NONE OF THE FOUNDATION DESIGNS IN THESE DOCUMENTS ARE SUITABLE FOR INSTALLATION IN SHRINK/SWELL CONDITIONS, REFER TO GEOTECHNICAL ENGINEER FOR APPROPRIATE DESIGN.

GUICHMULAL ENGINEER FOR APPROPHAIL DESIGN.

L IOTS SHALL BE GRADED TO DEAN SUPRACE WATER AWAY FROM
FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES
WITHIN THE FIRST THE TET.

13. CRAWIL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS.

14. PROVIDE MINIMUM 6 MIL APPROVED WAPOR BARRIER. ALL JOINTS TO
BE LAPPED MINIMUM 12* AND SEALED.

CONCRETE & REINFORCING

CONCRETE DESIGN BASED ON ACI 318 AND ACI 318.1 OR ACI 332.
CONCRETE SHALL HAVE A NORMAL WEIGHT AGGREGATE AND A MINIM COMPRESSIVE STRENGTH (f'c) = 3.000 PSI MINIMUM AT 28 DAYS PER

COMPRESSIVE STRENGTH (TC) = 3,000 PSI MINIMUM AT 28 DATS PER CODE (VARIES W/ WEATHER), UNLESS OTHERWISE NOTED ON THE PLAN. CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301: SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

AIR ENTRAINED CONCRETE MUST BE USED FOR ALL STRUCTURAL ELEMENTS EXPOSED TO FREEZE/THAW CYCLES AND DEICING CHEMICALS. AIR ENTRANDENT AMOUNTS (IN PERCENT) SHALL BE WITHIN -1% TO +2% OF 5% FOR FOOTINGS AND EXTERIOR SLABS.

NO ADMIXTURES SHALL BE ADDED TO ANY STRUCTURAL CONCRETE WITHOUT WRITEN PERMISSION OF THE SER. WATER ADDED TO

CONCRETE ON SITE SHALL NOT EXCEED THAT ALLOWED BY THE MIX

CONCRETE SLABS-ON-GRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 302, IR: "GUIDE FOR CONCRETE SLAB AND SLAB CONSTRUCTION"

CONTROL OR SAW CUT JOINTS (CUT OR TOOLED) SHALL BE SPACED IN INTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 15'-0" O.C. AND IN EXTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 10'-0" UNLESS OTHERWISE NOTED, CARE SHALL BE TAKEN TO AVOID RE-ENTRANT

CONTROL OR SAW CUT JOINTS SHALL BE PRODUCED USING CONVENTIONAL CUT OR TOOLED PROCESSES WITHIN 4 TO 12 HOURS AFTER THE SLAB HAS BEEN FINISHED.

ALL WELDED WIRE FABRIC (W.W.F.) FOR CONCRETE SLABS-ON-GRADE SHALL BE PLACED AT MID-DEPTH OF SLAB. THE W.W.F. SHALL BE SECURELY SUPPORTED DURING THE CONCRETE POUR, FIBROUS CONCRETE REINFORCEMENT, OR POLYPROPYLENE FIRERS MAY BE USED CONCRETE NEMPOREDBENT, ON PULLTHARPITEENE FIBERS MAY BE OSED IN LEU OF MAY. APPLICATION OF POLYPROPILENE FIBERS PER CUBIC YARD OF CONCRETE SHALL BE PER MANUFACTURER AND COMPLY MAY MAY LOCAL BUILDING CODE REQUIREMENTS AND SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARD.

POLYPROPILEME REIND ROCKING TO BE 1002 WIRGIN, CONTAINING NO

REPROCESSED OLEFIN MATERIALS AND SPECIFICALLY MANUFACTURED FOR USE AS CONCRETE SECONDARY REINFORCEMENT

FOR USE AS CONGRETE SECURIARY REINFORCEMENT.
STEEL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING
TO ASTM A615, GRADE 60.
DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL
BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315: "MANUAL

OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES". HORIZONTAL FOOTING AND WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90' BENDS, OR CORNER BARS WITH

THE SAME SIZE/SPACING AS THE HORIZONTAL REINFORCEMENT 13. PROVIDE REINFORCEMENT LAP AS NOTED BELOW, UNLESS NOTED

#4 BARS - 30" LENGTH #5 BARS - 38" LENGTH 6 BARS - 45" LENGTH

#6 BMSC — 45' LENDH MERCHEN BENEFORDER BENEFORDER BOWERS ARE REQUIRED, THEY SHALL BE EQUIVALENT IN SIZE AND SPACINIG TO THE VERTICAL REMFORCEMENT. THE DOWEL SHALL EXTEND 48 BAR DIMMETERS VERTICALLY AND 20 BAR DIMMETERS INTO THE FOOTING. SEE KES FOUNDATION DETAILS. WHERE FOOTING BOTTOMS ARE TO BE STEPPED AT SLOPING GRADE WHERE FOOTING BOTTOMS ARE TO BE STEPPED AT SLOPING GRADE

CONDITIONS, PROVIDE CONTINUOUS REINFORCING WITH Z BARS (TO MATCH FOOTING REINFORCING) AS REQUIRED.

BAR SUPPORT ACCESSORIES SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST ACL MANUAL OF STANDARD PRACTICE FOR DETAILING THE LAIST MAY MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, EXCEPT THAT REINFORCING SHALL BE CHARED ON THE BOTTOM AND/OR THE SIDES ON BOLSTERS SPACED NOT MORE THAN 4 FEET ON CENTER, NO ROCKS, CRU, CLAY TILE, OR BRICK SHALL BE USED TO SUPPORT REINFORCING.

FOR GRADE SUPPORTED SLABS, SLAB REINFORCING SHALL BE HELD IN FOR GROVE SUPPORTED SLABS, SUCH REINFORCING STRAIL BE FIELD IN PLACE BY BAR SUPPORTS AND ACCESSORIES AS DESCRIBED IN THE CRSI MANUAL OF STANDARD PRACTICE, BAR SUPPORTS SHALL BE SPACED A MAXIMUM OF 4'-0" O.C. BOTH WAYS IN STRAIGHT LINES ON THE MESH GRID.

ALL MASONRY SHALL CONFORM TO ASTM C-90, F'm=1500 PSI, ALL BRICK SHALL CONFORM TO ASTM C-216, F'm=1500 PSI, ALL MORTAR SHALL BE TYPE 'S' (TYPE 'M' BELOW GRADE) AND CONFORM TO ASTM C-270. COARSE GROUT SHALL CONFORM TO ASTM C-476 WITH A MAXIMUM AGGREGATE SIZE OF 36" AND A MINIMUM COMPRESSIVE STRENGTH OF 2,000

ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TMS 402 AND
"SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ ASCE 6/TMS 602.

THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT DEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS
Y BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR
LESS THEIR LEAST DIMENSION.

EACH CRAWL SPACE PIER SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS, PILASTERS TO BE BONDED TO PERIMETER

I HIRO DE THE PIERS, PIERSIERS TO BE BONDED TO PERIMETER FOUNDATION WALL. TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. HORIZONTAL WALL JOINT BENFORCEMENT SHALL BE STANDARD 9 GAGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C., UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

SHOWN OTHERWISE ON THE DRAWINGS.
SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6". LAP WITH STANDARD "I" AND "L" SHAPED PIECES AT INTERSECTIONS AND CORNERS.

SOLID SAWN WOOD FRAMING MEMBERS SHALL CONFORM TO THE SPECIFICATIONS LISTED IN THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION": (NDS), UNLESS OTHERWISE NOTED, ALL WOOD FRAMING MEMBERS ARE DESIGNED TO SPRUCE-PINE-FIR (SPF) WITH THE FOLLOWING MINIMUM DESIGN

VALUES: E=1,400,000 PSI, F_b=875 PSI, F_v=135 PSI 1.1. FRAMING: SPF #2. 1.2. PLATES: SPF #2. 1.3. STUDS: SPF STUD GRADE.

1.3. STUDS: SPF STUD GRADE.
WALL STUD SPACING, (MAXIMUM 10' NOMINAL PLATE HEIGHT):
1 & 2 STORY EXTERIOR AND INTERIOR BEARING:
2x4 @ 16" O.C. OR 2x6 @ 24" O.C., U.N.O. BOTTOM OF 3 STORIES EXTERIOR AND INTERIOR BEARING

2x6 @ 16" O.C., U.N.O.

INTERIOR NON-BEARING:

2x @ 24" O.C., U.N.O.

ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OF

ANCHOR SILL PLATES IN ACCORDANCE W/ GENERAL STRUCTURAL NOTES. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY

ALL BEAMS SPECIFIED ARE MINIMOM SIZES ONLY. DARGER MEM BE SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION, MAILS SHALL BE COMMON WIRE MAILS UNLESS OTHERWISE NOTE BOLT HOLES AND LEAD HOLES FOR LAS SCREWS SHALL BE IN MACROPHICE, MINI LEND EXPERIENTATIONS. ACCORDANCE WITH NDS SPECIFICATIONS.

INDIVIDUAL STUDS FORMING A COLUMN SHALL BE ATTACHED WITH (2) ROWS 10d NAILS & 6° O.C. STAGGERED. THE STUD COLUMN SHALL BE FULLY BLOCKED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER, WALL SHEATHING SHALL BE NAILED TO EDGE OF EACH STUD

FACE NAIL ALL MULTI-PLY REAMS AND HEADERS WITH (2) ROWS 16d COMMON MAILS @ 16" O.C., STAGGERED, OR PER MANUFACTURER'S SPECIFICATIONS FOR ENGINEERED LUMBER. APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES

D. FASTEN 4-PLY BEAMS WITH (1) ½" DIAMETER THROUGH BOLT W/ NUTS AND WASHERS AT 12" O.C. STAGGERED TOP AND BOTTOM, 1½" MINIMUM

AND WASHERS AT 12 O.S. STAGGERED INF MAD BOTTOM, 12 MINIMUM EDGE DISTANCE. (UNLESS OTHERWISE NOTED)

11, ALL BEAMS AND HEADERS SHALL HAVE (1)2x JACK STUD & (1)2x KING STUD UNLESS OTHERWISE NOTED. THE NUMBER OF STUDS INDICATED ON PLANS ARE THE TOTAL NUMBER OF JACK STUDS REQUIRED, UNLESS

PROVIDE KING STUDS AT EACH END OF HEADERS AS NOTED BELOW.

(1) STUD UP TO 6' OPENING (2) STUDS UP TO 8' OPENING

STUDS UP TO 9' OPENING
BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF TWO STUDS, UNLESS OTHERWISE NOTED, ALL BEAM

SPLICES SHALL OCCUR OVER SUPPORTS SPULES SHALL OCCUP OVER SUPPORTS.
SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR
LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.
ALL LUMBER SPECIFIED ON DRAWNINGS IS IMPROVED FOR DRY USE ONLY
(MOISTURE CONTENT (19%) UNLESS OTHERWISE NOTED.

ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE

ALL WALKPROUPING AND FINE SAFETY STSIEMS AND THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND DETAILED BY OTHERS.

ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1* DIAMETER SHALL HAVE STUD

PROTECTION SHIFLDS. ALL HOLES OVER 1" IN DIAMETER FOR PLUMBING PROTECTION SHELDS. ALL HOLES OVER 1 IN DUMBLER FOR FLOMBILINES, ETC. SHALL BE REPAIRED WITH SIMPSON HSS2 OR USP STS1 STUD SHOES, TYPICAL, UNLESS OTHERWISE NOTED.

BEARING WALLS SHALL BE SHEATHED ON NOT LESS THAN ONE SIDE

WITH OSB OR GYPSUM BOARD, BRIDGING SHALL BE INSTALLED NOT GREATER THAN 4 FEET APART MEASURED VERTICALLY FROM EITHER END

GREATER THAN 4 PEET AFART MEASURED VENTICALET FROM EITHER EN OF THE STUD IN LIEU OF SHEATHING. DIAGONAL BRACING SHALL BE INSTALLED AT EACH END OF BASEMENT BEARING WALLS AND NOT MORE THAN 20' ON CENTER.

EXTERIOR WOOD FRAMED DECKS:

1. DECKS ARE TO BE FRAMED IN ACCORDANCE WITH APPLICABLE BULDING COODS AND AS REPERENCED ON THE STRUCTURAL PLANS, ETHER THROUGH CODE REFERENCES OR CONSTRUCTION DETAILS.

2. PRESERVATURE TREATIES WOOD FRAMING TO BE SOUTHERN YELLOW

PINE #2 OR BETTER. GUARD RAILS REQUIRED AT DECKS, DESIGN BY OTHERS TO MEET MINIMUM CODE REQUIREMENTS.

PROVIDE DECK LATERAL LOAD AND BRACING CONNECTIONS PER BUILDING

RAFTER FRAMED ROOF CONSTRUCTION:

PROVIDE 2x44-0" RAFTER TIES AT 48" O.C. RAFTERS SHALL BE SUPPORTED BY PURILING AND PURLIN BRACES AS SHOWN ON THE PLAN. PURLIN BRACES SHALL NOT BEAT ON ANY CELIUM- JUST, STRONGBACK OR HEADER UNLESS SPECIFICALLY SHOWN ON PLAN. RAFTERS AND SE SPLICED AT PURLIN LOCATIONS.

CEILING JOISTS SHALL HAVE LATERAL SUPPORT W/ 1x4 FLAT BRACING ON TOP EDGE OF JOIST AT LOOSE JOIST ENDS (WHERE JOISTS NOT FASTENED TO RAFTERS) OR FULL DEPTH BLOCKING. FASTEN END OF BRACING TO RAFTER OR GABLE END FRAMING. FASTEN RAFTER AND CEILING JOIST WITH (6) 12d NAILS UNLESS

PROVIDE VERTICAL 2x6 STRONGBACKS AT CEILING JOISTS @ 8'-0" D.C. TIE STRONGBACK ENDS TO GABLE STUDS OR RAFTERS WHERE POSSIBLE PROVIDE BLOCKING BETWEEN TOP PLATES AND STRONGBACKS, PROVIDE 2x4 FLAT FASTENED TO EACH JOIST WITH
(2) 12d NAILS. FASTEN STRONGBACK TO 2x4 FLAT WITH 12d NAIL @ 12" O.C. AND FASTENED TO EACH JOIST WITH (1) 12d TOENAIL. WOOD TRUSSES (FLOOR & ROOF):

THE WOOD TRUSS MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES, SUBMIT SEALED SHOP DRAWINGS AND SUPPORTING CALCULATIONS TO THE SER FOR REVIEW PRIOR TO EARRICATION THE SER SHALL HAVE A LUNIMUM OF (5) DAYS FOR FABRICATION. THE SEX SHALL HAVE A MINIMUM OF (3) DATA FOR REVIEW. THE REVIEW BY THE SEX SHALL BE FOR OVERALL COMPLIANCE OF THE DESIGN DOCUMENTS. THE SEX SHALL ASSUME NO RESPONSIBILITY FOR THE CORRECTNESS OF THE STRUCTURAL DESIGN FOR THE WOOD TRUSSES.

THE WOOD TRUSSES SHALL BE DESIGNED FOR ALL REQUIRED LOADINGS AS SPECIFIED IN THE LOCAL BUILDING CODE, THE ASCE STANDARD "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES." (ASCE 7), AND THE LOADING REQUIREMENTS SHOWN ON THESE SPECIFICATIONS. THE TRUSS DRAWINGS SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION DOCUMENTS AND PROVISIONS PROVIDED FOR LOADS SHOWN ON THESE DRAWINGS INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, PIPING, AND ARCHITECTURAL FIXTURES ATTACHED TO

THE TRUSSES.
THE TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED ACCORDANCE WITH THE LATEST FORTION OF THE ANSI/TPL 1: "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS

THE TRUSS MANUFACTURER SHALL PROVIDE ADEQUATE BRACING INE IRUSS MOVINGUISHER PROVIDE AUGUSTIC TRANSPORT OF THE INFORMATION IN ACCORDANCE WITH "BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" (BCSI), THIS BRACING, BOTH TEMPORARY AND PERMANENT, SHALL BE

(BCS); ITIS BRUCING, DOTH TEMPOWER THE STANDARD OF SHOULD SHOWN ON THE SHOP DRAWINGS SHALL SHOW THE REQUIRED ATTACHMENTS FOR THE TRUSSES.

THE CONTROOR IS RESPONSIBLE FOR INSTALLING TEMPORARY BRACING AND SHORING FOR THE FLOOR AND ROOF TRUSSES AS REQUIRED. DURING CONSTRUCTION. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE LATEST BCSI. THE CONTRACTOR SHALL KEEP /

REQUIREMENTS OF THE LIGHTS DESI, THE CONTRACTOR SMALL KEEP A COPY OF THE BOSI SUMMARY SHEETS ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PERMANENT TRUSS BRACKING SHOWN IN THE STRUCTURAL DRAWINGS AND IN THE TRUSS BRACKING SHOWN IN THE STRUCTURAL DRAWINGS AND IN THE TRUSS BRACKING. SHOWN IN THE STRUCTURAL DRAWINGS AND IN THE TRUSS BESCHIST, ALL CONTRINCIOUS LATERAL BRACKING OF WERS BEQUIRES BRACES. REFER TO BOSI SUMMARY SHEET BS FOR TYPES OF DIRECTION.

BINGES TO PROVIDE AT EACH CONTRIVIOUS LATERAL BRACE LINE. SUCH BROKES TO PROVIDE AT DICT CONTINUOUS TATEFACE BROKE LINE. SO, DIAGONAL BROCES SHALL NOT BE SPACED MORE THAN 20 FEET O.C. DIAGONAL BROCES SHALL BE FASTERN OF DE SCHI THAN 20 FEET O.C. BURGONAL BROCES SHALL BE FASTERN OF DE SCHI THAN 20 FEET O.C. BURGONAL BROCES SHALL BE FASTERN OF EACH THAN 20 FEET O.C. BURGONAL BROCES CANNOT BE INSTALLED, DUE TO A MINIMUM OF THREE ADALECT TRUSSES NOT BERNG IDENTIFICAL, THE CONTINUOUS SHALL DESCRIBED THE STANDARD THE STANDA COORDINATE WITH THE TRUSS SPECIALTY ENGINEER/MANUFACTURER TO DETERMINE WHAT TYPE OF ALTERNATE BRACE (I.E., T OR L BRACE, ETC.)

ANY CHORDS OR TRUSS WEBS SHOWN ON THESE DRAWINGS HAVE BEEN SHOWN AS A REFERENCE ONLY. THE FINAL DESIGN OF THE TRUSSES

SHOWN AS A REPERENCY UNIT. THE TIME DESIGN OF THE INVOSCIS SHALL BE PER THE MANUFACTURE WHAN DEFICIENT OF THE INVOSCI TRUSS LAYOUT AND PALEMENT BY MANUFACTURER TO CONCOLOWITH THE SUPPORT LOCATIONS SHOWN ON THE SEALED STRUCTURAL DEWINGS. TRUSS PROFILES TO BE SEALED BY THE TRUSS. MANUFACTURER, TRUSS PLANS TO BE CORROBINED WITH THE SEALED

STRUCTURAL DRAWINGS,
TRUSS MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTORS FOR

INUSES.
WIDE SIMPSON H2.5A, USP RT7 OR EQUIVALENT AT EACH TRUSS TO PLATE CONNECTION, UNLESS OTHERWISE NOTED.

WOOD STRUCTURAL PANELS:

1. FABRICATION AND PLACEMENT OF STRUCTURAL WOOD SHEATHING SHALL BE IN ACCORDANCE WITH THE APA DESIGN/CONSTRUCTION GUIDE "RESIDENTIAL AND COMMERCIAL," AND ALL OTHER APPLICABLE APA STANDARDS.

ALL REQUIRED WOOD SHEATHING SHALL BEAR THE MARK OF THE

APA.
WOOD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION. EXTERIOR WALLS TO BE FULLY SHEATHED. LISING 3/4" OSB OR PLYWOOD MINIMUM, AT BRACED WALL PANELS BLOCKING AT ALL SHEET EDGES NOT FALLING ON STUDS

PROVIDE BLOCKING AT ALL STEEL EDGES NOT FALLING ON STODS OR PLATES. ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1. OR 2. ROOF SHEATHING SHALL BE CONTINUOUS OVER TWO SUPPORT MINIMUM AND ATTACHED TO ITS SUPPORTING ROOF FRAMING WITH BY NAME AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL 8d MNILS AT 6 O.C. AT PARKE LEDGES AND AT 12 O.C. IN "PARKE FIELD UNLESS OTHERWISE NOTED ON THE PLANS, SHEATHING SHALL BE APPLIED WITH THE LONG DIRECTION PERPENDICULAR TO FRAMING SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING, PROVIDE SUITABLE EDGE SUPPORT BY USE OF PLYWOOD CLIPS OR LUMBER BLOCKING UNLESS OTHERWISE NOTED PENNEL END JOINTS SHALL OCCUR OVER FRAMING. ROOF SHEATHING TO BE % OSB MINIMUM.
WOOD FLOOR SHEATHING SHALL BE APA RATED SHEATHING SHOOT SHEATHING SHALL BE APA RATED SHALL

EXPOSURE 1 OR 2. ATTACH SHEATHING TO ITS SUPPORTING EAVAING WITH (1) 104 NAIL AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIELD UNLESS OTHERWISE NOTED ON THE PLANS, SHEATHING SHALL BE APPLIED PERPENDICULAR TO FRAMING. SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING. PROVIDE SUITABLE EDGE SUPPORT BY USE OF TAG PLYWOOD OR LUMBER BLOCKING UNLESS OTHERWISE NOTED. PANEL END JOINTS SHALL OCCUR OVER FRAMING

RECOMMENDED IN ACCORDANCE WITH THE APA.

STRUCTURAL FIBERBOARD PANELS:

STRUCTURAL FIBERBOARD SHEATHING SHALL ONLY BE USED WHERE

SPECIFICALLY NOTED ON THE STRUCTURAL PLANS.
FABRICATION AND PLACEMENT OF STRUCTURAL FIBERBOARD SHEATHING SHALL BE IN ACCORDANCE WITH THE APPLICABLE AFA

STANDARDS,
FIBERBOARD WALL SHEATHING SHALL COMPLY WITH THE
REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE
STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING
NOTES IN PLAN SET FOR MORE INFORMATION.

SHEATHING SHALL HAVE A & GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE AFA.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND OF THE MANUAL OF STEEL
CONSTRUCTION "LOAD RESISTANCE FACTOR DESIGN" LATEST EDITIONS

ALL STEEL SHALL HAVE A MINIMUM YIELD STRESS (Fy) OF 50 KSI

UNLESS OTHERWISE NOTED.
WELDING SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE AWA D1.1. FLECTRODES FOR SHOP AND FIELDING WELDING SHALL BE CLASS E70XX, ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER PER THE ABOVE STANDARDS.
ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A

MINIMUM BEARING LENGTH OF 35" AND FULL FLANGE WIDTH UNLESS OTHERWISE NOTED, BEAMS MUST BE ATTACHED AT EACH END WITH MINIMUM OF FOUR 16d NAILS OR (2) 1/2" x 4" LAG SCREWS

UNLESS OTHERWISE NOTED.
INSTALL 2x WOOD PLATE ON TOP OF STEEL BEAMS, RIPPED TO MATCH REAM WIDTH, FASTEN PLATE TO BEAM W/ HILTL X-DNI 52 P8 PINS AT 12" O.C. STAGGERED OR " DIAMETER BOLTS AT 24"

ALL METAL HARDWARE AND TASTENERS TO BE SIMPSON STRONG-TIE OR APPROVED EQUIVALENT.

OR APPROVED EQUIVALENT.

ALL HARDWARE AND PASTENERS IN CONTACT WITH PRESERVATIVE PRESSURE TREATED LUBBER SHALL BE HOT IPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, 6-185.

MANT OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS

THAT ARE CORROSIVE TO SIEEL IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND SELECT APPROPRIATE CONNECTORS THAT WILL RESIST THE APPLICABLE CORROSIVE CHEMICALS.



SPAN	LINTEL SIZE	END BEARING
UP TO 3'-0"	3½"x3½"x¼"	4"
UP TO 6'-3"	5"x3½"x9(s" L.L.V.	8*
UP TO 9'-6"	6"x3½"x5(6" L.L.V.	12"



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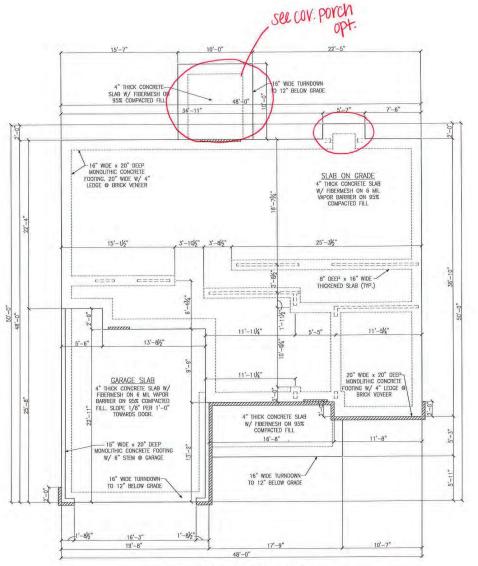
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20 Car Project #: 105-19000 Designed By: KRK Checked By Issue Date: 1/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34







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13'-81/2"

GARAGE SLAB
4" THICK CONCRETE SUB W/FIBERMESH ON 6 M/L VAPOR
BARRIER ON 95% COMPACTED
FILL SLOPE 1/8" PER 1'-0"
TOWARDS DOOR.

6 WIDE TURNDOWN

TO 12" BELOW GRADE

19'-8"

OPT. SIDE LOAD GARAGE

MONOLITHIC SLAB FOUNDATION PLAN

MONOLITHIC SLAB FOUNDATION PLAN ELEVATION A

LEGEND

PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.

⇒ BEARING WALL ABOVE IIIIIIIIIII -> INTERIOR BEARING WALL

⇒ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

EZZZZZZZ --> LOCATION OF DOOR ABOVE REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

KEYNOTES:

(7) REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL A OR B/SD-4.

Monolithic Slab Fo Elevation A & Opt Redbud Model — 120 M.P.H. Carolina Division Project #: 105-16009 Designed By: KRK Checked By: Issue Date: 4/1/19

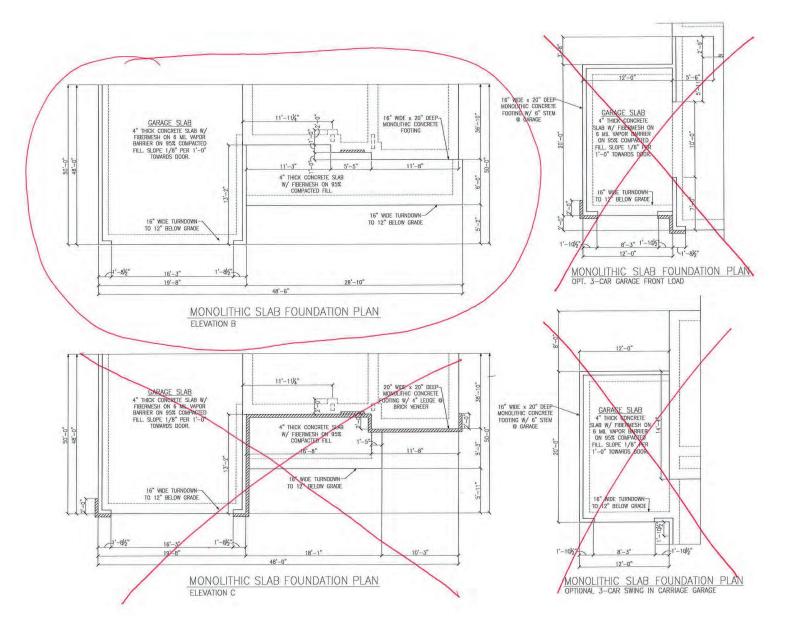
Plans

S Foundation Option — LH

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34







LEGEND

PROVIDE SOLID BLOCKING

WITHIN FLOOR SYSTEM TO
MATCH POST SIZE ABOVE.

MATCH POST SIZE ABOVE

BEARING WALL ABOVE

IIIIIIIIIII

NITERIOR BEARING WALL

→ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

EZZZZZZZ

Decay of door above refer to kse structural details sheets for general structural notes and typical details

KEYNOTES:

7 REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL A OR B/SD-4.

Project #: 105-16009
Designed By:KRK
Checked By:
Issue Dote: 4/1/19
Re-Issue:
Scole: 1/8-1'-0' ⊕ 11x17
1/4"=1'-0' ⊕ 22x34

Plans

Foundation (& Options — LH



Monolithic Slab Fr Elevations B, C & Redbud Model — 120 M.P.H. Carolina Division



LEGEND

PROVIDE SOLID BLOCKING

WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE. ⇒ BEARING WALL ABOVE

48" WSP

⇒ INTERIOR BEARING WALL ⇒ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

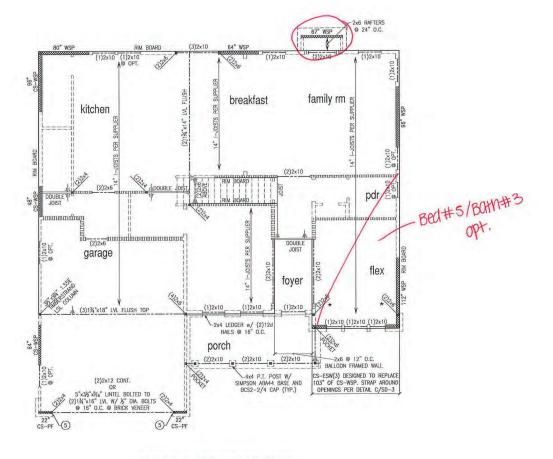
KEYNOTES:

(5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

Second Floor Fran Elevation A Redbud Model — 120 M.P.H. Carolina Division Project #: 105-16009 Designed By: KRK Checked By: Issue Date: 4/1/19 Re-Issue: Scole: 1/8"=1'-0" ⊕ 11x17 1/4"=1'-0" ⊕ 22x34

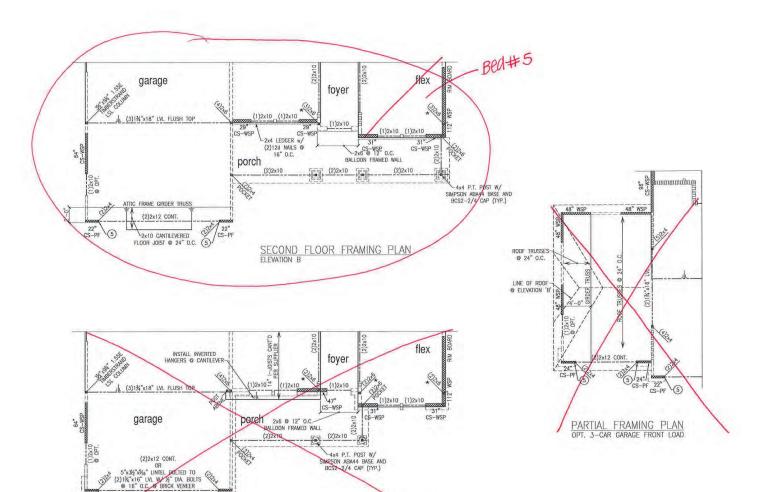
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SECOND FLOOR FRAMING PLAN ELEVATION A

see ever. B



SECOND FLOOR FRAMING PLAN

ELEVATION C

22" CS-PF

(5) Z2" CS-PF





LEGEND

PROVIDE SOLID BLOCKING
WITHIN FLOOR SYSTEM TO
MATCH POST SIZE ABOVE.

→ BEARING WALL ABOVE

HIHIHIHI

INTERIOR BEARING WALL

48" WSP

BRACED WALL PANEL
(SEE KSE STRUCTURAL DETAIL
SHEETS FOR BRACED WALL
PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



Framing Plans C & Option II — LH Second Floor F Elevations B, C Redbud Model Project #: 105-16009 Designed By: KRK Checked By:

120 M.P.H. Carolina Division

Re-Issue: Scale: 1/8"=1'-0" ⊕ 11x17 1/4"=1'-0" ⊕ 22x34

Issue Date: 4/1/19









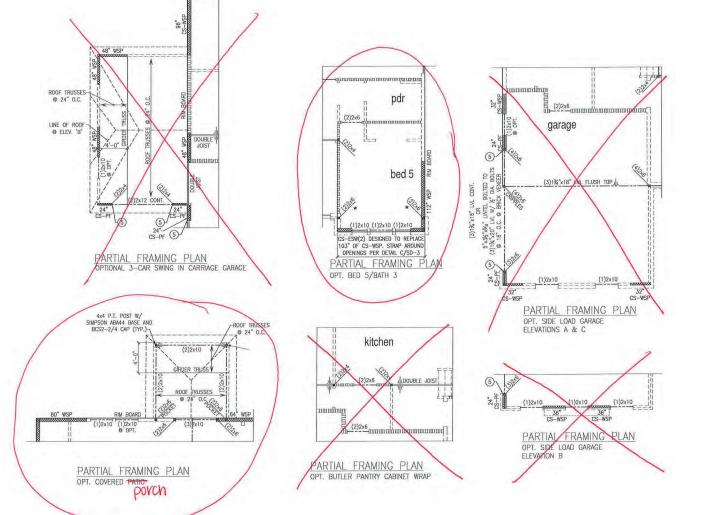
& BLOCKING DETAILS) REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

(5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



80" WSP

Framing Second Floor Frat Options Redbud Model — 120 M.P.H. Carolina Division

Plans

Project #: 105-16009

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Designed By: KRK Checked By: Issue Date: 4/1/19

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

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ATTIC FRAME ROOF TRUSSES

ATTIC FRAME GIRDER TRUSS

ROOF FRAMING PLAN







REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

KEYNOTES:

-ROOF TRUSSES

@ 24" O.C.

 CONNECT STUD AT END OF BRACED
WALL PANEL TO FRAMING BELOW WITH A
30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.

(10) 8'x12' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.

1) 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)



Plan Roof Framing Pla Elevation B Redbud Model — 120 M.P.H. Carolina Division Project #: 105-16009 Designed By: KRK Checked By:

ssue Date: 4/1/19 Re-Issue: Scale: 1/8"=1'-0" ⊕ 11x17 1/4"=1'-0" ⊕ 22x34





Wall

Designed By: KRK Checked By:

120 M.P.H. Carolina Division Project #: 105-19000

Detail

(C) METHOD GB(1) AND GB(2) INTERSECTION DETAILS

BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

DPEN OPEN 2x BLOCKING BETWEEN — TRUSSES ALONG LENGTH OF BRACED WALL PANELS. LAP MIN 2" WITH OSB. OPEN OPEN -2x4 BLOCKING BETWEEN ROOF TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS @ 6" O.C. ALONG LENGTH NAIL OSB SHEATHING TO-SOLID BLOCKING BETWEEN BLOCKING, WALL PLATES AND TRUSS WEB WITH 8d ROOF TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS @ 6" O.C. ALONG LENGTH NAILS AT 6" O.C. TYPICAL.

ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS ONLY REQUIRED AT BRACED WALL PANELS

- 8d NAIL @ 6" O.C. AT ALL EDGES AND 12" O.C. TYPICAL AT ALL OTHER MEMBERS EXTERIOR SHEATHING GYPSUM BOARD-W 16d NAIL 16d NAII > @ 12" O.C. @ 12" O.C. EXTERIOR SHEATHING--GYPSUM BOARD DUTSIDE CORNER PLAN VIEW

(D) TYPICAL EXTERIOR CORNER WALL FRAMING

-CONTINUOUS RIM LOCATE JOIST

-8d TOENAILS AT 6" O.C. ALONG BRACED WALL PANEL

-BRACED WALL

(3)16d NAILS AT

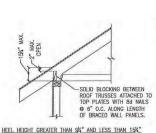
16" O.C. ALONG BRACED WALL PANEL

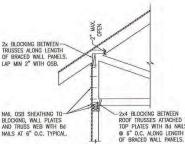
-CONTINUOUS RIM

PANEL

ON WALL-

BOARD



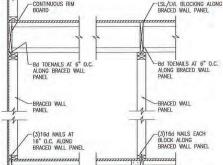


HEEL HEIGHT GREATER 15"

-8d TOFNAILS AT 6 -LSL/LVL BLOCKING ALONG BRACED O.C. ALONG BRACED WALL PANEL WALL PANEL B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

-CONTINUOUS RIM BOARD





-CONTINUOUS RIM

2x4 CLEAT WITH (2)10d NAILS AT CHORDS AND -LSL/LVL BLOCKING (4)10d NAILS AT BRACED WALL PANEL

(3)8d TOENAILS

EACH BLOCK ALONG BRACED

WALL PANEL

BRACED WALL

-(3)16d nails each Block along Braced Wall Panel

LSL/LVL BLOCKING

AT 16" O.C. ALONG BRACED WALL PANEL

PANEL

BLOCKING (TYP.) 7

8d TOENAILS AT 6" O.C.

ALONG BRACED WALL PANEL

-BRACED WALL

-(3)16d NAILS AT

-LOCATE JOIST

(A) TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION BRACED WALL PANELS PARALLEL TO 1-JOISTS

16" O.C. ALONG BRACED WALL PANEL

LSL/LVL BLOCKING ALONG

2x4 BLOCKING BTWN-VERTICAL WALL STUDS AT ALL HORIZONTAL GYPSUM

SHEATHING JOINTS.

3-STUD WALL

1/2" (MIN) GYPSUM WALLBOARD. FASTEN TO WALL ALL SUPPORTS (STUDS, PLATES, BLOCKING) WITH

1.25" TYPE W SCREWS AT 7" O.C. (OR 5d COOLER NAILS AT 7" O.C.)

BRACED

WALL

2x6 FULL HEIGHT STUD AT WALL INTERSECTION -(2x8 STUD AT

INTERSECTING 2x6 WALL)

"T" PLATE WALL

ENGINEERING
E, SUITE 201, OUAKERTOWN, PA 18951
COM (215) 804-4449 SE

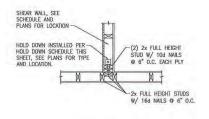


120 M.P.H. Carolina Division

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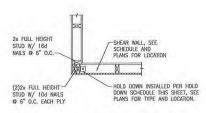


A TYPICAL HOLD DOWN DETAIL

-HOLD DOWN INSTALLED PER HOLD DOWN SCHEDULE THIS SHEET, SEE PLANS FOR TYPE AND LOCATION.

(D)HOLD DOWN AT MONOLITHIC SLAB FOUNDATION

-A36 ALL THREAD ROD DRILLED AND
EPOXIED 6" INTO FOOTING USING SIMPSON
"SET"/"ET" OR USP CIA-GEL ADHESIVE.



B TYPICAL HOLD DOWN DETAIL

A36 ALL THREAD ROD-

SIMPSON CNW1/2

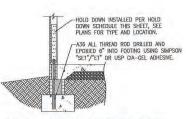
OR USP CNW12-ZP COUPLER NUT

GROUT CMU SOLID AT ALL THREAD ROD-

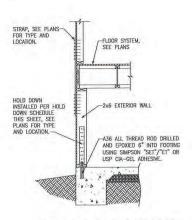
-HOLD DOWN INSTALLED PER HOLD DOWN SCHEDULE THIS SHEET, SEE PLANS FOR TYPE AND LOCATION.

—A36 ALL THREAD ROD DRILLED AND EPOXIED 6" INTO FOOTING USING SIMPSON "SET"/"ET" OR USP CIA—GEL ADHESIVE.

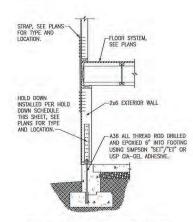
(E)HOLD DOWN AT CRAWL SPACE FOUNDATION



(C)HOLD DOWN AT STEMWALL SLAB FOUNDATION



F HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



(C)HOLD DOWN AT STEMWALL SLAB

SIMPSON HOLD DOWN INSTALLED PER HOLD DOWN SCHEDULE THIS SHEET

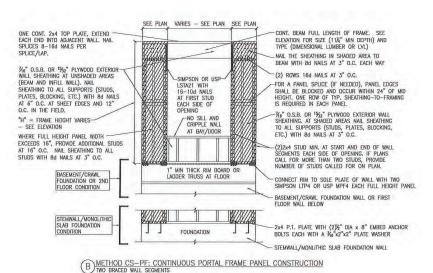
- A36 ALL THREAD ROD DRILLED AND EPOXIED 6" INTO FOOTING USING SIMPSON "SET" OR "ET" ADHESIVE.

G HOLD DOWN AT BASEMENT FOUNDATION

	HOL	D DOWN SCH	EDULE	
HOLD DOWN		ALL THREAD ROD	FASTENERS	
SIMPSON	USP	NCC TINES NOD	Wighteneric	
LTT20B	LTS20B	⅓" DIA.	(10)10d NAILS	
НТТ4	HTT16	%" DIA.	(18)16dx2½" LONG NAILS	
НТТ5	HTT45	%" DIA.	(26)16dx2½" LONG NAILS	



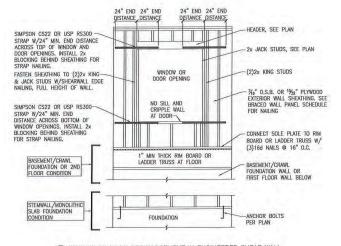
Hold



BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE PANEL TYPES PANEL TYPE 6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMITTENT WOOD INTERMEDIATE SUPPORTS, ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG WSF 7/16" OSB STRUCTURAL PANEL STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS INTERMITTENT GYPSUM 1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W GB(1) BOARD (SHEATHING ONE DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS. FACE OF WALL) INTERMITTENT GYPSUM 1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W 1/2" GYPSUN GB(1)-4 BOARD (SHEATHING ONE DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS. FACE OF WALL) INTERMITTENT GYPSUM BOARD (SHEATHING BOTH 1.5" LONG GALV, RODEING NAILS, 64 COMMON NAILS, OR 1.25" LONG TYPE W 1/2" GYPSUM GB(2) DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS. FACES OF WALL) 6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT CONTINUOUS SHEATHED CS-WSP 7/16" OSB INTERMEDIATE SUPPORTS, ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG WOOD STRUCTURAL STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS PANFI CONTINUOUS SHEATHED PORTAL FRAME 7/16" OSB NAILING PER DETAIL PORTAL FRAME WITH 7/16" OSB NAILING PER DETAIL PFH HOLD DOWNS 7/16" OSB 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT ENGINEERED SHEAR CS-ESW(1) WALL, TYPE 1 INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS 8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT ENGINEERED SHEAR WALL, TYPE 2 7/16" OSB CS-ESW(2) INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS BD COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT 7/16" OSB ENGINEERED SHEAR CS-ESW(3) INTERMEDIATE SUPPORTS, CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS WALL, TYPE 3

BRACED WALL PANEL NOTES:

- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH $\%_6$ " O.S.B., OR $^{1}\%_2$ " PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM



C WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL ONLY REQUIRED WHERE SPECIFED ON PLANS





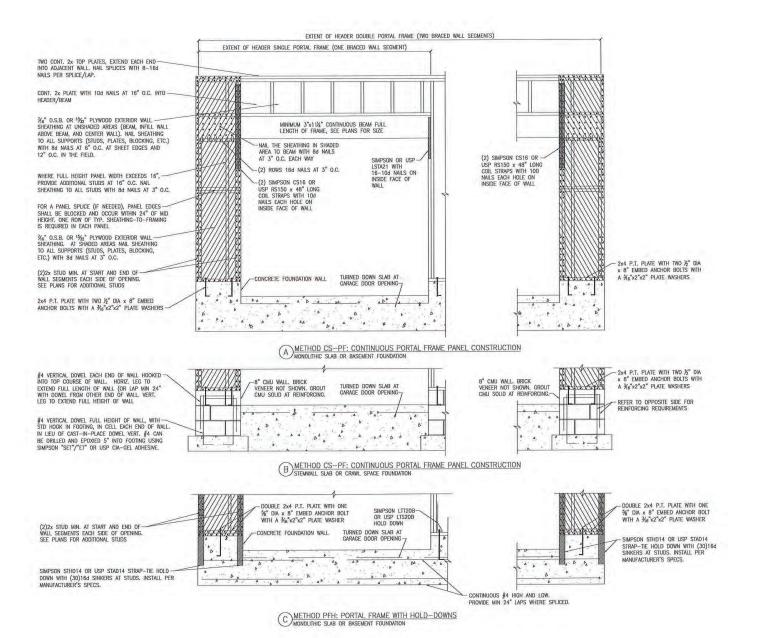
Det 8 Wall

Carolina 20 Project #: 105-19000

M.P.H. lina Division

Designed By: KRK Checked By: Issue Date: 1/1/19

Re-Issue: Scale: 1/8"=1"-0" @ 11x17 1/4"=1'-0" @ 22x34







Portal Frame Details

Division

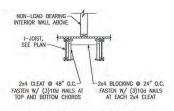
| Scole: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34 | SD-4

NC Fins (C-210)

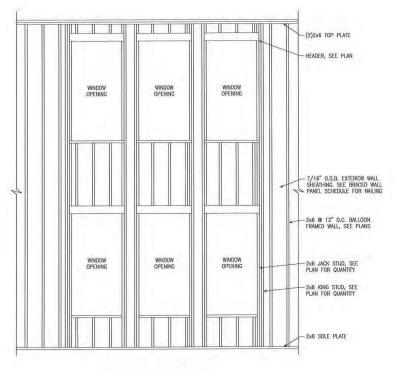
WHAT CAPO

SEES S

SE



C I-JOIST LADDER BLOCKING
AS REQUIRED @ PARALLEL WALLS



DBALLOON FRAMED WALL DETAIL N.T.S.



Detail Framing Miscellaneous

120 M.P.H. Carolina Division Project #: 105-19000 Designed By: KRK Checked By:

Issue Date: 1/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

KSE ENGINEERING VE. SUITE ZOI, OUAKESTOWN, PA. 1895 (25) 804-4449

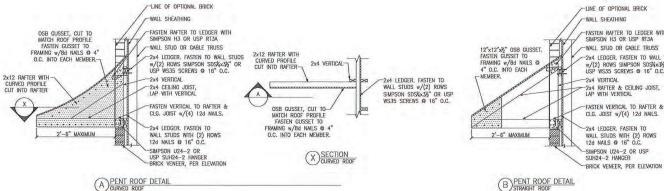


Project #: 105-19000 Designed By: KRK Checked By:

ssue Date: 1/1/19 Re-Issue: Scole: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

120 M.P.H. Carolina Division Carolina

C EYEBROW ROOF DETAIL



FASTEN RAFTER TO LEDGER WITH 2x4 LEDGER, FASTEN TO WALL STUDS w/(2) ROWS SIMPSON SDS¼x3½" OR USP WS35 SCREWS @ 16" O.C. FASTEN VERTICAL TO RAFTER & CLG, JOIST w/(4) 12d NAILS.

2x4 BLOCKING BETWEEN
TRUSSES WITH SIMPSON U24
OR USP JL24 EACH END 8d NAILS AT 6" O.C. -- 8d NAILS AT 4" O.C. SLOPING L3½"x3½"x4" BRICK ANGLE WITH HORIZ. PL3x3x½ PLATES AT 24" O.C. (MIN TWO PER ANGLE. NAIL TO GIRDER TRUSS WITH 16d NAILS AT 9" 2x4 FRAMING AT 24" O.C. -CANTILEVERED OVER GABLE END TRUSS 2x4 BLOCKING BTWN-RAFTERS. SIMPSON LTP4 OR USP MPF4 EVERY OTHER O.C. THROUGH PRE-DRILLED 2x6 KICKER AT 6'-0" O.C., WITH-2x6 "T" SCAB, NAIL SCAB TO (5) 10d-NAILS BLOCK PL3x3x16

KICKER WITH 10d NAILS AT 6" O.C. KICKER MAY BE OMITTED WHEN HEIGHT OF GABLE END TRUSS IS 4'-0" OR LESS.

BRICK VENEER-

2x WALL STUDS, SEE PLAN

TYP KI

SUPPORT DEAD LOAD OF BRICK, LIMIT DEFLECTION TO L/600 OR 0.3" MAX., SEE PLANS.

(D)TRUSS DETAIL

NON-SHEAR WALLS)

SPACED PER SHEAR WALL BELOW ENTIRE GABLE END

N₆" OSB AT GABLE END — TRUSS, PER SHEAR WALL BELOW EDGE NAILING PER SHEAR — WALL SCHEDULE PER SHEAR WALL ABOVE (6" O.C. AT -(2) SIMPSON GBC OR USP HC520 EACH KICKER

ROOF TRUSSES AT 24" O.C.

况6" OSB WALL SHEATHING (E)GABLE END WALL DETAIL

2x4 LEDGER. FASTEN TO WALL STUDS w/(2) ROWS SIMPSON SDS¼x3½" OR USP WS35 SCREWS @ 16" O.C. -2x4 RAFTER & CEILING JOIST, LAP AND FACE NAIL WITH (4) 12d NAILS -2x4 LEDGER. FASTEN TO WALL OR GABLE TRUSS WITH (2) ROWS 12d NAILS @ 16" O.C.

-WALL STUD OR GABLE TRUSS

TOFNAIL RAFTER TO LEDGER

WITH (4) 12d NAILS

ENGINEERING 1. SUITE 201, QUAKERTOWN, PA 18951 10m (215) 804-4449

SE

-INSTALL ½" DIA. ANCHOR BOLTS, SEE FOUNDATION NOTES. CONCRETE SLAB POURED MONOLITHICALLY WITH FOOTING, SEE PLAN. 4" GRAVEL FILL OR GROUP 1 CLASSIFIED SOIL COMPACTED SOIL MONOLITHIC CONCRETE FOOTING W/ 4" LEDGE @ BRICK VENEER, SEE PLAN.

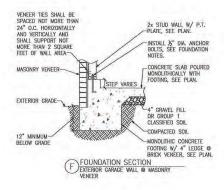
FOUNDATION SECTION
EXTERIOR WALL AT PORCH W/ MASONRY VENEER

-2x STUD WALL W/ P.T. PLATE, SEE PLAN. INSTALL ½" DIA. ANCHOR BOLTS, SEE FOUNDATION 6" CONCRETE STEMWALL CONCRETE SLAB POURED MONOLITHICALLY WITH FOOTING, SEE PLAN. STEP VARIES EXTERIOR GRADE -OR GROUP 1 CLASSIFIED SOIL 12" MINIMUM BELOW GRADE COMPACTED SOIL -MONOLITHIC CONCRETE FOOTING, SEE PLAN. E FOUNDATION SECTION EXTERIOR GARAGE WALL

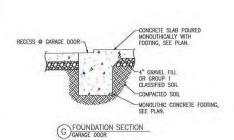
A FOUNDATION SECTION EXTERIOR WALL

8" MINIMUM

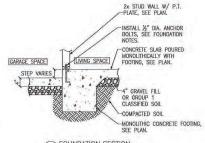
TO GRADE



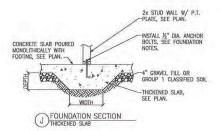
B FOUNDATION SECTION EXTERIOR WALL @ MASONRY VENEER

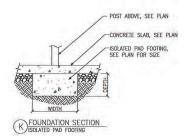


C FOUNDATION SECTION EXTERIOR WALL AT PORCH



H)FOUNDATION SECTION







Foundation Slab Monolithic Project #: Checked By:

Detail

120 M.P.H. Carolina Division 105-19000 Designed By: KRK Issue Date: 1/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

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SE

2x STUD WALL W/ P.T. PLATE, SEE PLAN.