



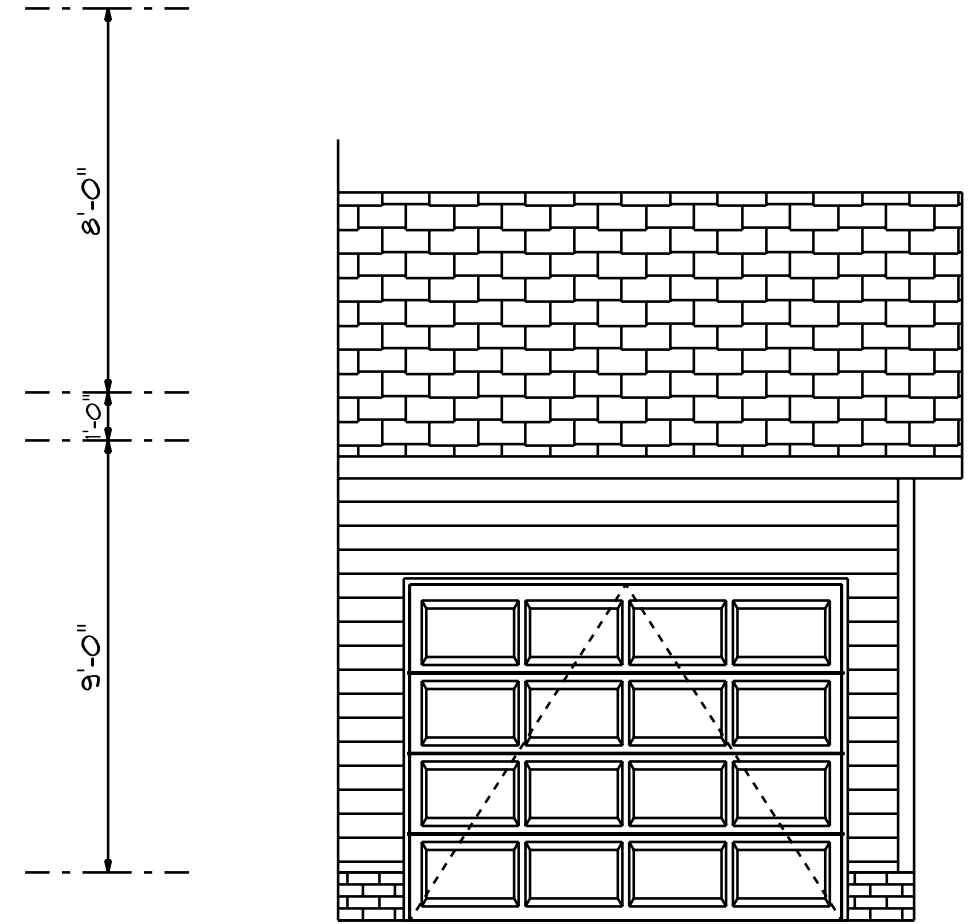
**Front Elevation**  
Scale: 1/4" = 1'0"

NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

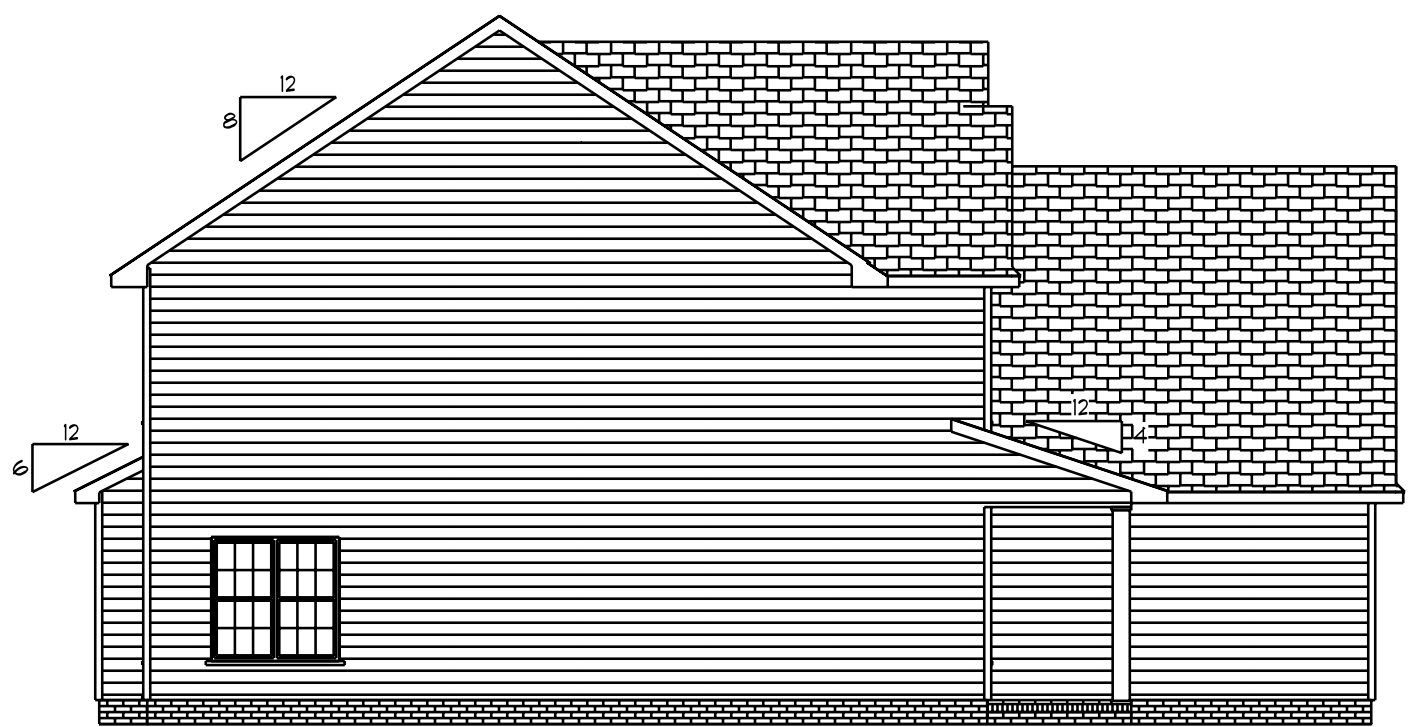
**APPROVED**  
Limited building only review  
Permit holder responsible for full compliance with the code

03/11/2021

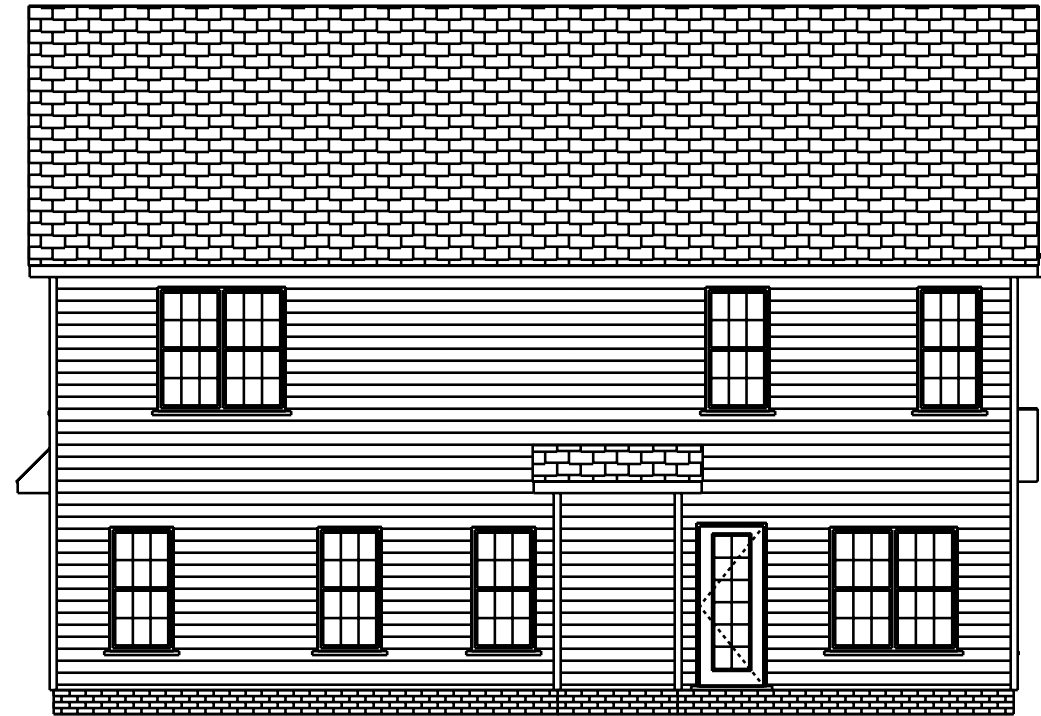




**Optional Garage**



**Left Elevation**  
Scale: 1/8" = 1'0"



**Rear Elevation**  
Scale: 1/8" = 1'0"

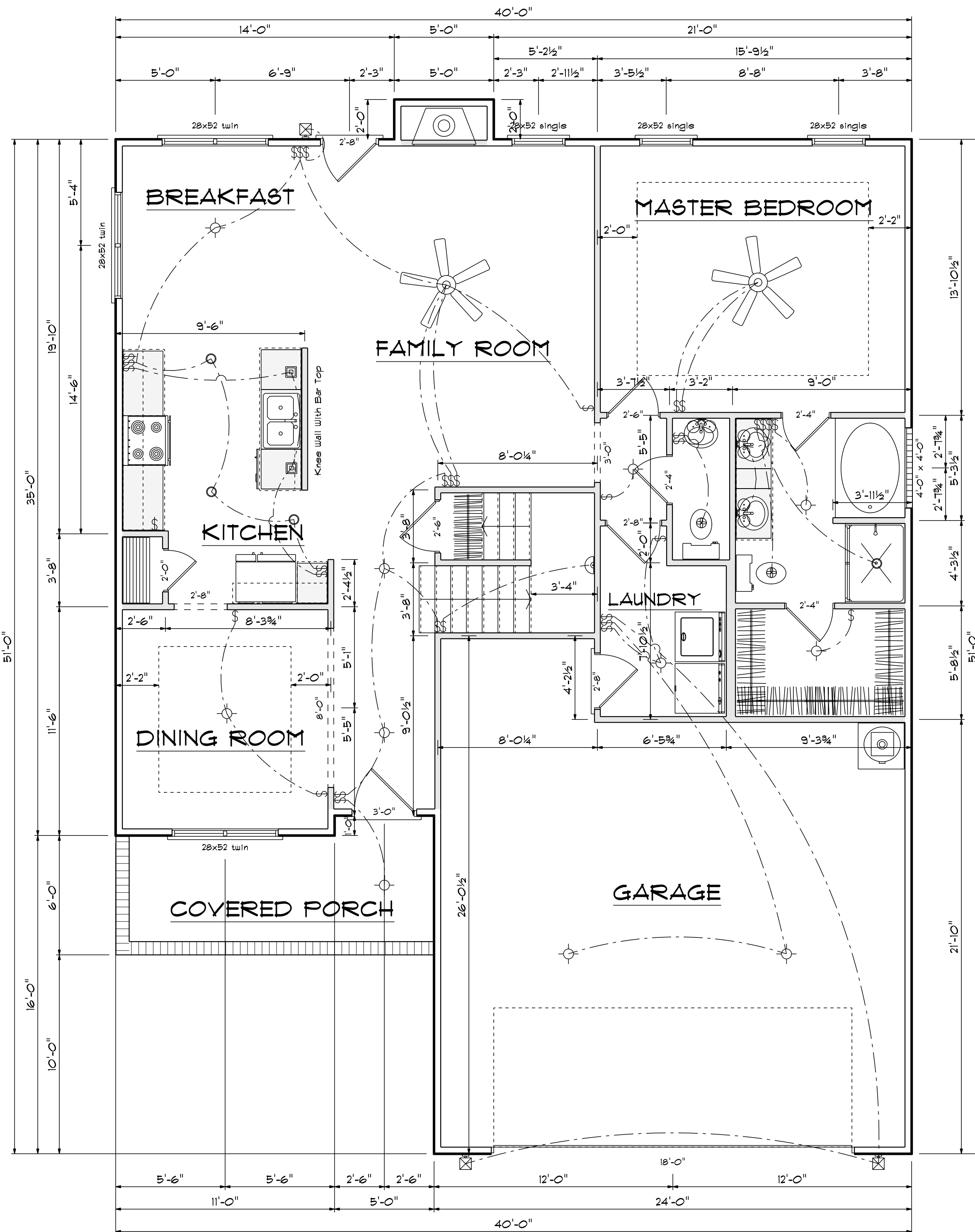


**Right Elevation**  
Scale: 1/8" = 1'0"

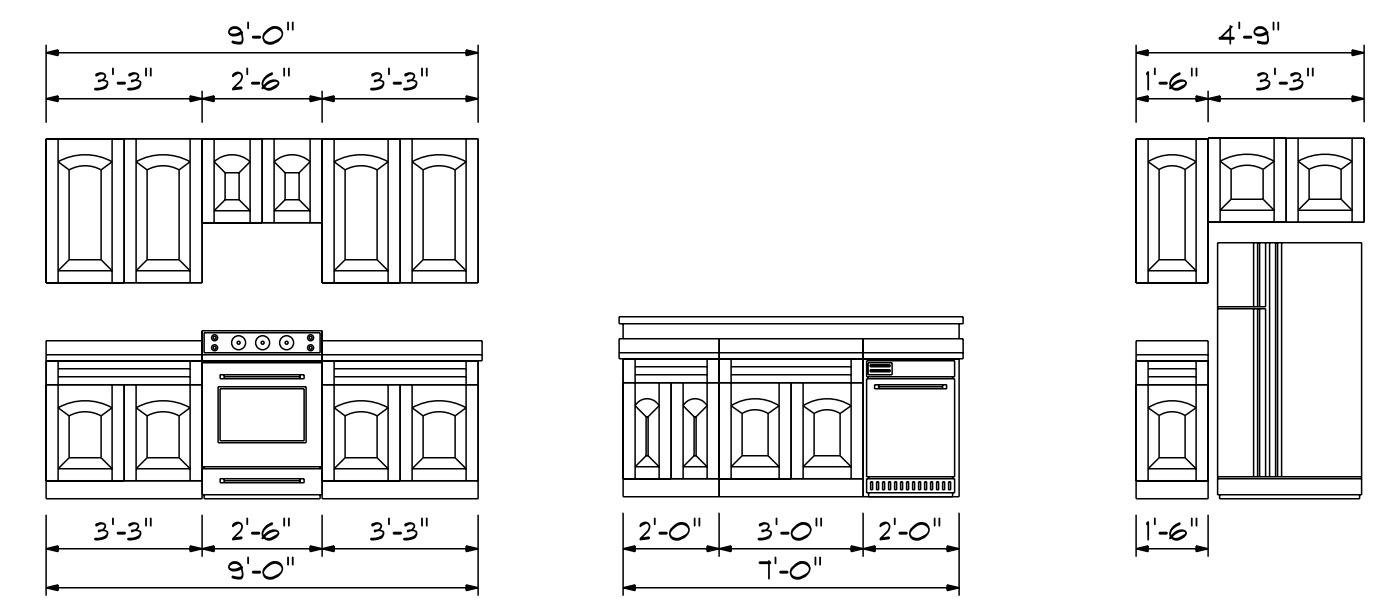
DATE: 4/11/2020  
REVISED  
DRAWING#

SCALE: 1/4"  
DRAWN BY  
APPROVED

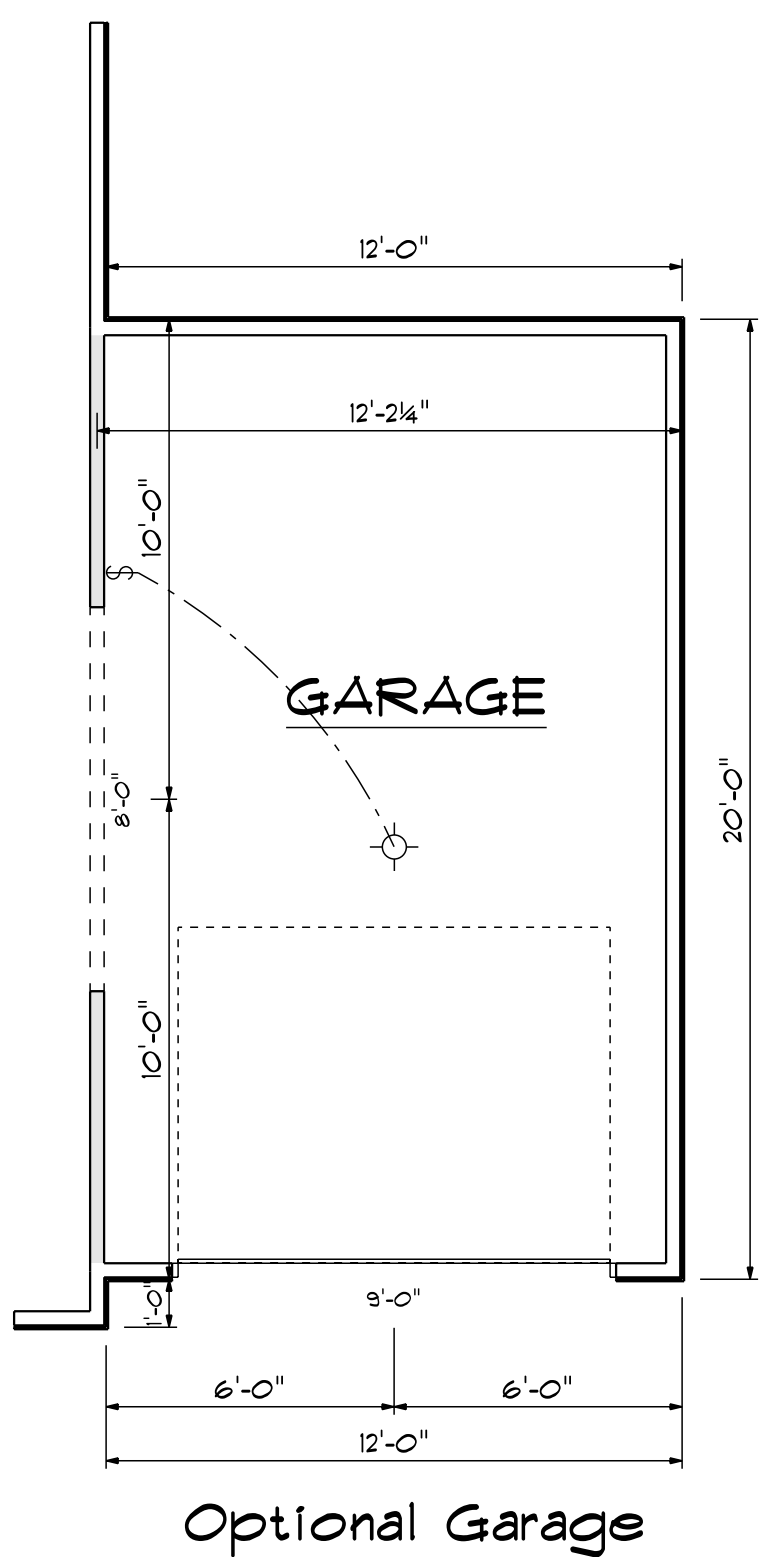
**The Williams**



### Kitchen Cabinets



FIRST FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
36X80 COLONIAL A 1	3'-0"	R	1
32X80 FRENCH A 1	2'-8"	L	1
108X84 - 1 PANEL - GARAGE DOOR(OPT)	9'-0"	U	1
192X84 - 8 PANEL - GARAGE DOOR	18'-0"	U	1
2-0 Door Unit	2'-0"	R	1
2-4 Door Unit	2'-4"	R	1
2-4 Door Unit	2'-4"	L	2
2-6 Door Unit	2'-6"	R	1
2-6 Door Unit	2'-6"	L	1
2-8 Door Unit	2'-8"	R	2
28x52 single	2'-8" x 5'-2"	N	3
28x52 twin	5'-4" x 5'-2"	NN	3
12X12 GLASS BLOCK	4'-0" x 4'-0"	N	1



### Areas

First Floor	1233
Second Floor	1156
-----	
Total Heated	2389
Garage	559
Porch	100
Storage	253
Opt. Garage	240

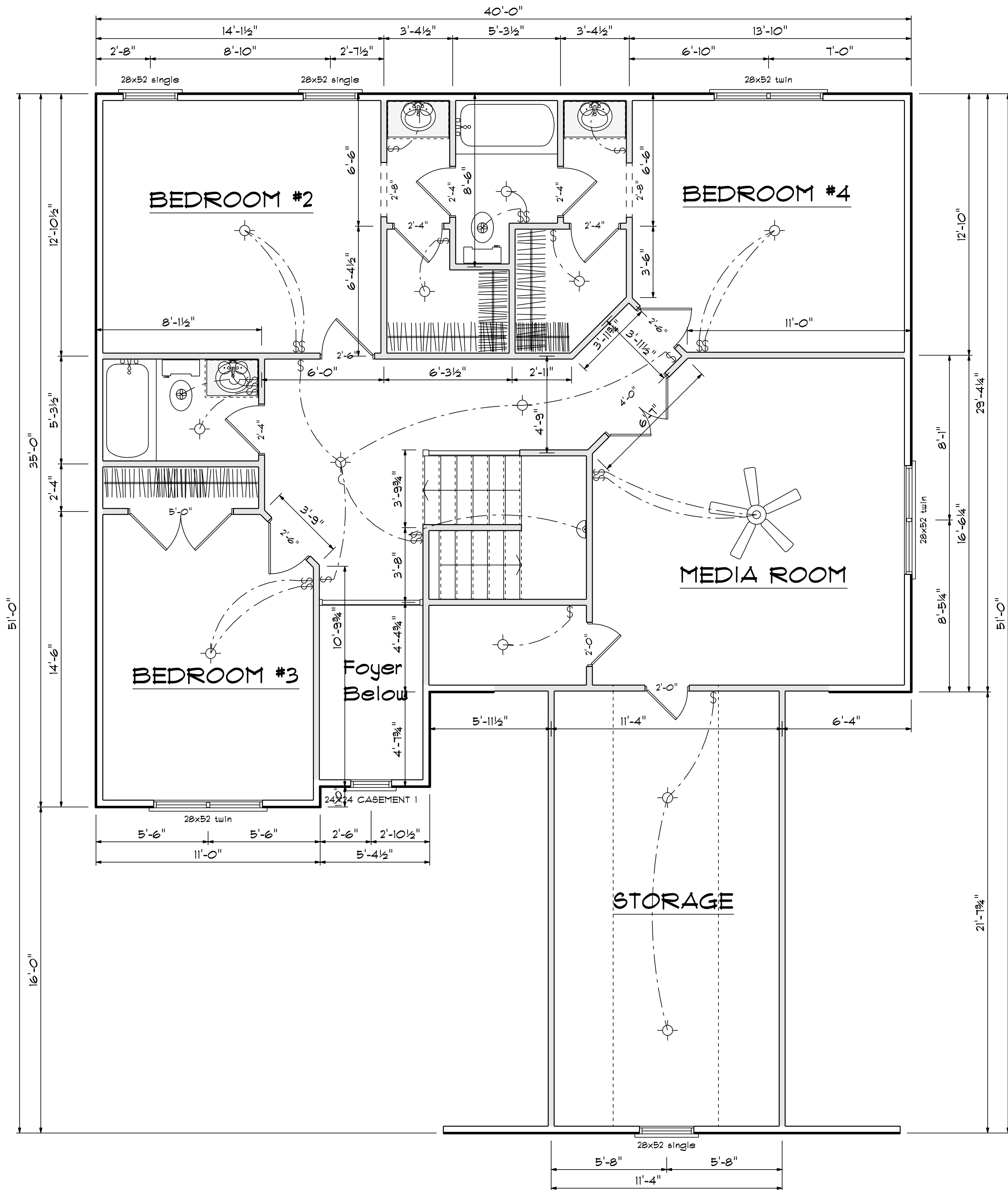
### Main Floor Plan

Scale: 1/4" = 1'-0"

DATE: 4/11/2020  
 REVISIONS  
 DRAWING#

SCALE: 1/4"  
 DRAWN BY  
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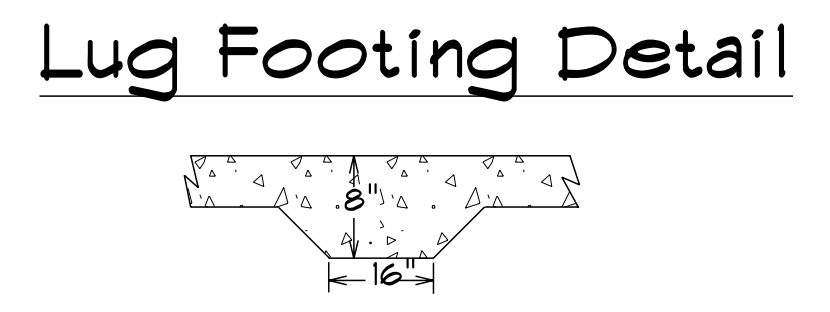
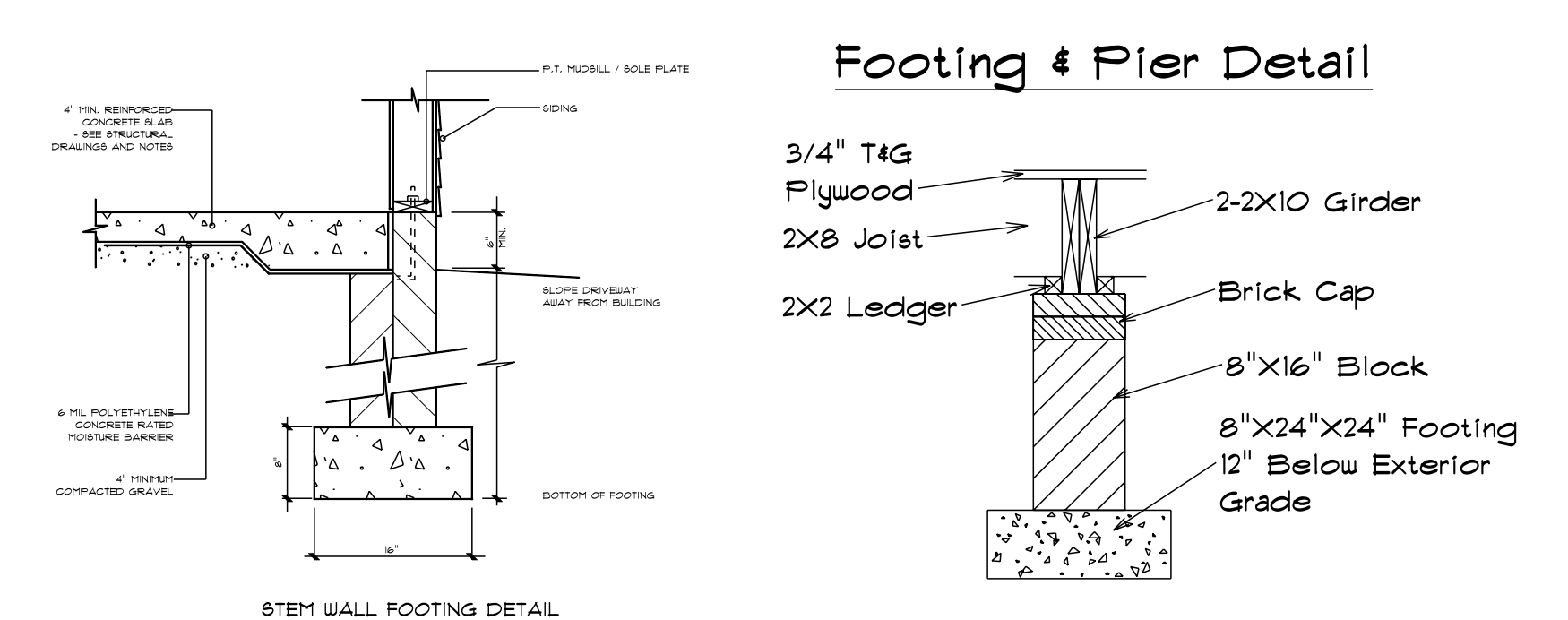
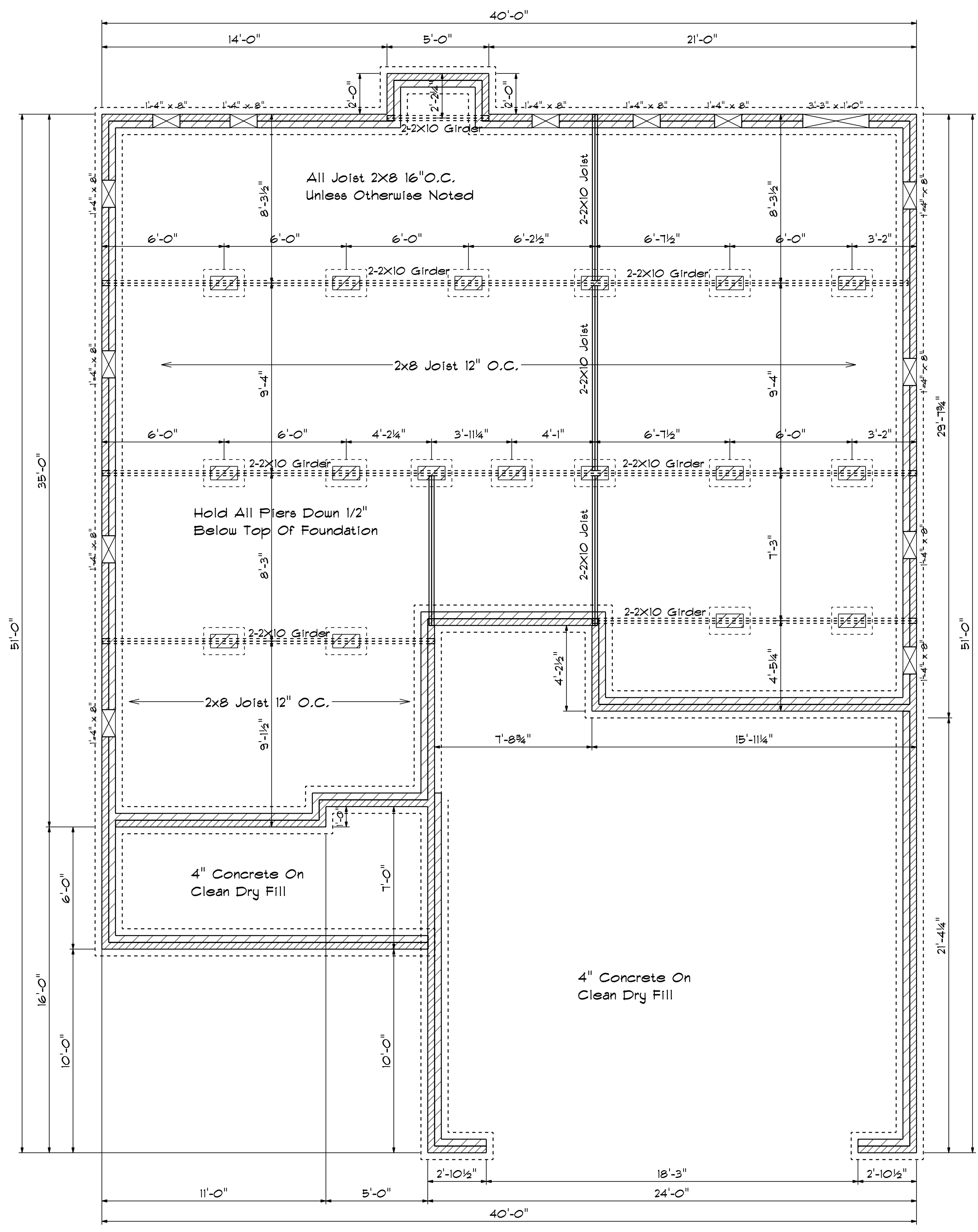
SECOND FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
2-0 Door Unit	2'-0"	R	2
2-4 Door Unit	2'-4"	R	2
2-4 Door Unit	2'-4"	L	3
2-6 Door Unit	2'-6"	R	2
2-6 Door Unit	2'-6"	L	1
4-0 Doublehung Door Unit	4'-0"	LR	1
5-0 Doublehung Door Unit	5'-0"	LR	1
24X24 CASEMENT 1	2'-0" x 2'-0"	N	1
28x52 single	2'-8" x 5'-2"	N	3
28x52 twin	5'-4" x 5'-2"	NN	3

Second Floor Plan  
 Scale: 1/4" = 1'-0"

DATE: 4/11/2020  
 REVISED  
 DRAWING#

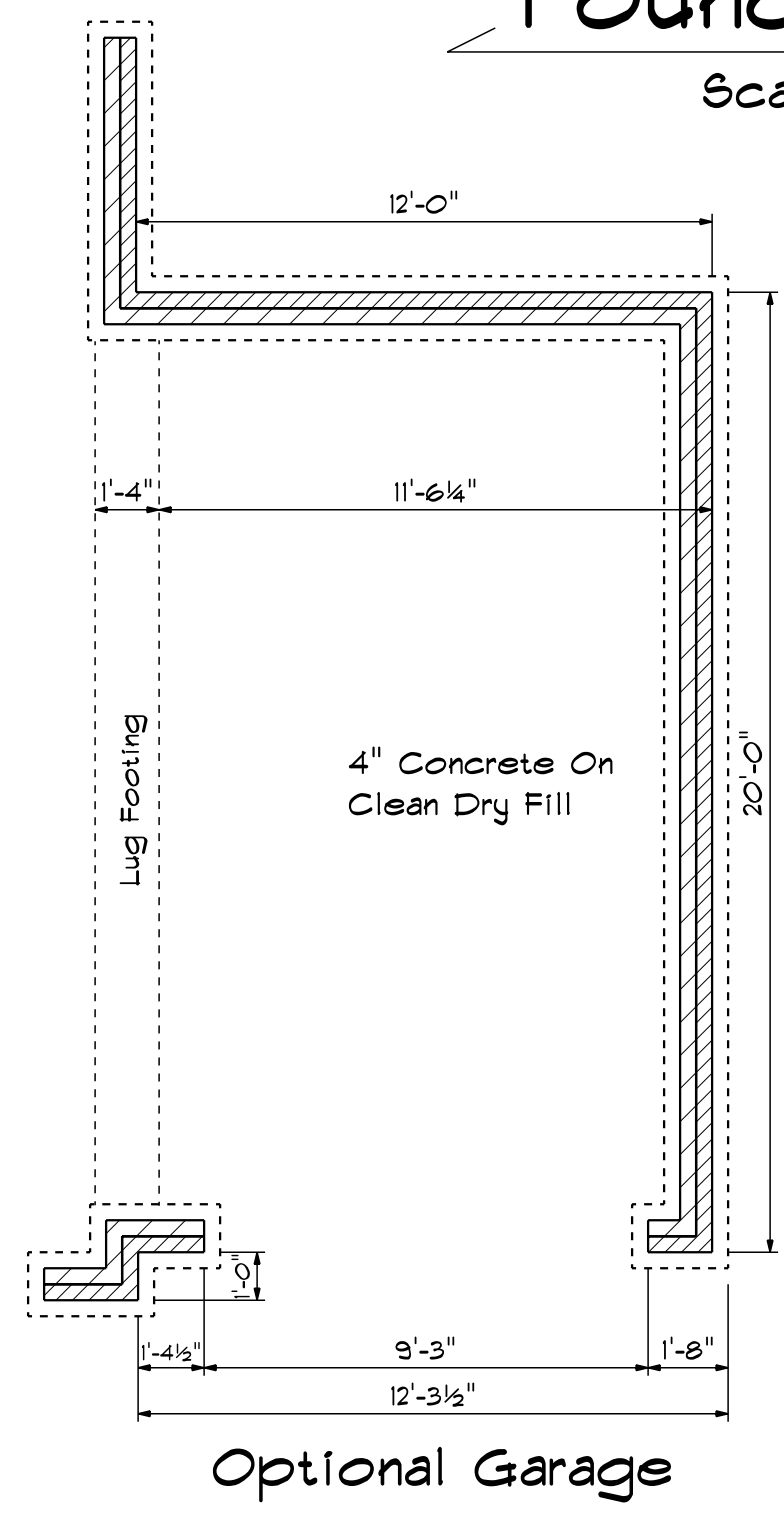
SCALE: 1/4"  
 DRAWN BY  
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### Foundation Plan

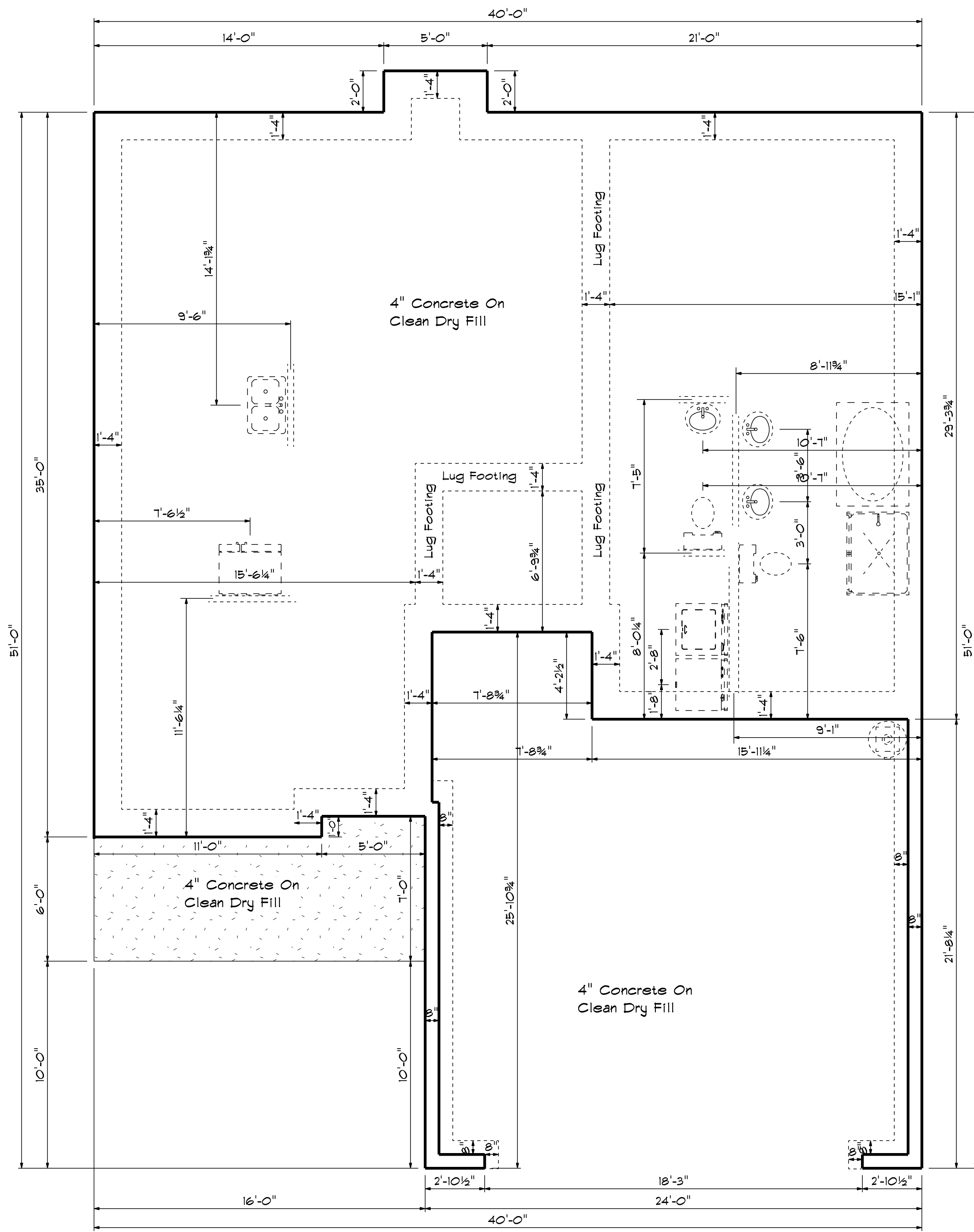
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### FOUNDATION VENTILATION

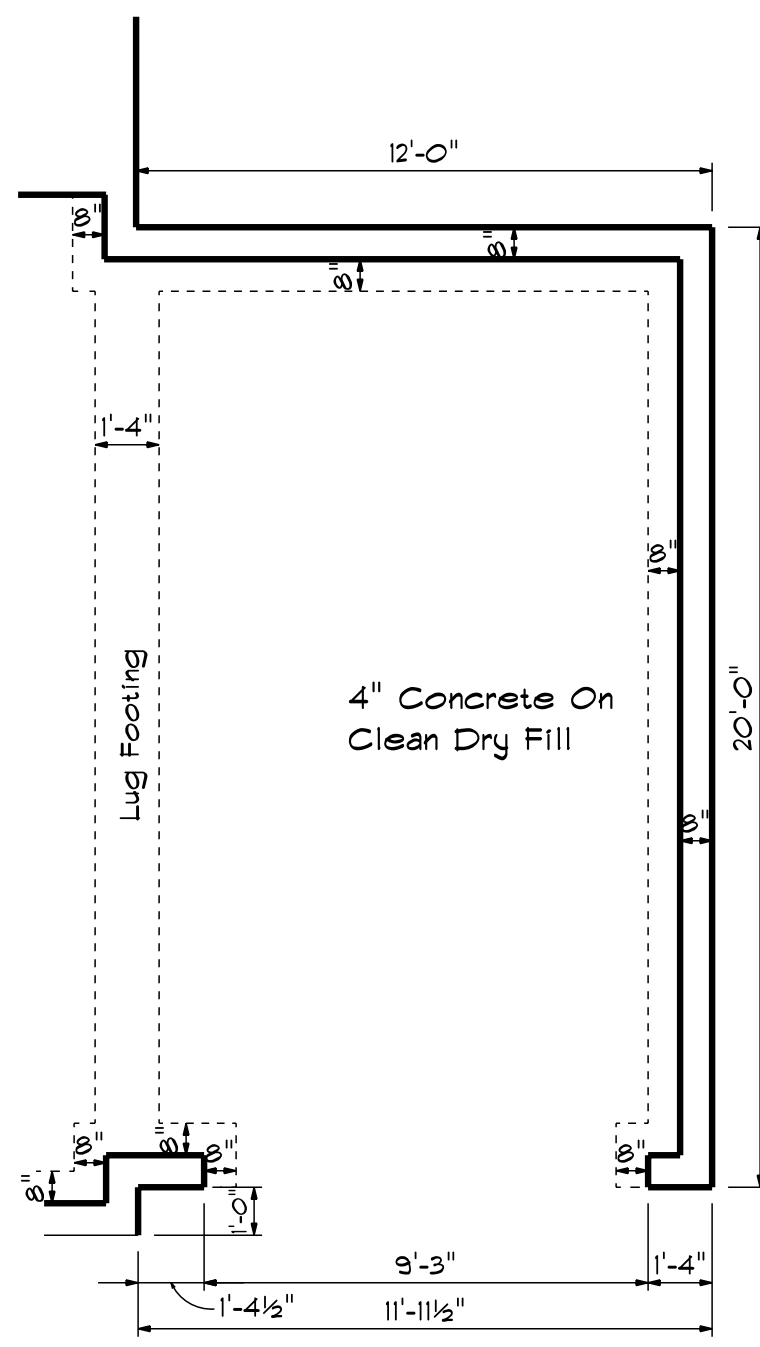
1233 Sq.Ft. Foundation Area  
Requires 8.22 Sq.Ft. Ventilation.  
With 6 Mil. Poly, Plans Indicate  
Vents For Adequate Cross  
Ventilation.

DATE: 4/11/2020	REVISIONS	DRAWING#
SCALE: 1/4"	DRAWN BY	APPROVED
The Williams		

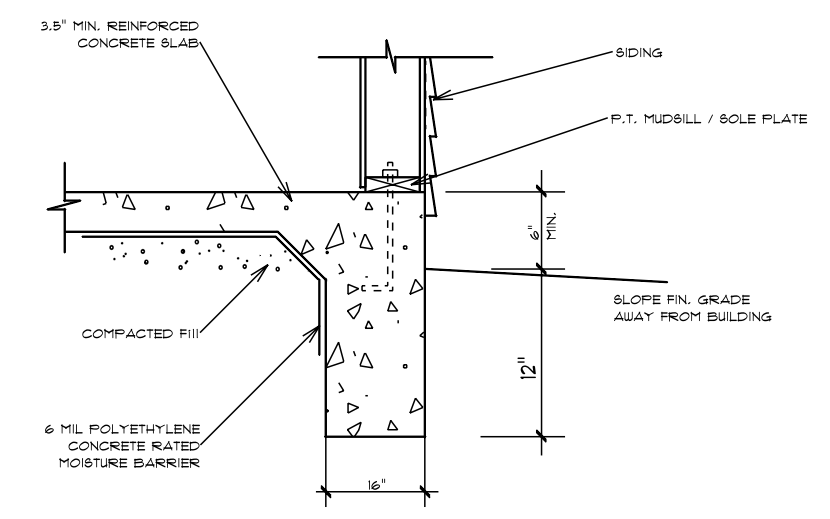


# Foundation Plan

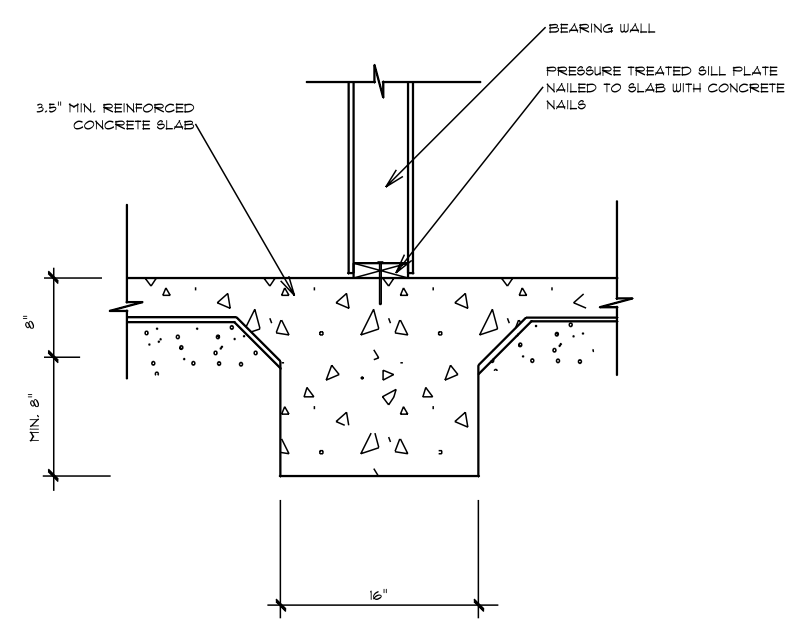
Scale: 1/4" = 1'-0"



## Optional Garage



TURN-DOWN FOOTING DETAIL

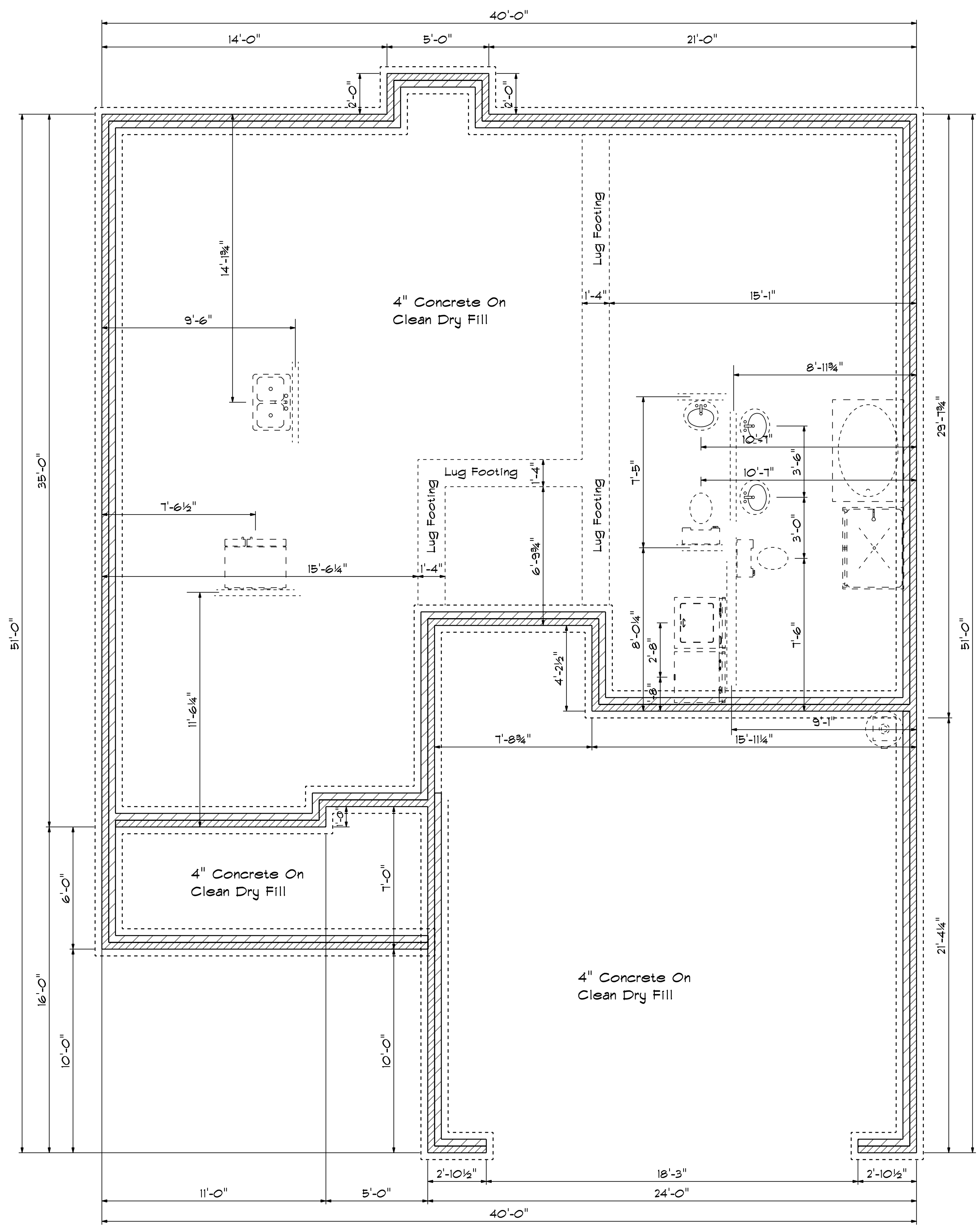


INTEGRAL SLAB FOOTING DETAIL AT BEARING WALL

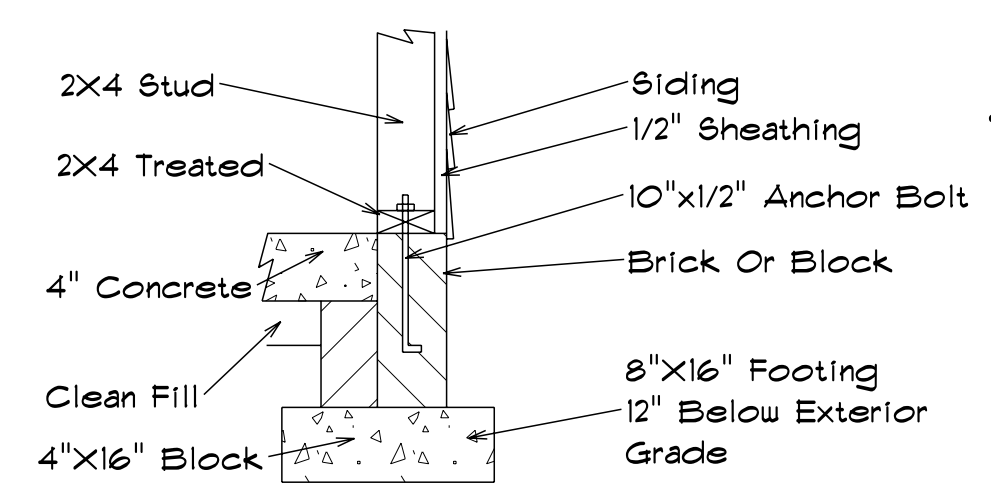
DATE: 4/11/2020  
REVISED  
DRAWING#

SCALE: 1/4"  
DRAWN BY  
APPROVED

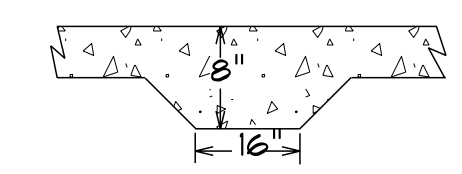
The Williams



### Foundation Detail Siding

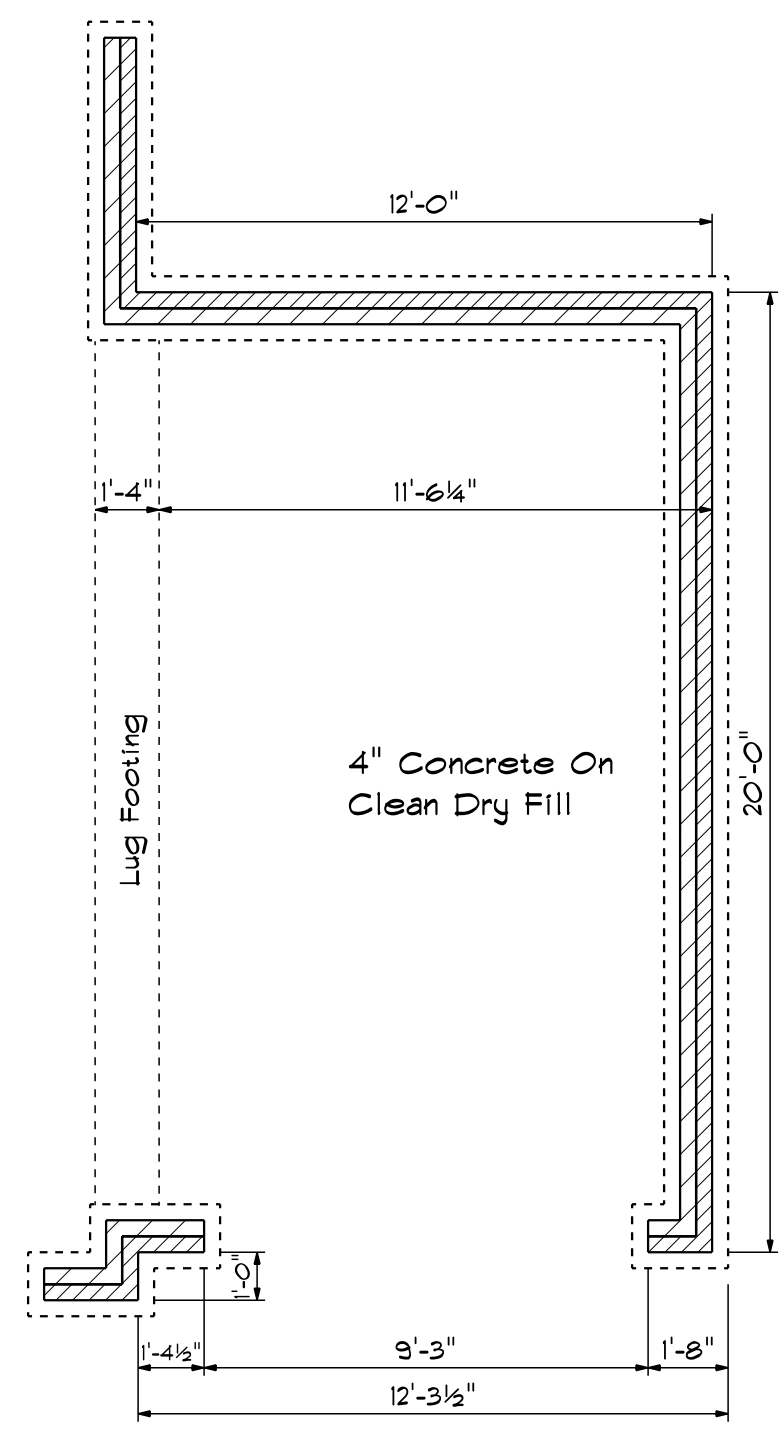


### Lug Footing Detail



### Foundation Plan

Scale: 1/4" = 1'-0"



Optional Garage

DATE: 4/11/2020  
 REVISED  
 DRAWING#

SCALE: 1/4"  
 DRAWN BY  
 APPROVED

The Williams



### ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

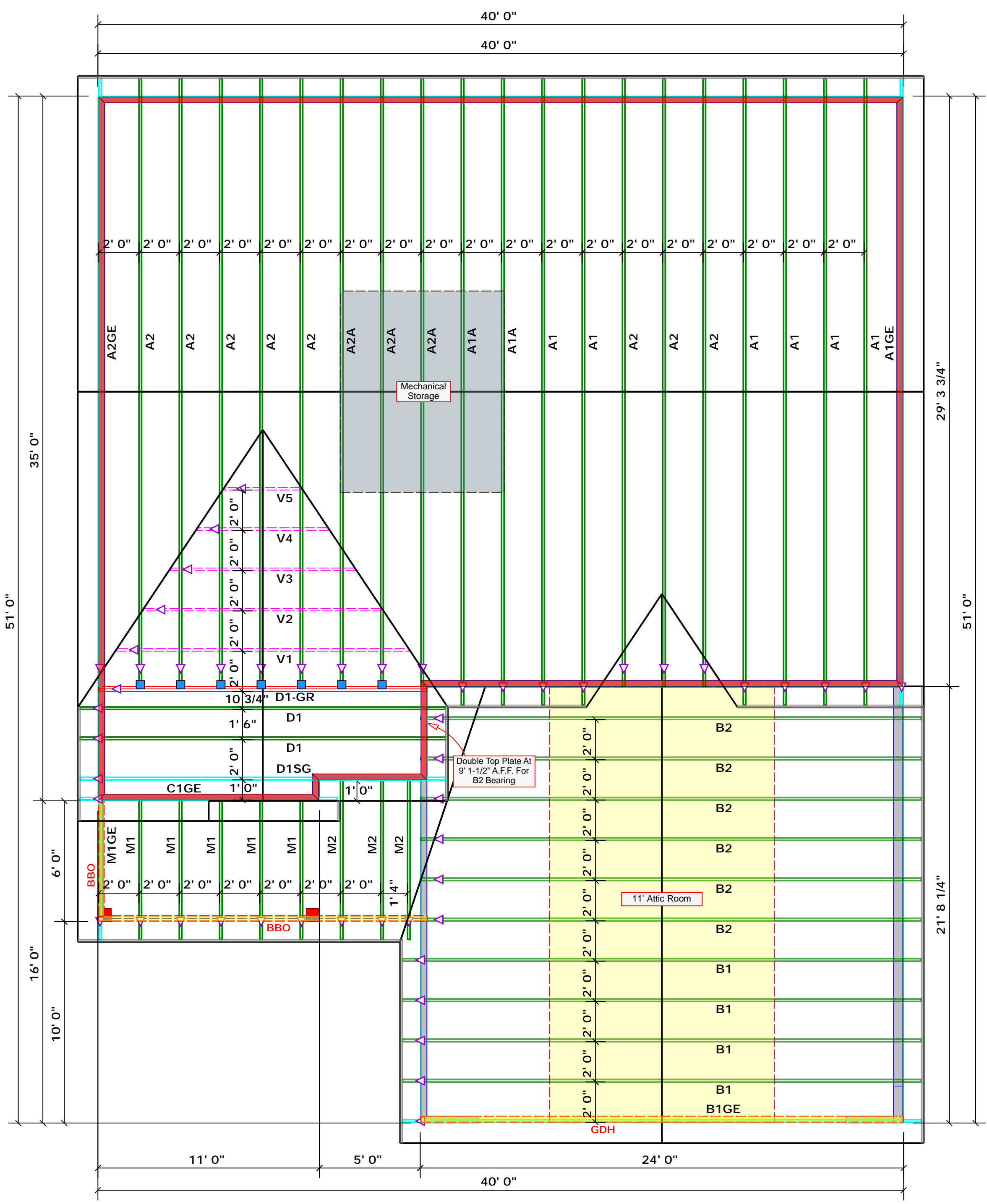
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature \_\_\_\_\_  
**David Landry**

#### LOAD CHART FOR JACK STUDS

(BASED ON TABLES ROEHLIC 6 (D))  
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS/STROPS

END REACTION (IP-TON)	REQ'D STUDS FOR 10' BY BEAM	END REACTION (IP-TON)	REQ'D STUDS FOR 10' BY BEAM
1700	1	2550	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		



**Dimension Notes**  
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise  
2. All interior wall dimensions are to face of frame wall unless noted otherwise  
3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise

**All Walls Shown Are Considered Load Bearing**

Roof Area = 2876.64 sq.ft.  
Ridge Line = 101.75 ft.  
Hip Line = 0 ft.  
Horiz. OH = 145.21 ft.  
Raked OH = 196.83 ft.  
Decking = 99 sheets

**Hatch Legend**

- Drop Beam
- Second Floor Walls
- Padded HVAC

**Connector Information**

Sym	Product	Manuf	Qty	Supported Member	Header	Truss
■	HUS26	USP	7	Varies	16d/3-1/2"	16d/3-1/2"

**Products**

PlotID	Length	Product	Plies	Net Qty
BM1	4' 0"	2x10 SPF No.2	2	2
BM2	12' 0"	2x12 SPF No.2	2	4
GDH	24' 0"	1-3/4"x 14" LVL Kerto-S	2	2

**1 Truss Placement Plan**  
Scale: 1/4"=1'

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
Ben Stout Real Estate	Lot 30 Forest Ridge	The Williams	N/A	Quote #	J1020-4756
COUNTY	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALESMAN
Cumberland	Tanna Place	Roof	01/07/21	David Landry	Marshall Naylor

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com





# ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
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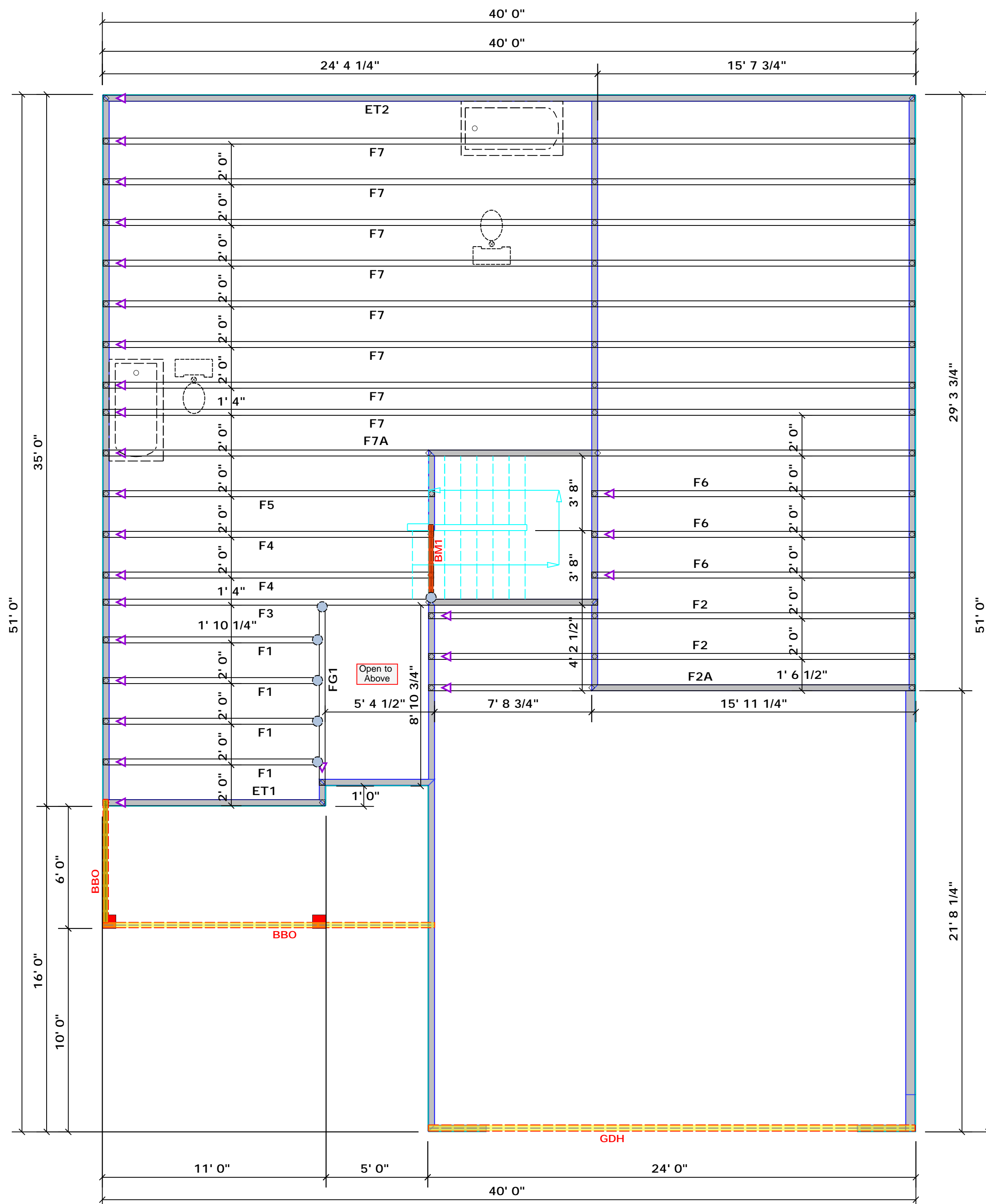
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Signature \_\_\_\_\_  
**David Landry**

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(BASED ON TABLES ROEHLIC & CO.)  
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS/GIRDERS

END REACTION (IP/T)	REQ'D STUDS FOR 10' BY BEAM	END REACTION (IP/T)	REQ'D STUDS FOR 10' BY BEAM
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- All exterior wall to truss dimensions are to face of frame wall unless noted otherwise

**All Walls Shown Are Considered Load Bearing**

**Plumbing Drop Notes**

- Plumbing drop locations shown are NOT exact.
- Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
- Adjust spacing as needed not to exceed 24" oc.

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
●	MSH422	USP	6	Varies	10d/3"	10d/3"

Products				
PlotID	Length	Product	Plies	Net Qty
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Scale: 1/4"=1'

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COUNTY	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALESMAN
Cumberland	Tanna Place	Floor	01/07/21	David Landry	Marshall Naylor

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