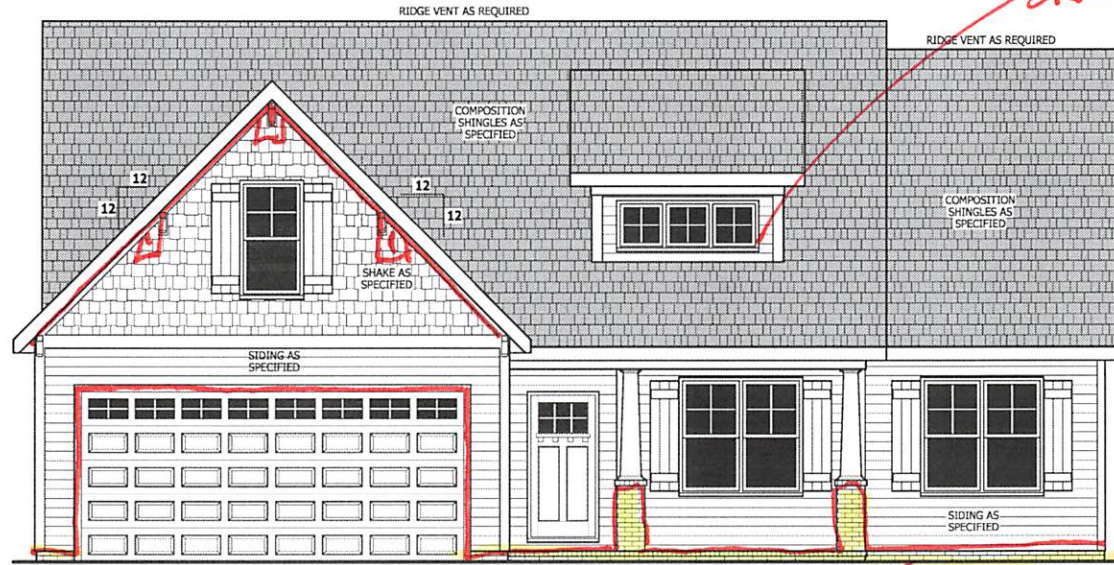


AF-4 3CG

SHAKE

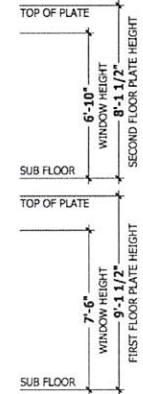


**WINDOWS WITH SIDE LOAD GARAGE**



**FRONT ELEVATION**

SCALE 1/4" = 1'-0"



**SQUARE FOOTAGE HEATED**

FIRST FLOOR	1351 SQ.FT.
PLAYROOM	221 SQ.FT.
TOTAL	1572 SQ.FT.

**HEATED OPTIONAL**

BATH	49 SQ.FT.
UNHEATED FRONT PORCH	134 SQ.FT.
GARAGE	447 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	743 SQ.FT.

**UNHEATED OPTIONAL**

FL 3RD GAR	307 SQ.FT.
SL 3RD GAR	335 SQ.FT.
EX 3RD GAR	573 SQ.FT.

**PLANS DESIGNED TO THE 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE**

CLIMATE ZONE	MEAN ROOF HEIGHT: 17'-2"			HEIGHT TO RIDGE: 25'-6"		
	ZONE 3A	ZONE 4A	ZONE 5A	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30	0.30	0.30	0.30
CEILING R-VALUE	38 or 30cl	38 or 30cl	38 or 30cl	38 or 30cl	38 or 30cl	38 or 30cl
WALL R-VALUE	15	15	19	15	15	19
FLOOR R-VALUE	19	19	30	19	19	30
** BASEMENT WALL R-VALUE	5/13	10/15	10/15	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10	0	10	10
* CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19	5/13	10/15	10/19

\* 10/19 MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION  
 \*\* INSULATION DEPTH WITH MONOLITHIC SLAB 2" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH STEM WALLS 5/8" 2" OR TO BOTTOM OF FOUNDATION WALL

DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (3 FASTEST MILES EXPOSURE "B")

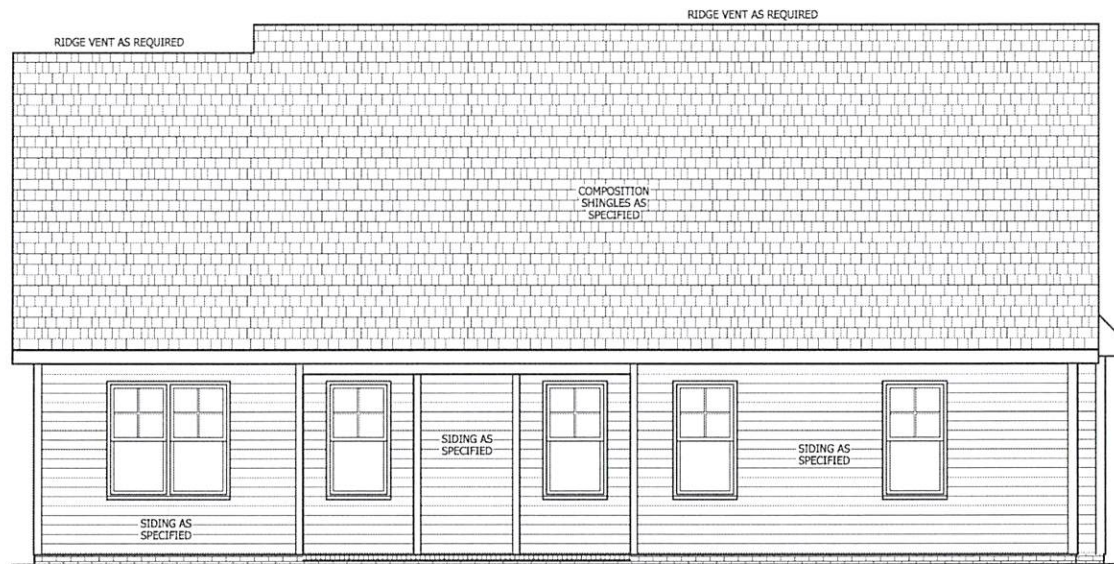
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'			30'-1" TO 35'			35'-1" TO 40'			40'-1" TO 45'					
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5
14.2	-15.0	14.9	-15.8	15.5	-16.4	15.9	-16.8	16.7	-17.6	17.5	-18.4	18.3	-19.2	19.1	-20.0
14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2	16.7	-17.6	17.5	-18.4	18.3	-19.2	19.1	-20.0
14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2	16.7	-17.6	17.5	-18.4	18.3	-19.2	19.1	-20.0
15.5	-16.0	16.3	-16.8	16.9	-17.4	17.4	-17.9	18.2	-18.7	18.7	-19.2	19.2	-19.7	19.7	-20.2
15.5	-20.0	16.3	-21.0	16.9	-21.8	17.4	-22.4	18.2	-18.7	18.7	-19.2	19.2	-19.7	19.7	-20.2

DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (3 FASTEST MILES EXPOSURE "B")

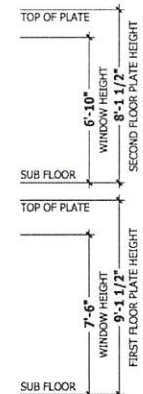
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'			30'-1" TO 35'			35'-1" TO 40'			40'-1" TO 45'					
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5
16.7	-18.0	17.5	-18.9	18.2	-19.6	18.7	-20.2	19.2	-20.6	19.7	-21.1	20.2	-21.6	20.7	-22.1
16.7	-21.0	17.5	-22.1	18.2	-22.9	18.7	-23.5	19.2	-20.6	19.7	-21.1	20.2	-21.6	20.7	-22.1
16.7	-21.0	17.5	-22.1	18.2	-22.9	18.7	-23.5	19.2	-20.6	19.7	-21.1	20.2	-21.6	20.7	-22.1
18.2	-19.0	19.1	-20.0	19.8	-20.7	20.4	-21.3	20.2	-21.1	20.7	-21.6	20.7	-21.6	20.7	-21.6
18.2	-24.0	19.1	-25.2	19.8	-26.2	20.4	-26.9	20.2	-21.1	20.7	-21.6	20.7	-21.6	20.7	-21.6



**REAR ELEVATION**

SCALE 1/4" = 1'-0"



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**FRONT & REAR ELEVATIONS**  
**SINCLAIR**

**HAYNES WEAVER HOMES**  
910.630.2210 • 919.006.4196

**HAYNES WEAVER HOME PLANS, INC.**  
P.O. Box 702, Wake Forest, NC 27888, 914.485.4189, Fax: 914.485.4189

**SQUARE FOOTAGE**

HEATED	1351 SQ. FT.
HEATED OPTIONAL	743 SQ. FT.
UNHEATED OPTIONAL	1617 SQ. FT.

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PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.  
 HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES.  
 CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.  
 THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**LEFT & RIGHT ELEVATIONS**  
**SINCLAIR**

**HAYNES WEAVER HOMES**  
 HOME PLANS, INC.  
 910.630.2100 • 910.006.4090  
 1014 West 10th Street, Suite 100, Raleigh, NC 27603

**HAYNES WEAVER HOMES**  
 HOME PLANS, INC.  
 P.O. Box 702, Wake Forest, NC 27388 • 919-455-1189 • Fax: 919-455-1485

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1351 SQ. FT.
SECOND FLOOR	221 SQ. FT.
TOTAL	1572 SQ. FT.
UNHEATED	
REAR PORCH	134 SQ. FT.
COVERED PORCH	112 SQ. FT.
DECK	88 SQ. FT.
TOTAL	334 SQ. FT.
UNHEATED OPTION	
FL. 3RD GAR.	301 SQ. FT.
SL. 3RD GAR.	295 SQ. FT.
EX. 3RD GAR.	573 SQ. FT.

**ROOF VENTILATION**

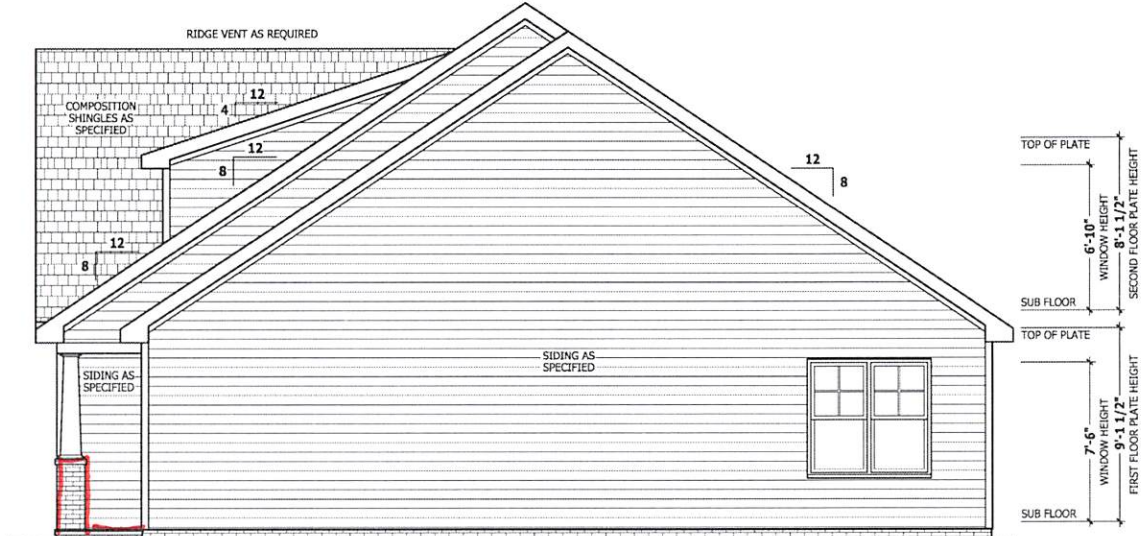
**SECTION R806**  
 SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,111 SQ.FT.  
 NET FREE CROSS VENTILATION NEEDED:  
 WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 14.07 SQ.FT.  
 WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 7.04 SQ.FT.

**GUARD RAIL NOTES**

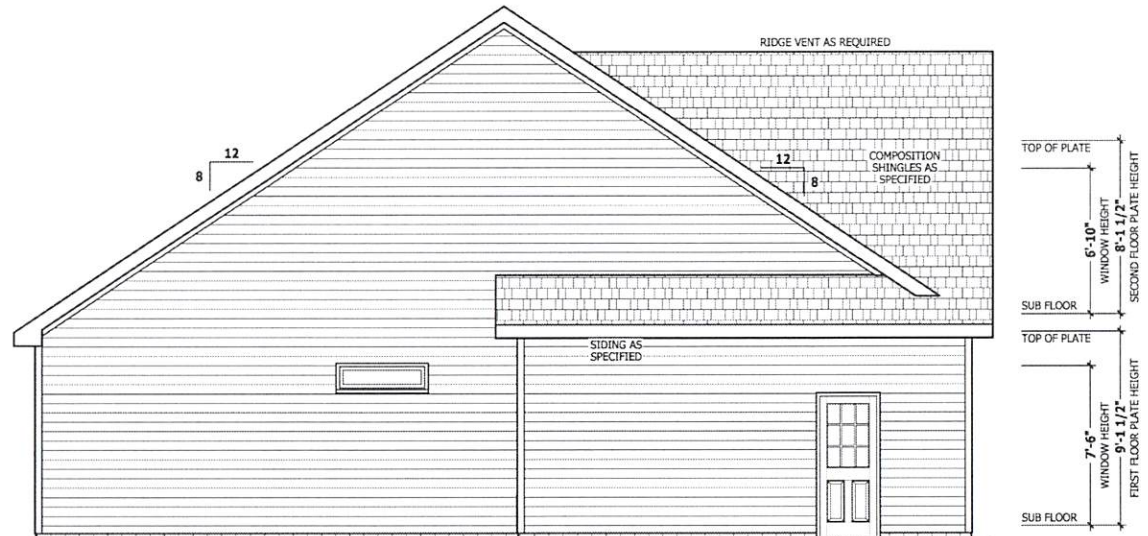
**SECTION R312**  
**R312.1 Where required.** Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.  
**R312.2 Height.** Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.  
**Exceptions:**  
 1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.  
 2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.  
**R312.3 Opening limitations.** Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.  
**Exceptions:**  
 1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.  
 2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 43/8 inches (111 mm) in diameter.

**AIR LEAKAGE**

**Section N1102.4**  
**N1102.4.1 Building thermal envelope.** The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stopped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:  
 1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.  
 2. Capping and sealing shafts or chases, including flue shafts.  
 3. Capping and sealing soffit or dropped ceiling areas.



**RIGHT SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"



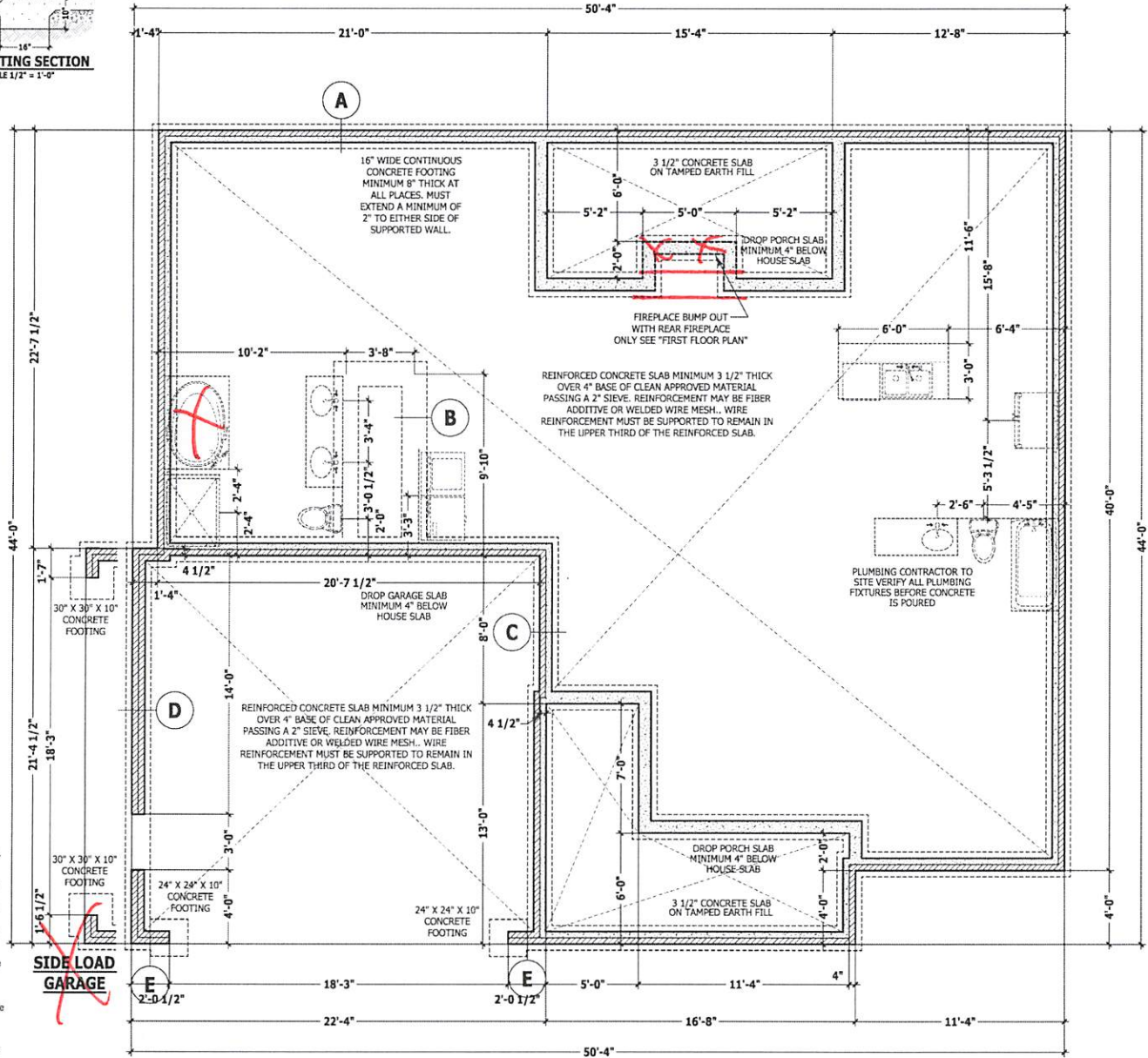
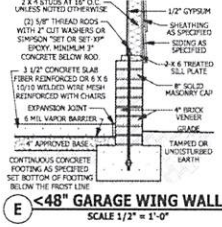
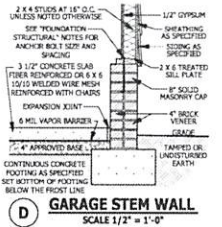
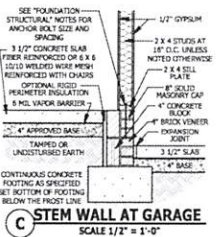
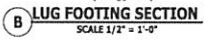
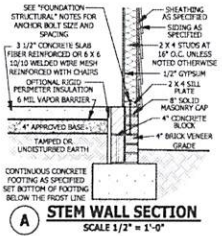
**LEFT SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"

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FOUNDATION PLAN  
**SINCLAIR**

**HAYNES WEAVER**  
HOME PLANS, INC.  
P.O. Box 702, Milledgeville, GA 31061  
910-630-2100 • 910-600-1696  
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SQUARE FOOTAGE	
HEATED	
1ST FLOOR	1351.90 SF
2ND FLOOR	222.50 SF
TOTAL	1574.40 SF
UNHEATED	
REAR PORCH	134.50 SF
GAUGE	440.50 SF
REAR PORCH	113.50 SF
TOTAL	688.50 SF
UNHEATED OPTIONAL	
FL 3RD CAR	352.50 SF
FL 2ND CAR	352.50 SF
EX 3RD CAR	573.50 SF



**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)  
**CONTINUOUS FOOTING:** 16" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.  
**GIRDERS:** (3) 2 x 10 girder unless noted otherwise.  
**PIERS:** 16" x 16" piers with 8" solid masonry cap on 30" x 30" x 10" concrete footing with maximum pier height of 6'-4" with hollow masonry and 160" with solid masonry.  
**POINT LOADS:** ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.  
**115 and 120 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.  
**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

**STEM WALL SLAB PLAN**  
SCALE 1/4" = 1'-0"

# DWELLING / GARAGE SEPARATION

**REFER TO SECTIONS R302.5, R302.6, AND R302.7**

**WALLS.** A minimum 1/2" gypsum board must be installed on all walls supporting floor/ceiling assemblies used for separation required by this section.

**STAIRS.** A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways.

**CEILING.** A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable rooms above the garage. If there are habitable rooms above the garage, a minimum of 5/8" type X gypsum board must be installed on the garage ceiling.

**OPENING PENETRATIONS.** Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.

**DUCT PENETRATIONS.** Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

**OTHER PENETRATIONS.** Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. ALWAYS CONSULT DESIGNER, ARCHITECT OR ENGINEER BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**FIRST FLOOR PLAN**  
**SINCLAIR**

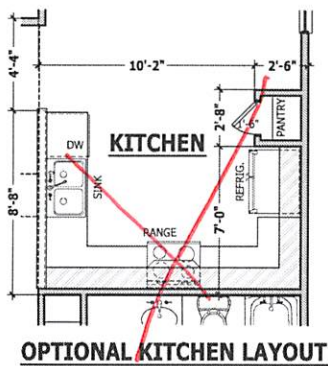
**HAYNES WEAVER HOMES**

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P.O. Box 702, Milledgeville, GA 30601  
910-630-2100 • 910-606-1696  
914-455-6180 Fax 1-866-491-4356

SQUARE FOOTAGE	
HEATED	1351 SQ. FT.
FIRST FLOOR	221 SQ. FT.
PLAYROOM	1572 SQ. FT.
TOTAL	4923 SQ. FT.
HEATED OPTIONAL	49 SQ. FT.
BATH	49 SQ. FT.
UNHEATED	134 SQ. FT.
FRONT PORCH	114 SQ. FT.
GARAGE	447 SQ. FT.
REAR PORCH	113 SQ. FT.
TOTAL	694 SQ. FT.
UNHEATED OPTIONAL	307 SQ. FT.
FL 3RD GAR	335 SQ. FT.
SL 3RD GAR	573 SQ. FT.
EX 3RD GAR	573 SQ. FT.

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**PAGE 4 OF 8**

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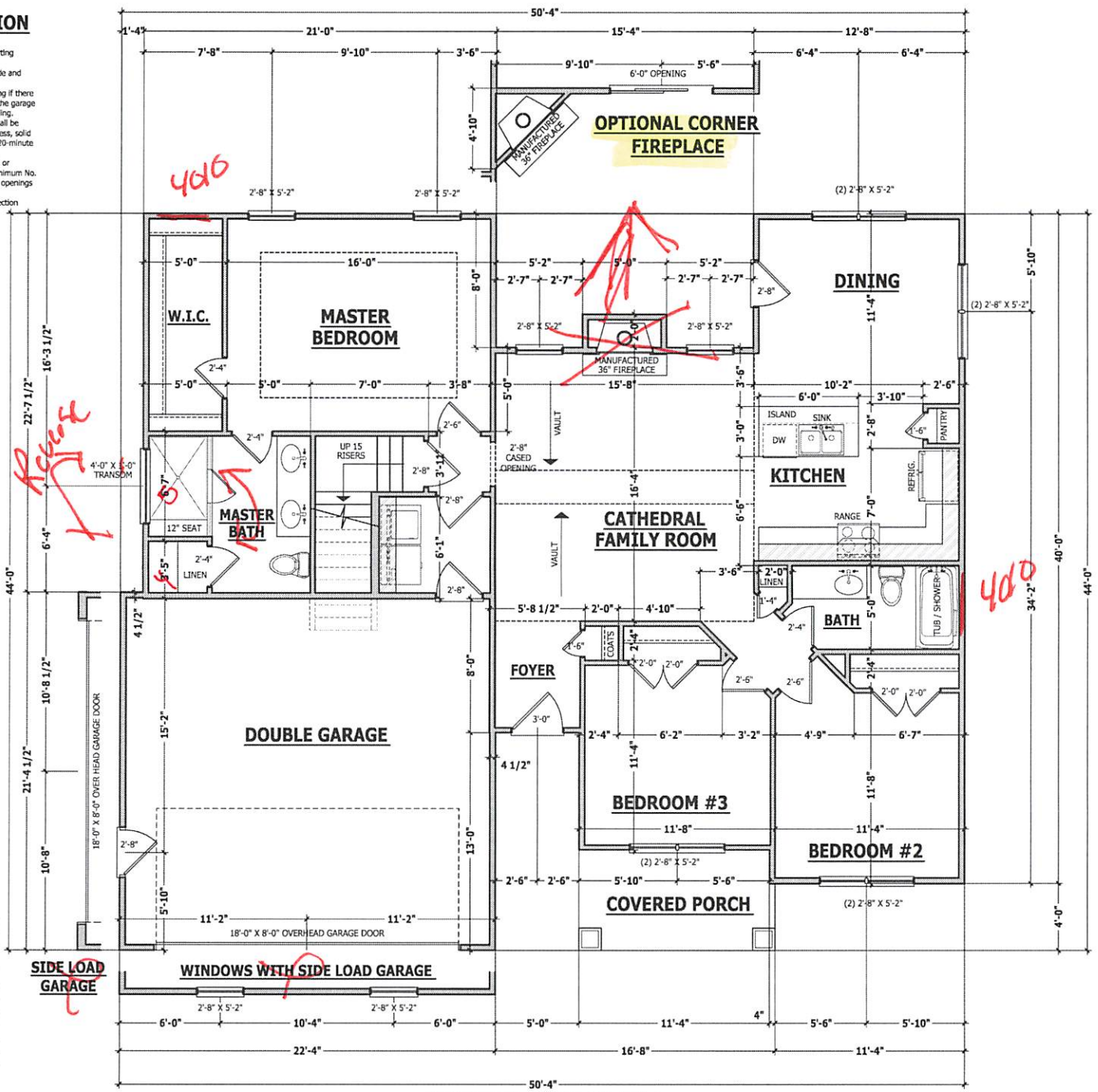
## WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted. 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.

Interior walls are drawn as 3 1/2" or as noted. 2 X 6 are drawn as 5 1/2", and do not include gypsum.

## SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1351 SQ. FT.
PLAYROOM	221 SQ. FT.
TOTAL	1572 SQ. FT.
HEATED OPTIONAL	
BATH	49 SQ. FT.
UNHEATED	
FRONT PORCH	134 SQ. FT.
GARAGE	447 SQ. FT.
REAR PORCH	113 SQ. FT.
TOTAL	694 SQ. FT.
UNHEATED OPTIONAL	
FL 3RD GAR	307 SQ. FT.
SL 3RD GAR	335 SQ. FT.
EX 3RD GAR	573 SQ. FT.



# FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

## STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

**JOB SITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	--	L/360
Snow	20	--	--

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.

**ENGINEERED WOOD BEAMS:**  
 Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x10<sup>6</sup> PSI  
 Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10<sup>6</sup> PSI  
 Laminated strand lumber (LSL) Fb=2250 PSI, Fv=400 PSI, E=1.55x10<sup>6</sup> PSI  
 Install all connections per manufacturer's instructions.

**TRUSS AND I-JOIST MEMBERS:** All roof truss and I-joint layouts shall be prepared in accordance with this document. Trusses and I-joints shall be installed according to the manufacturer's specifications. Any change in truss or I-joint layout shall be coordinated with Haynes Home Plans, Inc.

**LINTELS:** Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span. 6" x 4" x 5/16" steel angle with 5' leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 15'-0" unless noted otherwise.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

**CONCRETE AND SOILS:** See foundation notes.

## BRACE WALL PANEL NOTES

**EXTERIOR WALLS:** All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

**GYPSUM:** All interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method GB to be fastened per table R602.10.1.

**REQUIRED LENGTH OF BRACING:** Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 its actual length. Method PF contributes 1.5 times its actual length.

**HD:** 800 lbs hold down hold down device fastened to the edge of the brace wall panel closest to the corner.

**Methods** Per Table R602.10.1

**CS-WSP:** Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.113" diameter).

**CS-SFB:** Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails.

**GB:** Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or #6 screws.

**PF:** Portal frame per figure R602.10.1

## EXTERIOR HEADERS

-(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

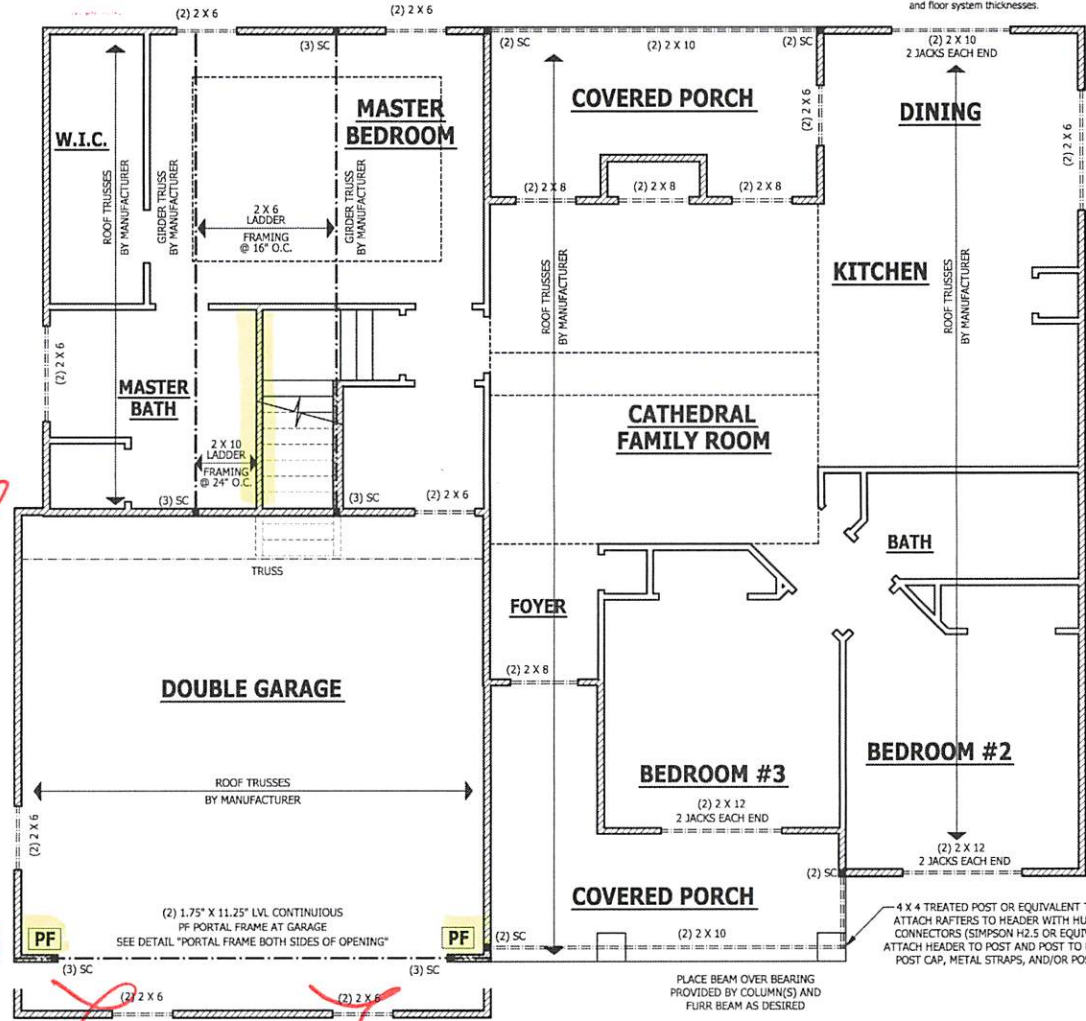
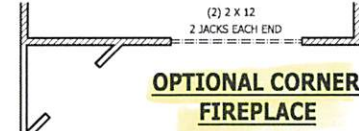
- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	1	2	3	4	5	6
KING STUDS	1	2	3	4	5	6

## INTERIOR HEADERS

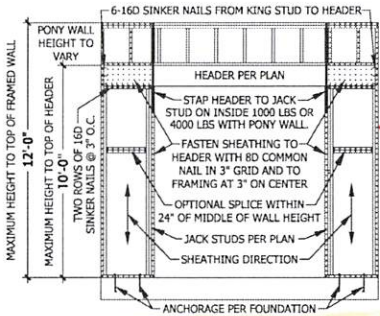
- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE

- NON LOAD BEARING HEADERS TO BE LADDER FRAMED



## FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"



### PF PORTAL FRAME AT OPENING

(METHOD PF PER FIGURE AND SECTION R602.10.1)  
SCALE 1/4" = 1'-0"

## ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN:** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

**KNEE WALL AND CEILING HEIGHTS:** All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE:** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING:** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems:** See elevation page(s) for plate heights and floor system thicknesses.

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.  
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FIRST FLOOR STRUCTURAL  
**SINCLAIR**

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 910.630.22100 • 919.006.4096

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 HOME PLANS, INC.  
 P.O. BOX 702, WARE, NORTH CAROLINA 27588, 919.455.1189, FAX: 919.455.4955

SQUARE FOOTAGE	
HEATED	1521 SQ FT
UNHEATED	134 SQ FT
COVERED PORCH	440 SQ FT
SCREENED PORCH	152 SQ FT
DECK	152 SQ FT
UNHEATED OPTIONAL	9 SQ FT
UNHEATED OPTIONAL	134 SQ FT
UNHEATED OPTIONAL	440 SQ FT
UNHEATED OPTIONAL	152 SQ FT
UNHEATED OPTIONAL	152 SQ FT
UNHEATED OPTIONAL	152 SQ FT
UNHEATED OPTIONAL	152 SQ FT

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### STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.  
**JOB SITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	---	---
Guardrail in-fill components	50	---	---
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	---	L/360
Snow	20	---	---

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

**ENGINEERED WOOD BEAMS:**  
 Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x10<sup>6</sup> PSI  
 Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10<sup>6</sup> PSI  
 Laminated strand lumber (LSL) Fb=2250 PSI, Fv=400 PSI, E=1.55x10<sup>6</sup> PSI  
 Install all connections per manufacturer's instructions.

**TRUSS AND JOIST MEMBERS:** All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Homes Plans, Inc.

**LINTELS:** Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 5" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

**CONCRETE AND SOILS:** See foundation notes.

### ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN.** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.  
**KNEE WALL AND CEILING HEIGHTS.** All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE.** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING.** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems.** See elevation page(s) for plate heights and floor system thicknesses.

### EXTERIOR HEADERS

- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN < 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5

### INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

### ATTIC ACCESS

#### SECTION R807

**R807.1 Attic access.** An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m<sup>2</sup>) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

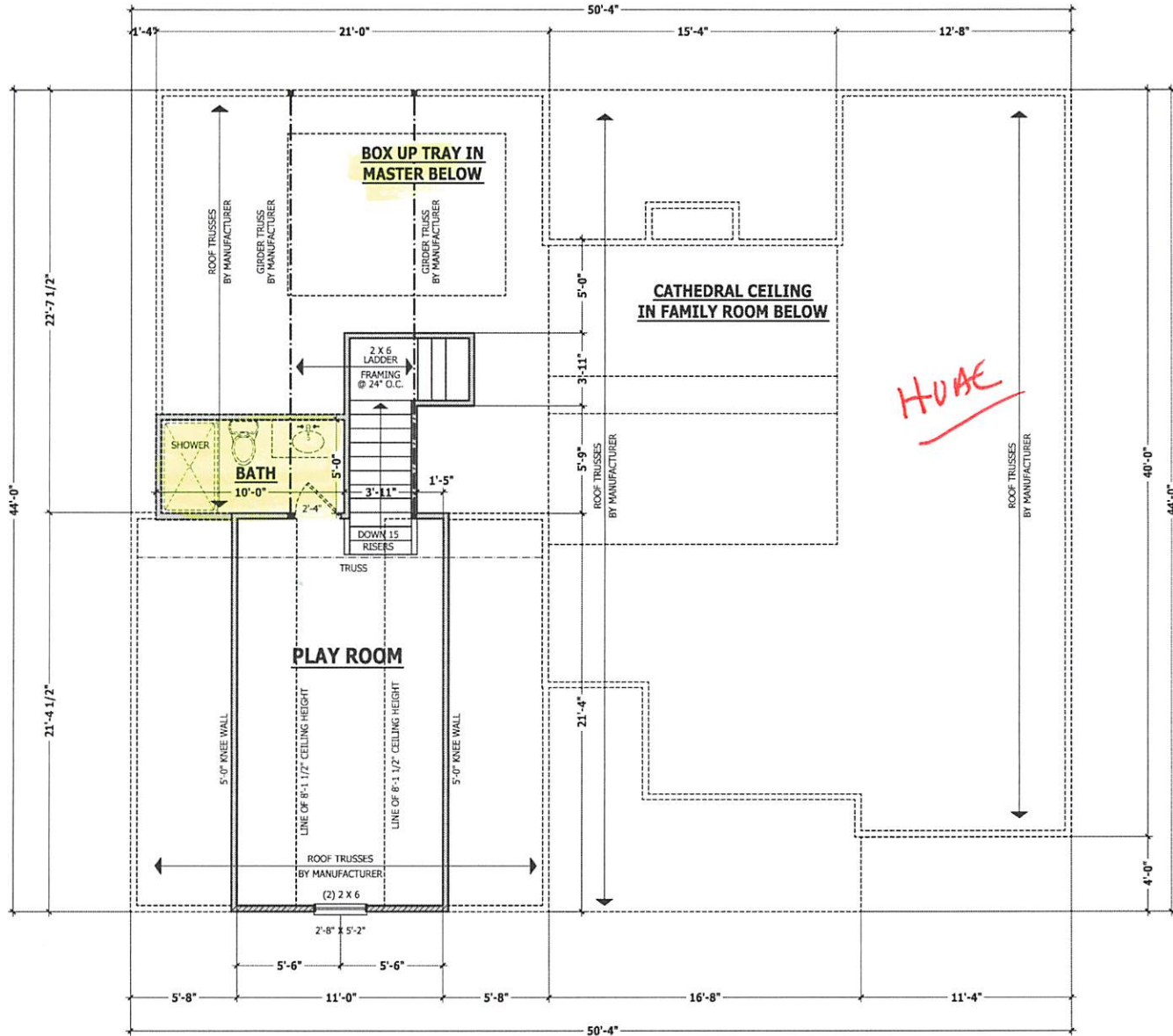
#### Exceptions:

- Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
- Pull down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

### WALL THICKNESSES

**Exterior walls and walls adjacent to a garage area** are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.

**Interior walls** are drawn as 3 1/2" or as noted 2 X 4 are drawn as 5 1/2", and do not include gypsum.



## SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

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SECOND FLOOR PLAN  
 SINCLAIR

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 910-630-2100 • 910-006-4096

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1261 SQ FT
SECOND FLOOR	1252 SQ FT
TOTAL	2513 SQ FT
UNHEATED OPTIONAL	
BATH	91 SQ FT
PORCH	134 SQ FT
GARAGE	447 SQ FT
REAR PORCH	218 SQ FT
TOTAL	890 SQ FT
UNHEATED OPTIONAL	
FL. BLD. GAR.	357 SQ FT
2L. BLD. GAR.	333 SQ FT
EX. BLD. GAR.	573 SQ FT

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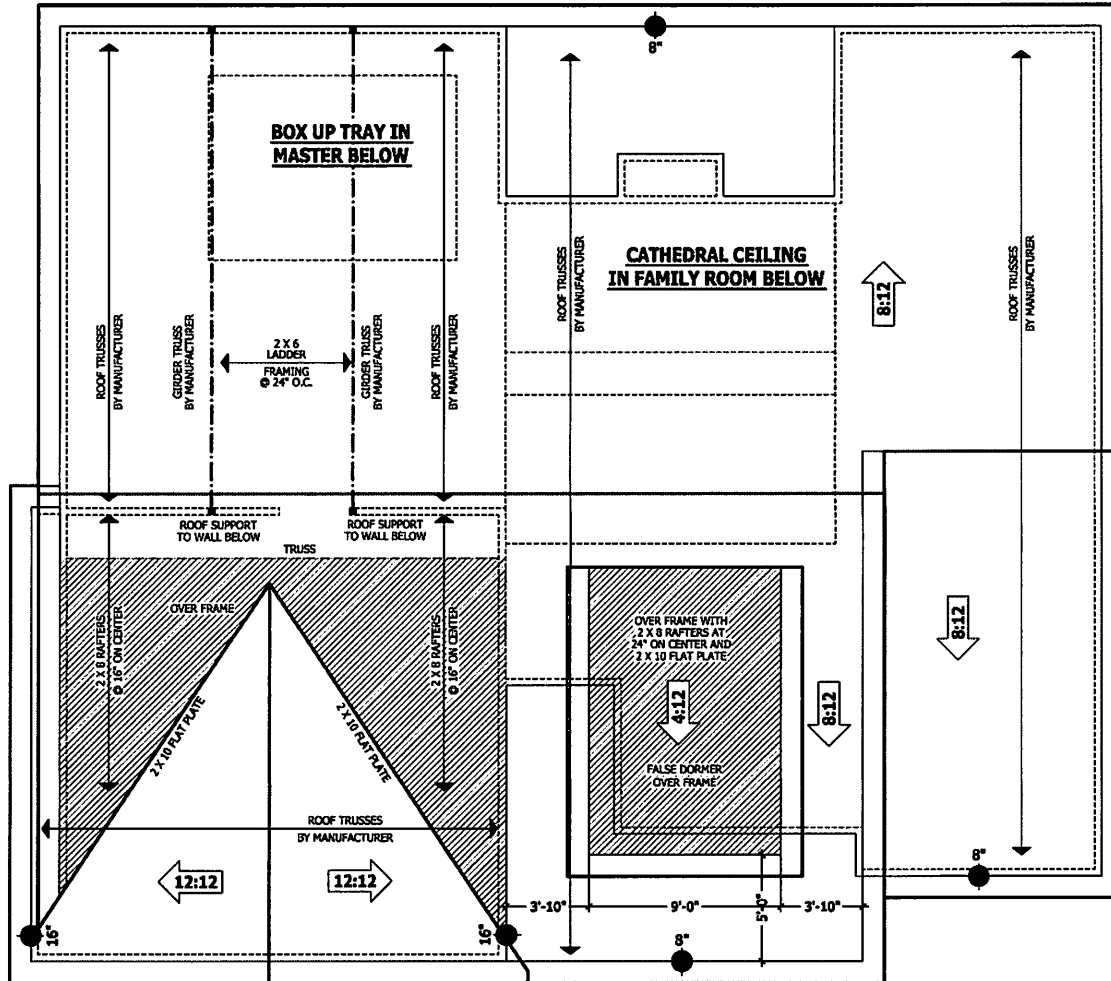
### ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN.** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.  
**KNEE WALL AND CEILING HEIGHTS.** All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated head heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE.** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.  
**BEARING.** All trusses shall be designed for bearing on SPF #2 platts or ledgers unless noted otherwise.

**Plate Heights & Floor Systems.** See elevation page(s) for plate heights and floor system thicknesses.

- HEEL HEIGHT ABOVE FIRST FLOOR PLATE
- HEEL HEIGHT ABOVE SECOND FLOOR PLATE



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

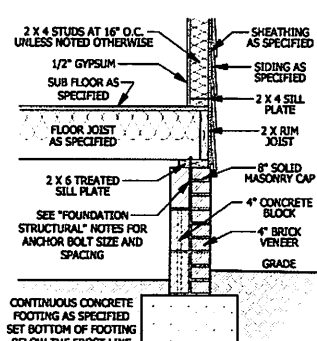
PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**ROOF PLAN**  
**SINCLAIR**

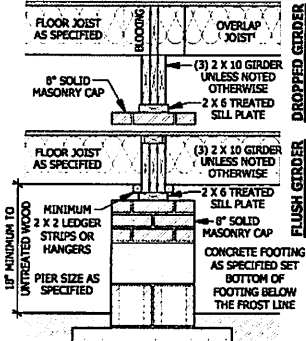
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**HOME PLANS INC.**  
910.630.2100 • 910.606.4996  
11714 West Blvd., Charlotte, NC 28217

SQUARE FOOTAGE	
NET AREA	131
FIRST FLOOR	131
SECOND FLOOR	259
TOTAL	390
HEATED OPTIONAL	49 SQ. FT.
UNHEATED	
FRONT PORCH	134 SQ. FT.
REAR PORCH	80 SQ. FT.
SIDE PORCH	80 SQ. FT.
SCREENED	80 SQ. FT.
UNSCREENED OPTIONAL	
P. 2ND GAR.	132 SQ. FT.
R. 2ND GAR.	132 SQ. FT.
D. 2ND GAR.	53 SQ. FT.

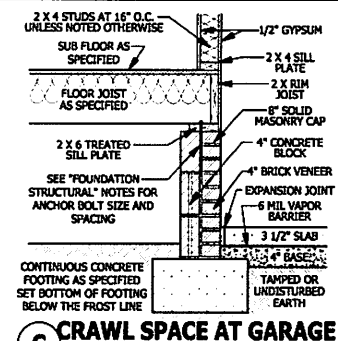
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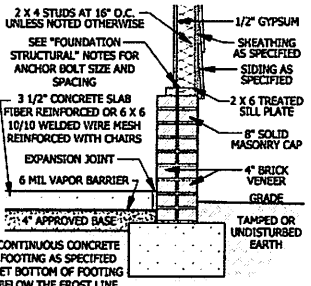
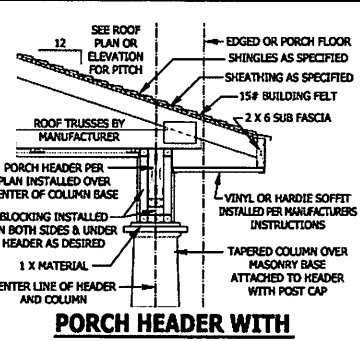
**A CRAWL SPACE WALL**  
SCALE 3/4" = 1'-0"



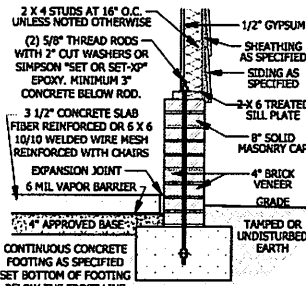
**B DROPPED/ FLUSH PIER**  
SCALE 3/4" = 1'-0"



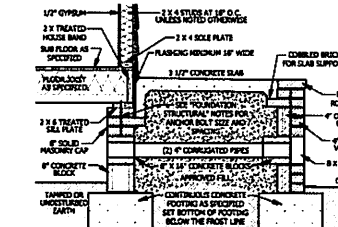
**C CRAWL SPACE AT GARAGE**  
SCALE 3/4" = 1'-0"



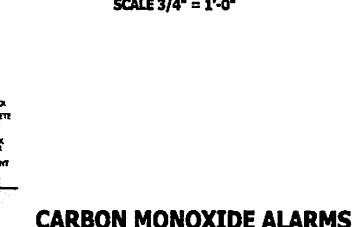
**D GARAGE STEM WALL**  
SCALE 3/4" = 1'-0"



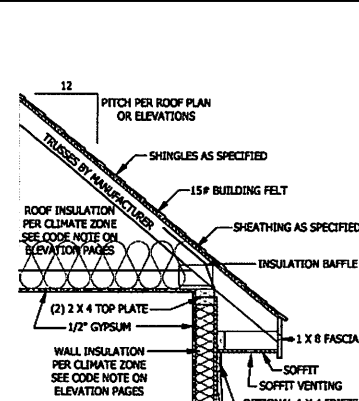
**E <48\"/> GARAGE WING WALL**  
SCALE 3/4" = 1'-0"



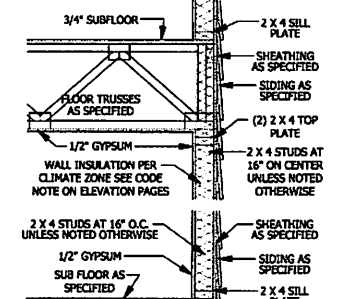
**F FILLED PORCH SECTION WITH VENT**  
SCALE 1/2" = 1'-0"



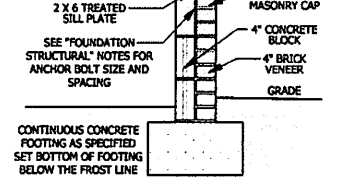
**G DECK ATTACHMENT**  
SCALE 1/2" = 1'-0"



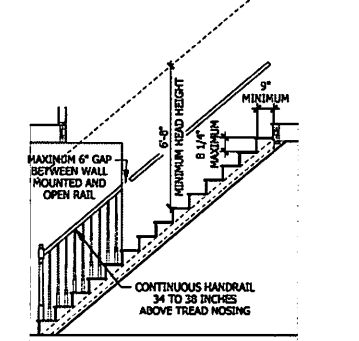
**H PORCH HEADER WITH TAPERED COLUMN**  
SCALE 3/4" = 1'-0"



**I CARBON MONOXIDE ALARMS**  
SECTION R313



**J TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



**K STAIRWAY NOTES**  
SECTION R317

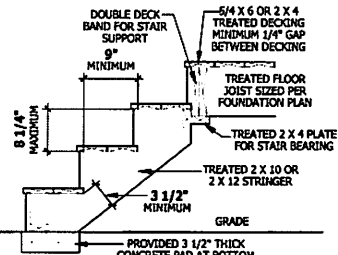
**L TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"

**DECK STAIR NOTES**

**SECTION AM110**  
AM110.1 Stairs shall be constructed per Figure AM110. Stringer spans shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each stringer shall have minimum 3 1/2 inches between step out and back of stringer. If used, suspended headers shall be attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.

**DECK BRACING**

**SECTION AM109**  
AM109.1 Deck bracing. Decks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.  
AM109.1.1. When the deck floor height is less than 4'-0\"/>



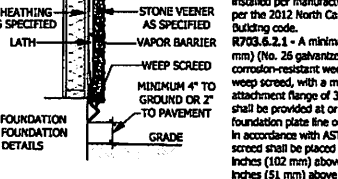
**FIGURE AM110 TYPICAL DECK STAIR DETAIL**  
SCALE 3/4" = 1'-0"

**SMOKE ALARMS**

**SECTION R314**  
R314.1 Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.  
R314.2 Smoke detection system. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device as permitted by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent feature of the occupancy and owned by the homeowner. The system shall be monitored by an approved responding station and be maintained in accordance with NFPA 72.  
Exception: Where smoke alarms are provided in accordance with the requirements of Section K13.4.4.  
R314.3 Location. Smoke alarms shall be installed in the following locations:  
1. In each sleeping room.  
2. Outside each separate sleeping area in the immediate vicinity of the bedroom.  
3. On each additional story of the dwelling including basements and habitable attic (finished) but not including crawl spaces, uninhabitable (unfinished) attics and uninhabitable (unfinished) porches in dwellings with sleeping units with levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.  
When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.  
R314.4 Power source. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be interconnected.

**WEEP SCREEDS**

All weep screeds and stone veneer to be installed per manufacturers instructions and per the 2012 North Carolina Residential Building code.  
R703.6.2.1 - A minimum 0.019-inch (0.5 mm) (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3/12 inches (89 mm) shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches (102 mm) above the curb or 2 inches (51 mm) above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed.



**M WEEP SCREED**  
SCALE 3/4" = 1'-0"

POST SIZE	TYPICAL AREA	MAX. POST HEIGHT	DEPTH	CONCRETE DIAMETER
4 X 4	48 SF	4'-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

AM109.1.4. 2 x 6 diagonal vertical cross bracing may be provided in two perpendicular directions for freestanding decks or parallel to the structure at the exterior column line for attached decks. The 2 x 6's shall be attached to the posts with one 5/8 inch hot dip galvanized bolt with nut and washer at each end of each bracing member per Figure AM109.3.  
AM109.1.5. For embedment in place in Coastal Regions, see Chapter 45.

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**TYPICAL DETAILS**  
**SINCLAIR**

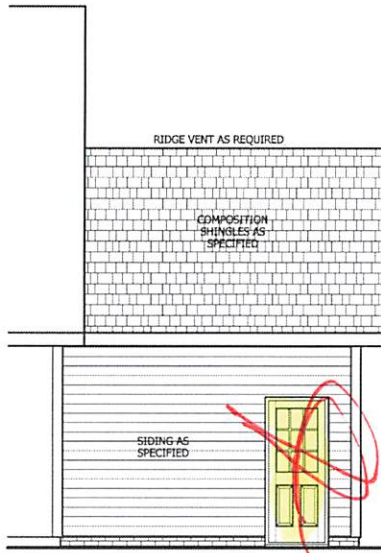
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910-630-2100 • 910-606-1696  
11111 W. HARTMAN RD., SUITE 200, ROCKY HILL, NC 27853

**SQUARE FOOTAGE**  
TOTAL FLOOR AREA: 1200 SF  
TOTAL GARAGE AREA: 120 SF  
TOTAL PORCH AREA: 120 SF  
TOTAL DECK AREA: 120 SF  
TOTAL: 1560 SF  
UNFINISHED: 120 SF  
TOTAL: 1680 SF  
TOTAL: 1560 SF  
TOTAL: 1680 SF

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**12/17/2020**  
**190320B**  
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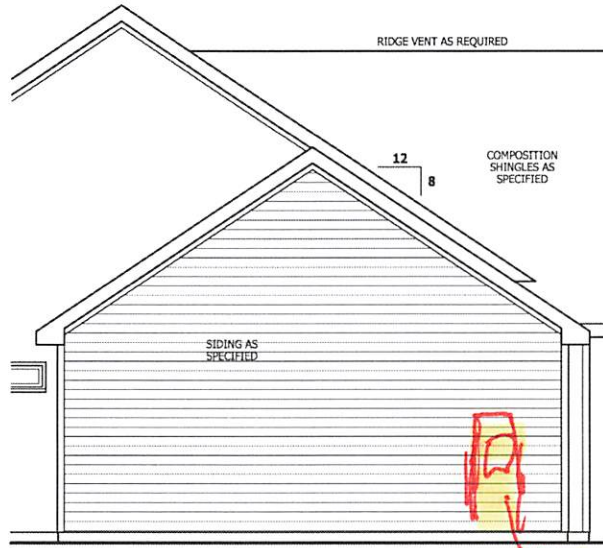


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**REAR ELEVATION**

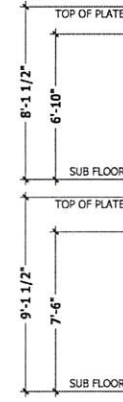
SCALE 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

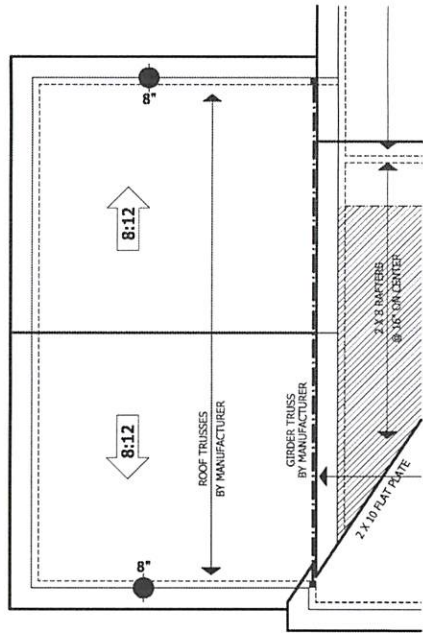
SCALE 1/4" = 1'-0"

*2'34 door*



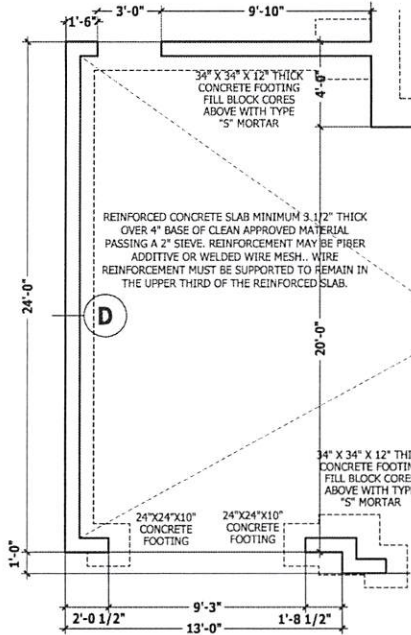
**FRONT ELEVATION**

SCALE 1/4" = 1'-0"



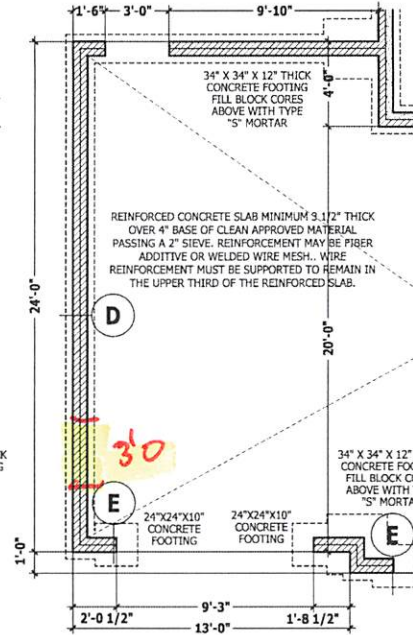
**ROOF PLAN**

SCALE 1/4" = 1'-0"



**MONOLITHIC PLAN**

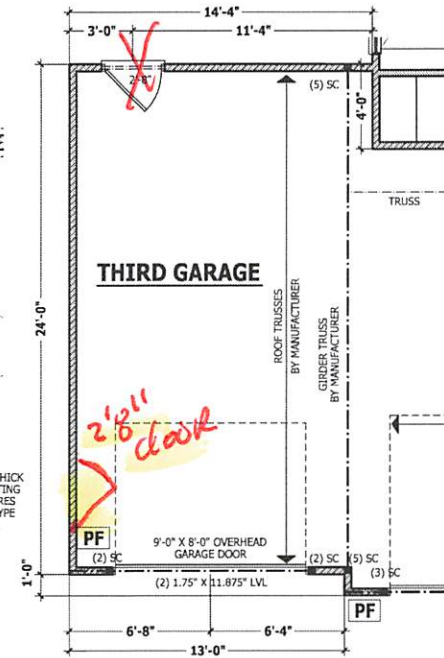
SCALE 1/4" = 1'-0"



**CRAWL / STEMWALL PLAN**

SCALE 1/4" = 1'-0"

*3'0*



**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"

*2'8 1/2 door*

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**THIRD CAR GARAGE**  
**SINCLAIR**

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www.haynesweaver.com

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HOME PLANS, INC.  
P.O. Box 702, Mize, P.O. Box, NC 27888, 914-455-1189, Fax: 1-866-49-1-0969

SQUARE FOOTAGE	
HEATED	1281 SQ FT
UNHEATED	1281 SQ FT
TOTAL	2562 SQ FT
HEATED OPTIONAL	
ROOF	9 SQ FT
GARAGE	134 SQ FT
REAR PORCH	112 SQ FT
TOTAL	2815 SQ FT
UNHEATED OPTIONAL	
FL 3RD GAR	357 SQ FT
FL 3RD GAR	357 SQ FT
EX 3RD GAR	571 SQ FT

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**ADDENDUM**