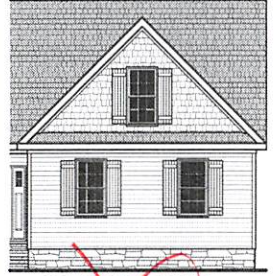


AF-3 3LG
4BR

SHAKE



GARAGE FRONT WITH OPTIONAL SIDE LOAD
SCALE 1/8" = 1'-0"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE

MEAN ROOF HEIGHT: 18'-8"	HEIGHT TO RIDGE: 25'-5"		
CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	15	15	19
WALL R-VALUE	13 or 30/1	13 or 30/1	13 or 30/1
FLOOR R-VALUE	19	19	30
* BASEMENT WALL R-VALUE	5/13	10/15	10/15
** SUB SLAB R-VALUE	5	10	10
* CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19

* 10/19" MEAN R-10 SHEATHING INSULATION OR R-CAVITY INSULATION
** INSULATION DEPTH WITH MONOLITHIC SLAB 4" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH STEM WALL SLAB 2" OR TO BOTTOM OF FOUNDATION WALL

DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (3 FASTEST MILE EXPOSURE "B")

COMPONENT & GLAZING DESIGN FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-11" TO 35'	35'-11" TO 40'	40'-1" TO 45'
ZONE 1	14.2	-15.0	14.9	-15.8
ZONE 2	14.2	-18.0	14.9	-18.9
ZONE 3	14.2	-18.0	14.9	-18.9
ZONE 4	15.5	-16.0	16.3	-16.8
ZONE 5	15.5	-20.0	16.3	-21.0

DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (1) FASTEST MILE EXPOSURE "B"

COMPONENT & GLAZING DESIGN FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-11" TO 35'	35'-11" TO 40'	40'-1" TO 45'
ZONE 1	16.7	-18.0	17.5	-18.9
ZONE 2	16.7	-21.0	17.5	-22.1
ZONE 3	16.7	-21.0	17.5	-22.1
ZONE 4	18.2	-19.0	19.1	-20.0
ZONE 5	18.2	-24.0	19.1	-25.2

ROOF VENTILATION

SECTION R806
R806.1 Ventilation required. Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7.

R806.2 Minimum area. The total net free ventilating area shall not be less than 1/150 of the area of the space ventilated except that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.

Exceptions:
1. Enclosed attic/rafter spaces requiring less than 1 square foot (0.0929 m2) of ventilation may be vented with continuous soffit ventilation only.
2. Enclosed attic/rafter spaces over unconditioned space may be vented with continuous soffit vent only.

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,283 SQ.FT.
NET FREE CROSS VENTILATION NEEDED:
WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 15.22 SQ.FT.
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 7.61 SQ.FT.



FRONT ELEVATION

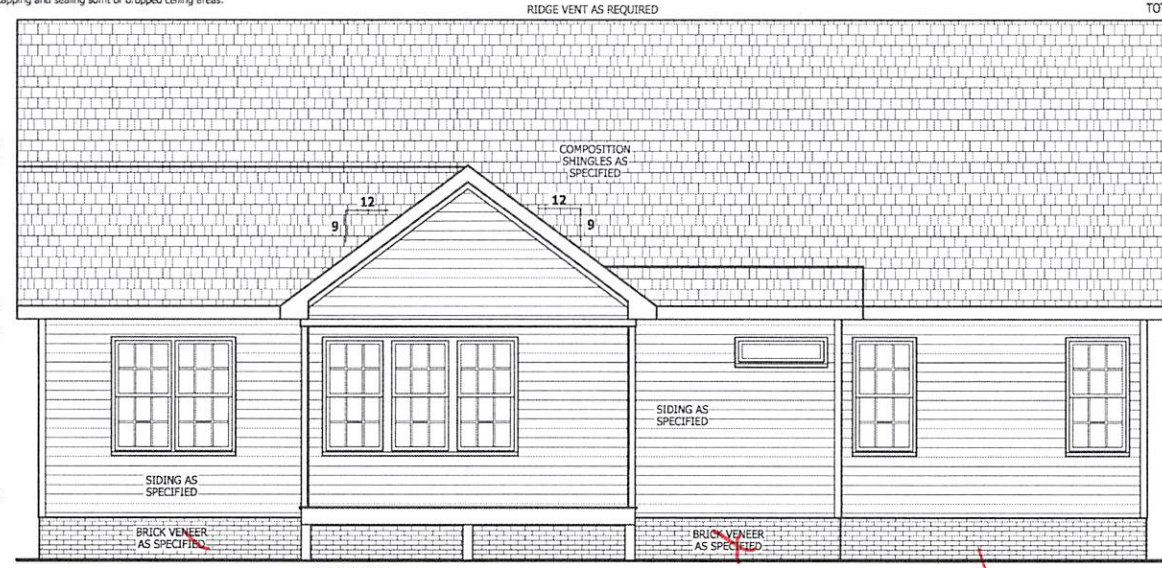
SCALE 1/4" = 1'-0"

AIR LEAKAGE

Section N1102.4
N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix G2.4 of this code:
1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

SQUARE FOOTAGE

HEATED	FIRST FLOOR	1555 SQ.FT.
	PALYROOM	264 SQ.FT.
	TOTAL	1819 SQ.FT.
HEATED OPTIONAL		
	SECOND FLOOR	570 SQ.FT.
	TOTAL	570 SQ.FT.
UNHEATED		
	GARAGE	448 SQ.FT.
	FRONT PORCH	42 SQ.FT.
	REAR PORCH	154 SQ.FT.
	TOTAL	644 SQ.FT.
UNHEATED OPTIONAL		
	THIRD GARAGE	298 SQ.FT.
	TOTAL	298 SQ.FT.



REAR ELEVATION

SCALE 1/4" = 1'-0"

PAGE

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PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS' PRACTICES AND PROCEDURES. COLORS AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FRONT & REAR ELEVATIONS
The Halifax II

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www.haynesweaver.com

HAYNES WEAVER HOME PLANS, INC.
P.O. BOX 102, WAKE FOREST, NC 27888 919-355-8180 FAX 919-355-1405

SQUARE FOOTAGE	HEATED	FIRST FLOOR	1555 SQ.FT.
	PALYROOM	264 SQ.FT.	
	TOTAL	1819 SQ.FT.	
HEATED OPTIONAL			
	SECOND FLOOR	570 SQ.FT.	
	TOTAL	570 SQ.FT.	
UNHEATED			
	GARAGE	448 SQ.FT.	
	FRONT PORCH	42 SQ.FT.	
	REAR PORCH	154 SQ.FT.	
	TOTAL	644 SQ.FT.	
UNHEATED OPTIONAL			
	THIRD GARAGE	298 SQ.FT.	
	TOTAL	298 SQ.FT.	

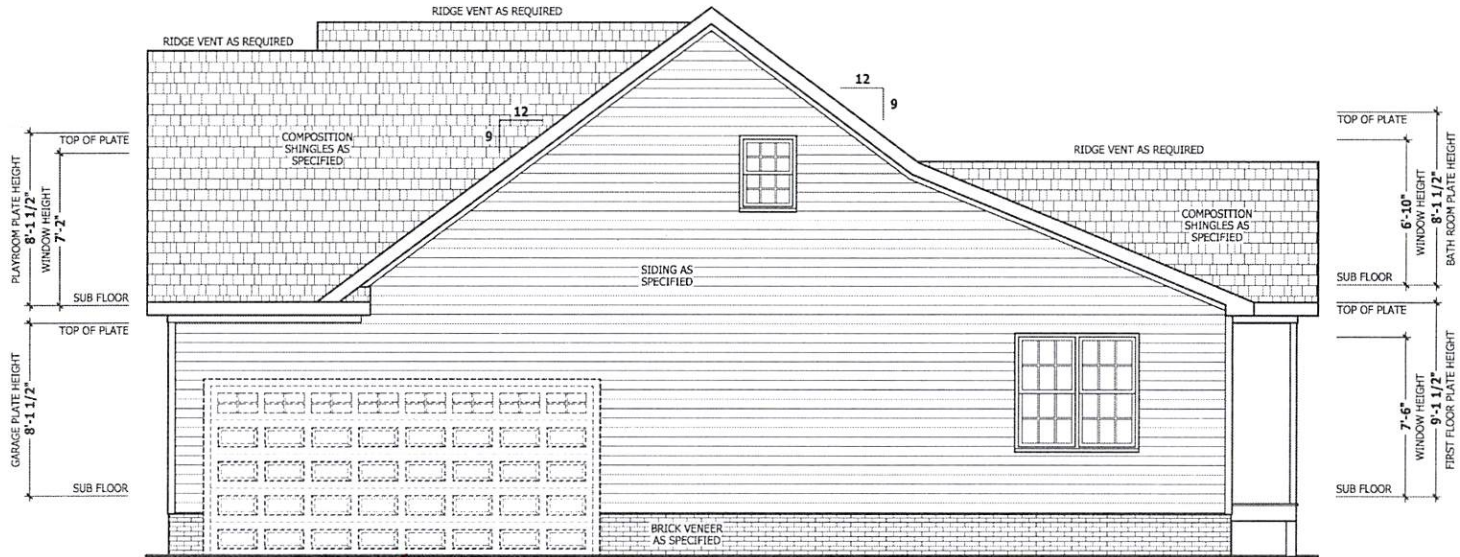
PURCHASER MUST VISIT ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

SIDE ELEVATIONS
The Halifax II

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3110 Highway 101 • Matthews, NC 28105

HAYNES HOME PLANS, INC.
P.O. BOX 102, WACE FERRY, NC 27588 919.356.6180 FAX 919.356.4814

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1555 SQ. FT.
PORCH	284 SQ. FT.
TOTAL	1839 SQ. FT.
HEATED OPTIONAL	
SECOND FLOOR	570 SQ. FT.
TOTAL	2409 SQ. FT.
UNHEATED	
GARAGE	448 SQ. FT.
REAR PORCH	154 SQ. FT.
TOTAL	602 SQ. FT.
UNHEATED OPTIONAL	
TURBO GARAGE	298 SQ. FT.
TOTAL	899 SQ. FT.



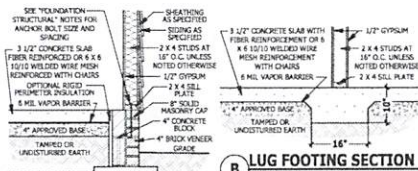
~~OPTIONAL SIDE LOAD GARAGE~~

GUARD RAIL NOTES

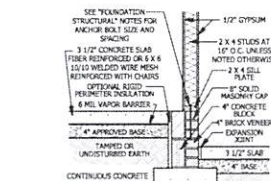
SECTION R312
R312.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.
Exceptions:
1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.
R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.
Exceptions:
1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.



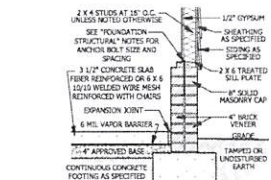
PAGE 2



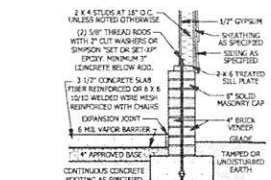
(A) STEM WALL SECTION
SCALE 1/2" = 1'-0"



(C) STEM WALL AT GARAGE
SCALE 1/2" = 1'-0"



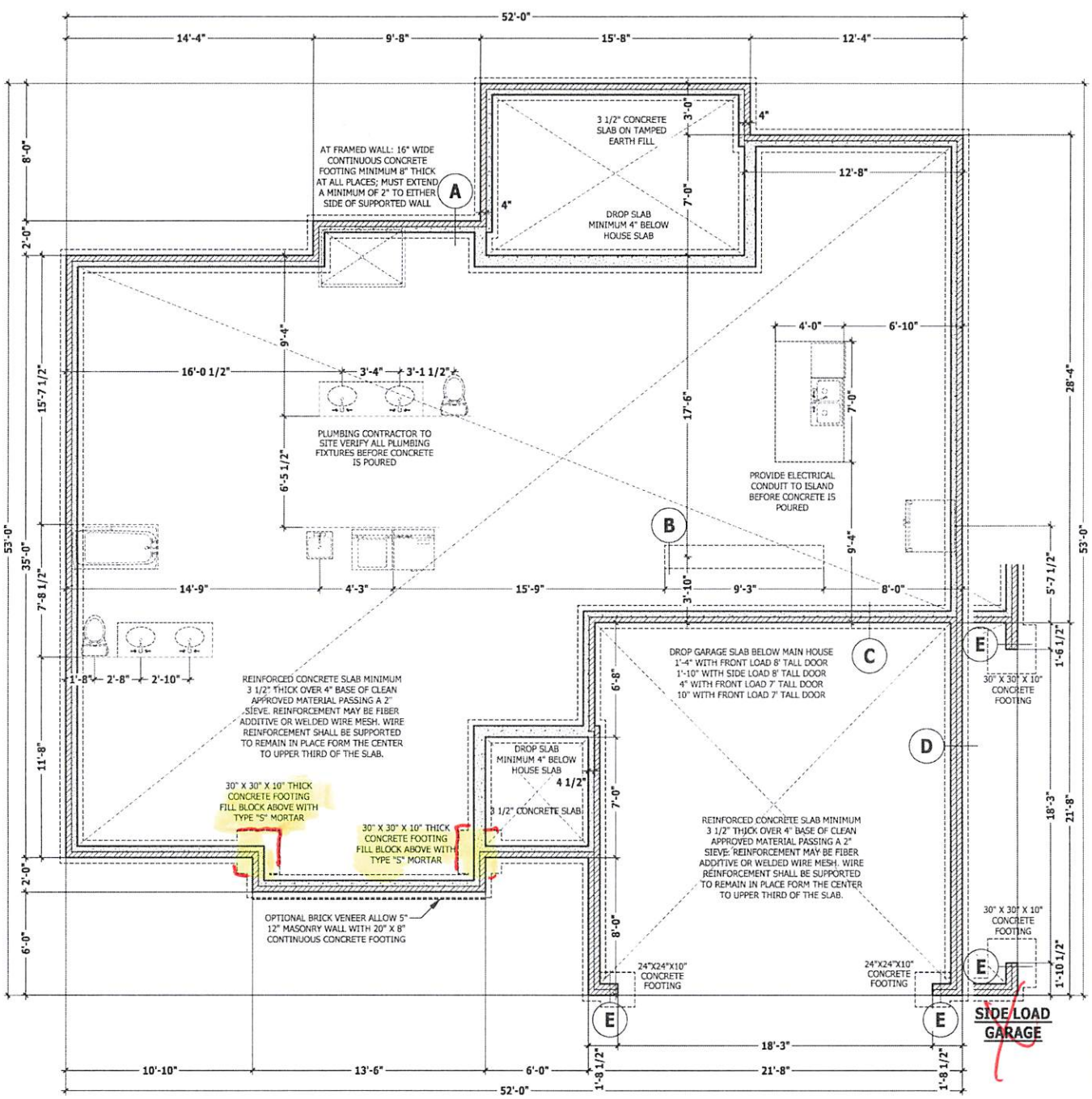
(D) GARAGE STEM WALL
SCALE 1/2" = 1'-0"



(E) 48\"/>

FOUNDATION STRUCTURAL

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)
CONTINUOUS FOOTING: 16" wide and 8" thick minimum, 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.
GRIDIRS: (3) 2 x 10 girder unless noted otherwise.
PIERS: 16" x 16" piers with 8" solid masonry cap on 30" x 30" x 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.
POINT LOADS: ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.
115 and 120 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
130 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
CONCRETE: Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.
SOILS: Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.



STEM WALL SLAB PLAN

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

STEM WALL SLAB PLAN
The Halifax II

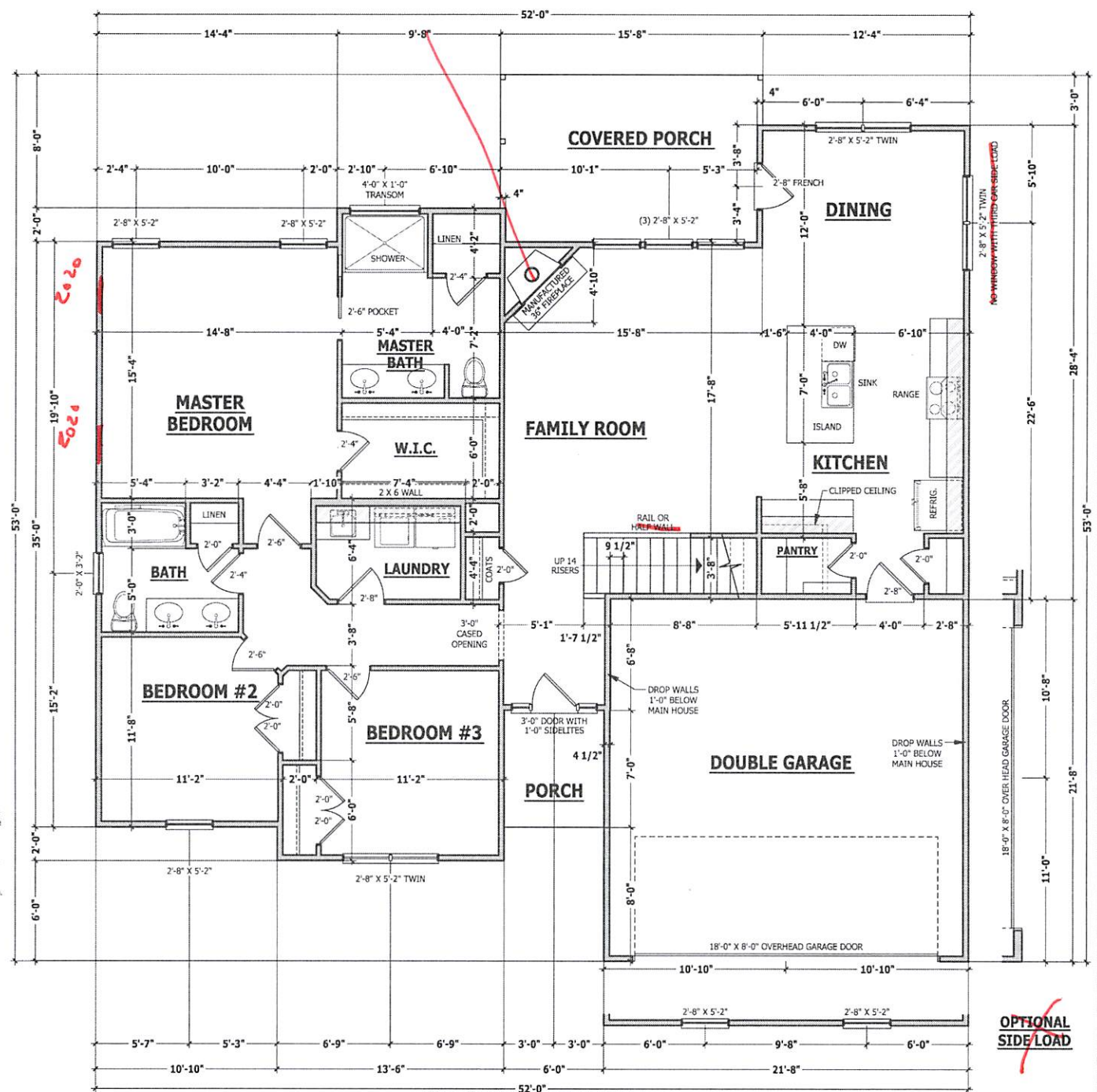
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HOMES
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 910-630-2100 • 919-666-1696

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HOMES
 HOME PLANS, INC.
 P.O. Box 102, Wince Process, NC 27888 • 1-855-518-7466

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1555 SQ. FT.
2ND FLOOR	204 SQ. FT.
TOTAL	1759 SQ. FT.
UNHEATED	
REAR PORCH	48 SQ. FT.
FRONT PORCH	42 SQ. FT.
REAR PORCH	124 SQ. FT.
TOTAL	216 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	298 SQ. FT.
TOTAL	298 SQ. FT.

Raised Heat w/stone

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS' PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.



SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1555 SQ. FT.
PALYROOM	264 SQ. FT.
TOTAL	1819 SQ. FT.
HEATED OPTIONAL	
SECOND FLOOR	570 SQ. FT.
TOTAL	570 SQ. FT.
UNHEATED	
GARAGE	448 SQ. FT.
FRONT PORCH	42 SQ. FT.
REAR PORCH	154 SQ. FT.
TOTAL	644 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	298 SQ. FT.
TOTAL	298 SQ. FT.

DWELLING / GARAGE SEPARATION

REFER TO SECTIONS R302.5, R302.6, AND R302.7
WALLS. A minimum 1/2" gypsum board must be installed on all walls supporting floor/ceiling assemblies used for separation required by this section.
STAIRS. A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways.
CEILINGS. A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable room above the garage. If there are habitable room above the garage a minimum of 5/8" type X gypsum board must be installed on the garage ceiling.
OPENING PENETRATIONS. Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.
DUCT PENETRATIONS. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.
OTHER PENETRATIONS. Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.
 Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.

FIRST FLOOR PLAN
The Halifax II

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 910-630-2100 • 910-600-4096
 301 W. 10th St., Suite 100, Asheville, NC 28801

HAYNES WEAVER
HOME PLANS INC.
 P.O. Box 102, Mine Creek, NC 27688 • 919-856-8180 • Fax: 919-856-8143

SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1555 SQ. FT.
PALYROOM	264 SQ. FT.
TOTAL	1819 SQ. FT.
HEATED OPTIONAL	
SECOND FLOOR	570 SQ. FT.
TOTAL	570 SQ. FT.
UNHEATED	
GARAGE	448 SQ. FT.
FRONT PORCH	42 SQ. FT.
REAR PORCH	154 SQ. FT.
TOTAL	644 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	298 SQ. FT.
TOTAL	298 SQ. FT.

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FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	—	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	—	—
Guardrail in-fill components	50	—	—
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	—	L/360
Snow	20	—	—

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.

ENGINEERED WOOD BEAMS:
 Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x10⁶ PSI
 Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10⁶ PSI
 Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI

Install all connections per manufacturer's instructions.
TRUSS AND JOIST MEMBERS: All roof truss and I-joint layouts shall be prepared in accordance with this document. Trusses and I-joints shall be installed according to the manufacturer's specifications. Any change in truss or I-joint layout shall be coordinated with Haynes Homes Plans, Inc.

LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 5" x 4" x 5/16" steel angle with 5" leg vertical for spans up to 9'-0" unless noted otherwise, 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick.

CONCRETE AND SOILS: See foundation notes.

ROOF TRUSS REQUIREMENTS

TRUSS DESIGN: Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins.

KNEE WALL AND CEILING HEIGHTS: All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

ANCHORAGE: All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

BEARING: All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems: See elevation page(s) for plate heights and floor system thicknesses.

ATTIC ACCESS

SECTION R807
R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m²) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 20 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

Exceptions:
 1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
 2. Full down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.

Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.

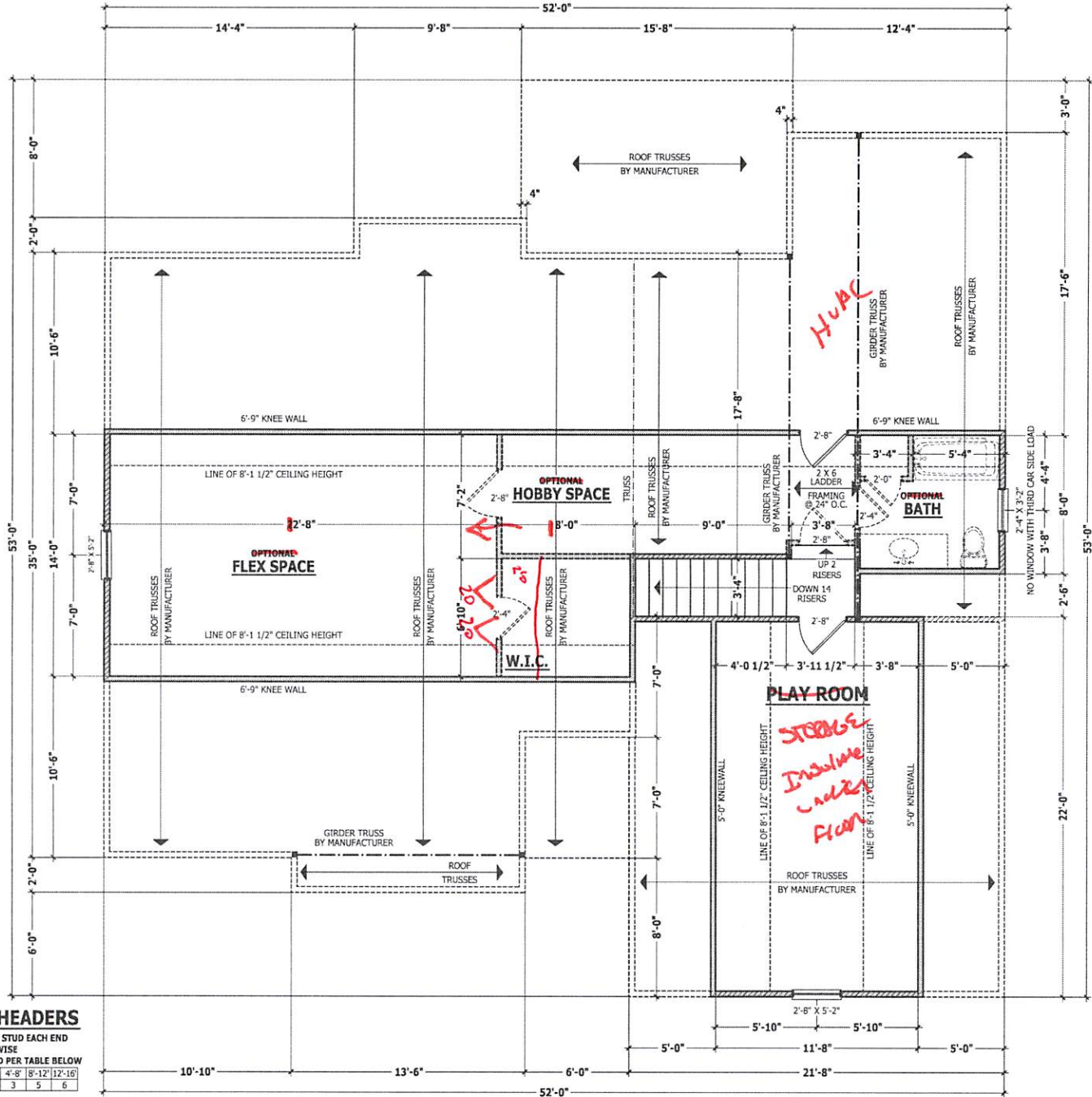
EXTERIOR HEADERS

(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
 - KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5	6

INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
 - NON LOAD BEARING HEADERS TO BE LADDER FRAMED



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL JUDICIAL ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

SECOND FLOOR PLAN
The Halifax II

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 HOMES
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HAYNES WEAVER
 HOME PLANS, INC.
 P.O. BOX 102, WAKE FOREST, NC 27588 919.455.1180 FAX 919.455.1435

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1555 SQ. FT.
PATIO/POOR	284 SQ. FT.
TOTAL	1839 SQ. FT.
HEATED OPTIONAL	
SECOND FLOOR	1275 SQ. FT.
TOTAL	3114 SQ. FT.
UNHEATED	
GARAGE	448 SQ. FT.
REAR PORCH	154 SQ. FT.
REAR PORCH	261 SQ. FT.
TOTAL	863 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	298 SQ. FT.
TOTAL	298 SQ. FT.

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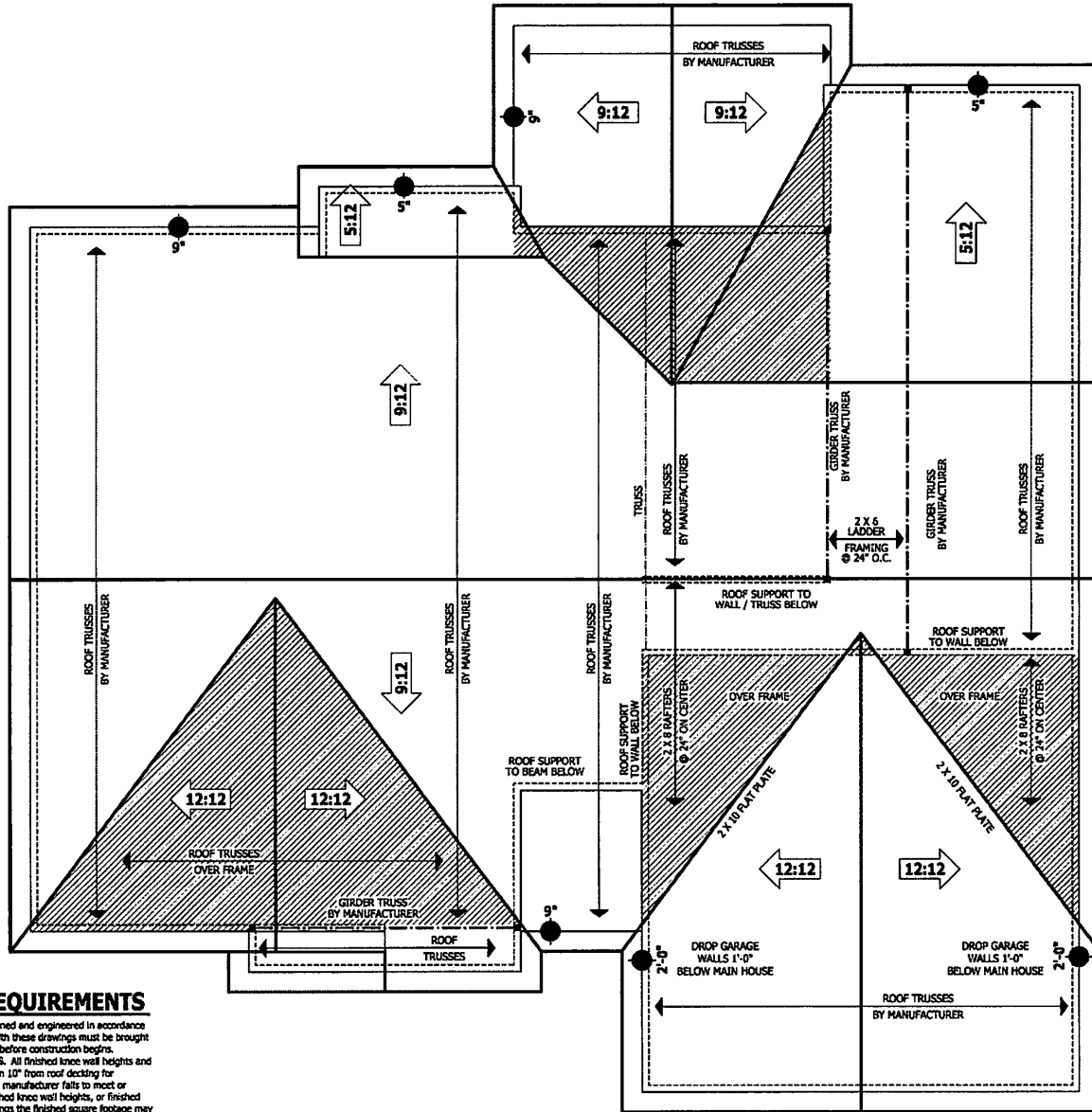
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ROOF PLAN
The Halifax II

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ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins.
KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated head heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.
ANCHORAGE. All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.
BEARING. All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.
 Plate Heights & Floor Systems. See elevation page(s) for plate heights and floor system thicknesses.

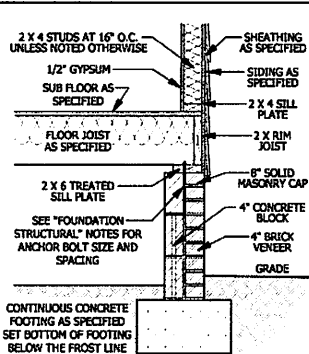
● HEEL HEIGHT ABOVE FIRST FLOOR PLATE
 ● HEEL HEIGHT ABOVE SECOND FLOOR PLATE

ROOF PLAN

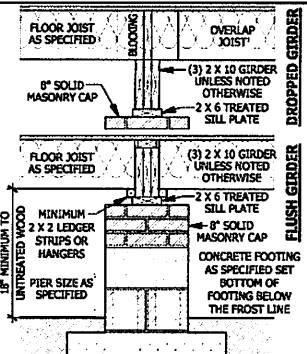
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1865 SQ. FT.
SECOND FLOOR	1215 SQ. FT.
TOTAL	3080 SQ. FT.
UNHEATED	
SECOND FLOOR	1215 SQ. FT.
TOTAL	2430 SQ. FT.
UNHEATED OPTIONAL	
THIRD FLOOR	448 SQ. FT.
REAR PORCH	124 SQ. FT.
TOTAL	2900 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	288 SQ. FT.
TOTAL	3188 SQ. FT.

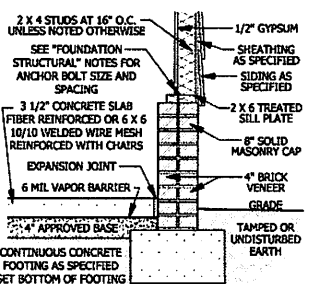
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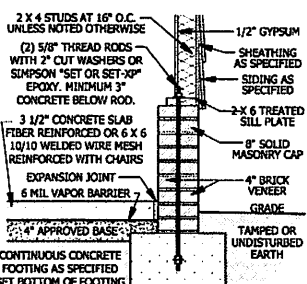
A CRAWL SPACE WALL
SCALE 3/4" = 1'-0"



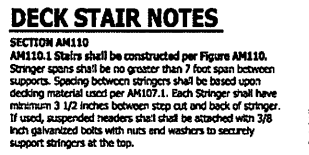
B DROPPED/ FLUSH PIER
SCALE 3/4" = 1'-0"



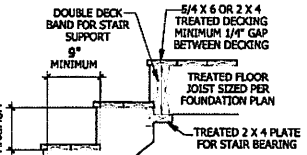
C GARAGE STEM WALL
SCALE 3/4" = 1'-0"



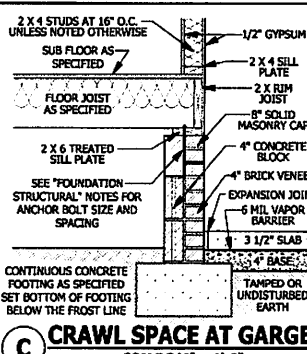
D <48\"/>



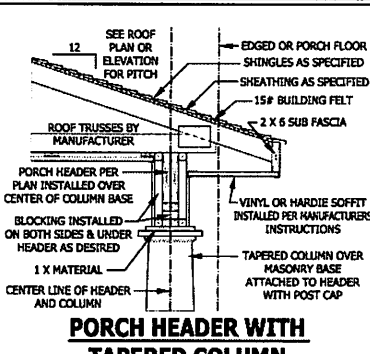
E DECK STAIR NOTES



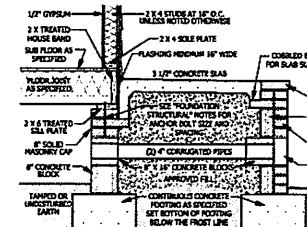
F <48\"/>



G CRAWL SPACE AT GARAGE
SCALE 3/4" = 1'-0"



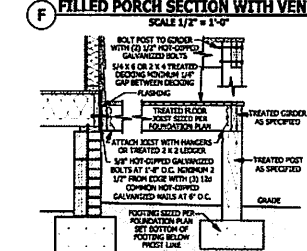
H PORCH HEADER WITH TAPERED COLUMN
SCALE 3/4" = 1'-0"



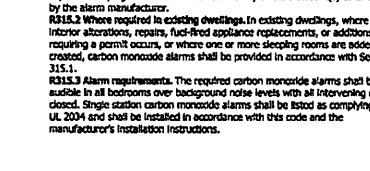
I FILLED PORCH SECTION WITH VENT
SCALE 1/2" = 1'-0"



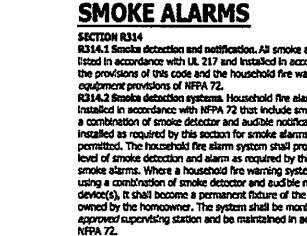
J CARBON MONOXIDE ALARMS



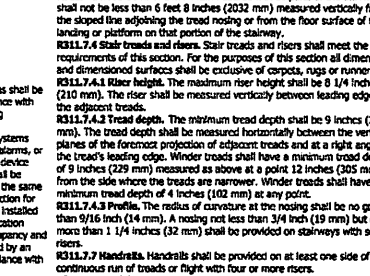
K DECK ATTACHMENT
SCALE 1/2" = 1'-0"



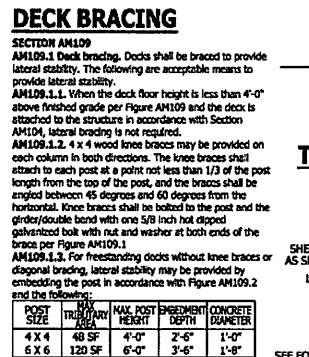
L STAIRWAY NOTES



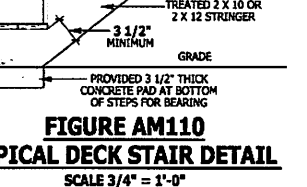
M SMOKE ALARMS



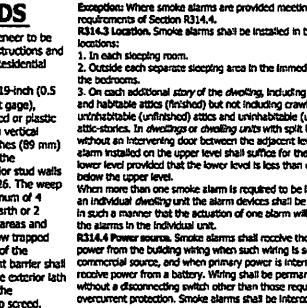
N TYPICAL WALL DETAIL
SCALE 3/4" = 1'-0"



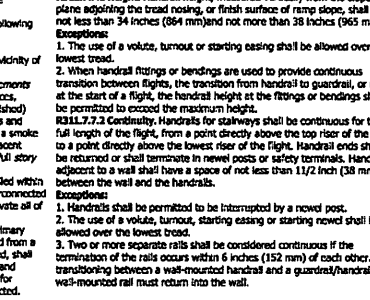
O DECK BRACING



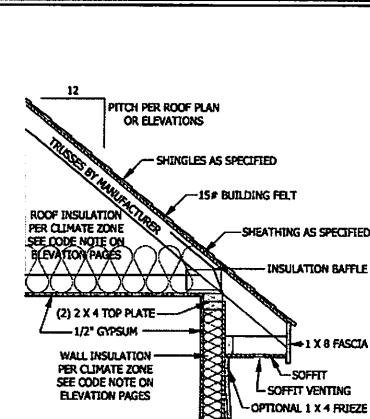
P TYPICAL DECK STAIR DETAIL
SCALE 3/4" = 1'-0"



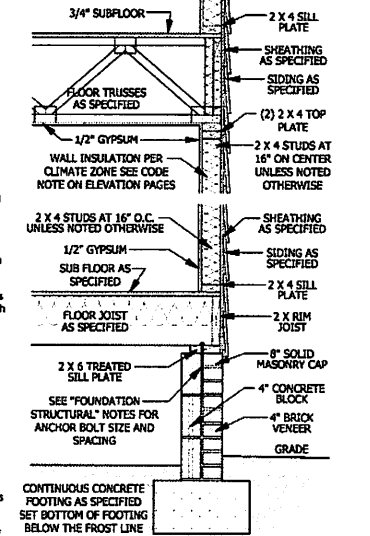
Q WEEP SCREED
SCALE 3/4" = 1'-0"



R TYPICAL STAIR DETAIL
SCALE 1/4" = 1'-0"



S TYPICAL WALL DETAIL
SCALE 3/4" = 1'-0"



T TYPICAL STAIR DETAIL
SCALE 1/4" = 1'-0"

OWNER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES WEAVER HOME PLANNING, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL PROFESSIONAL ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE FOR INFORMATION ONLY AND AS SUCH SHALL REMAIN THE PROPERTY OF THE DESIGNER.

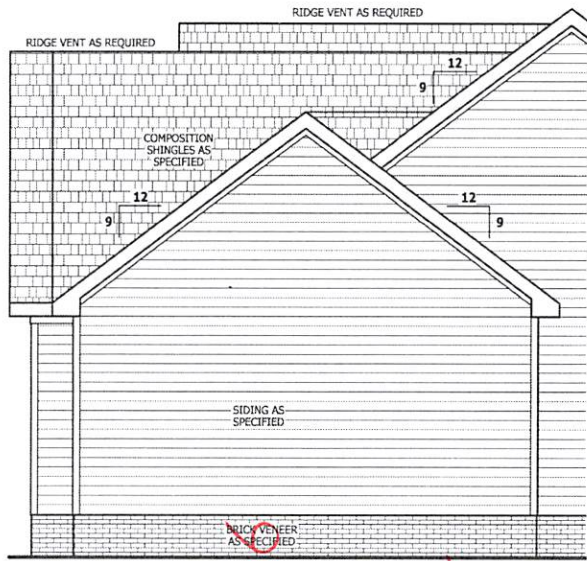
TYPICAL DETAILS
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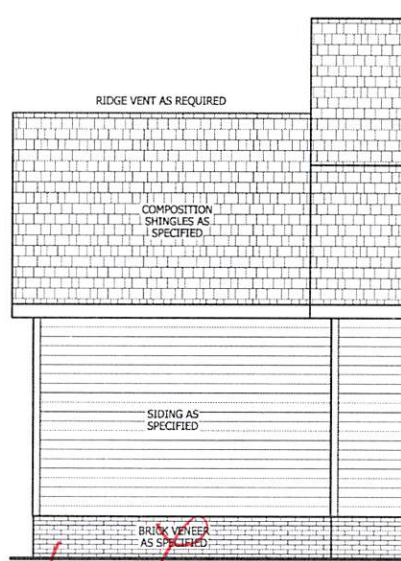
SQUARE FOOTAGE	REAR PORCH	FRONT PORCH	TOTAL
REAR PORCH	1350 SF	240 SF	1590 SF
FRONT PORCH	240 SF	1350 SF	1590 SF
TOTAL	1590 SF	1590 SF	3180 SF

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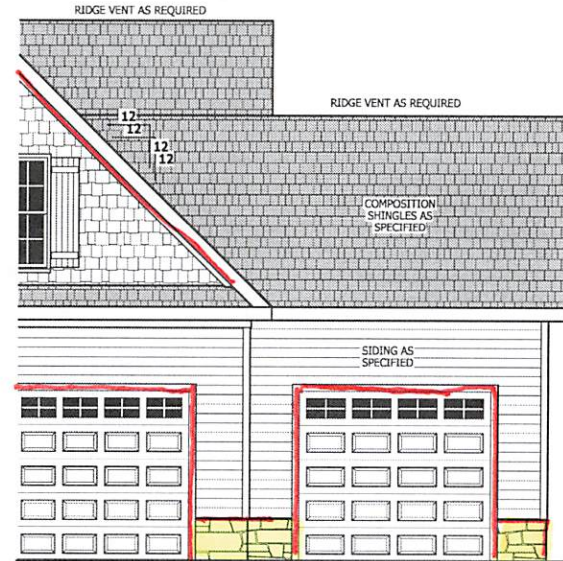
SIDE ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

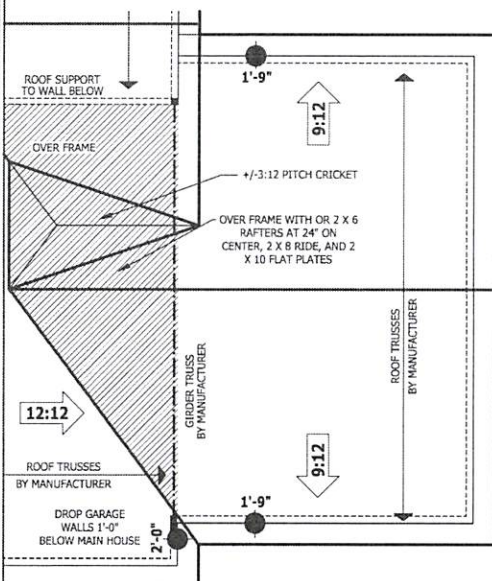
SCALE 1/4" = 1'-0"



FRONT ELEVATION

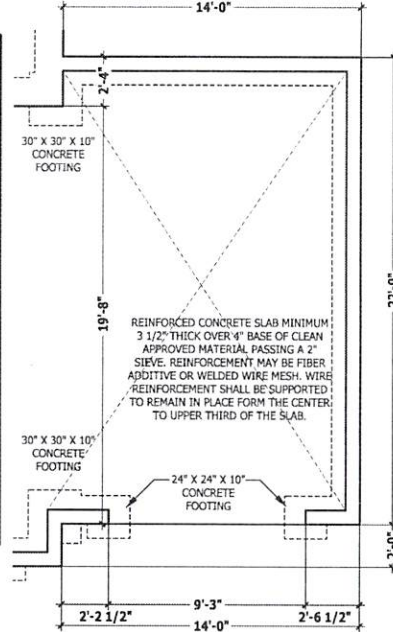
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SEE BASE PLAN FOR STRUCTURAL NOTES AND DETAILS



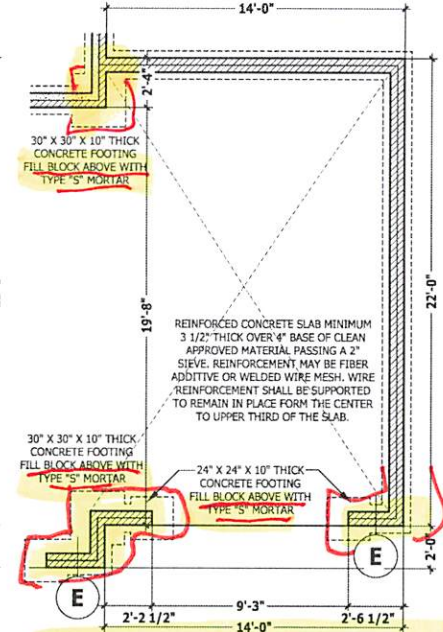
ROOF PLAN

SCALE 1/4" = 1'-0"



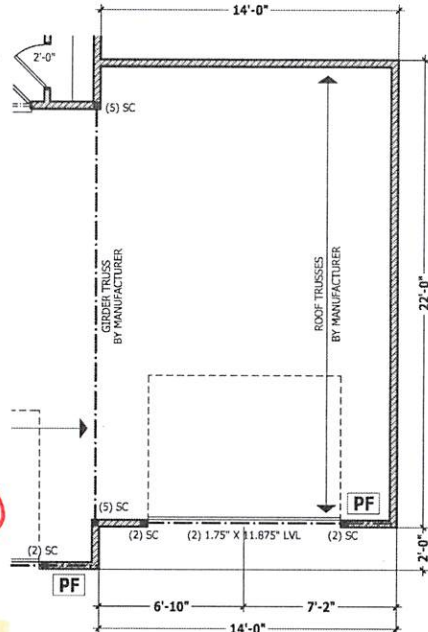
MONOLITHIC SLAB PLAN

SCALE 1/4" = 1'-0"



CRAWL SPACE / STEM WALL

SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

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THIRD GARAGE
The Halifax II

HAYNES WEAVER
HOME PLANS, INC.
910.630.2100 • 919.606.4006
P.O. Box 702, Wake Forest, NC 27588 919.435.4181 FAX 919.435.4059

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1553 SQ. FT.
PORCH	284 SQ. FT.
TOTAL	1837 SQ. FT.
HEATED OPTIONAL SECOND FLOOR	1553 SQ. FT.
TOTAL	3390 SQ. FT.
UNHEATED GARAGE	448 SQ. FT.
FRONT PORCH	43 SQ. FT.
REAR PORCH	154 SQ. FT.
TOTAL	645 SQ. FT.
UNHEATED OPTIONAL THIRD GARAGE	298 SQ. FT.
TOTAL	298 SQ. FT.

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ADDENDUM