REAR ELEVATION

SCALE 1/4" = 1'-0"

AS SPECIFIED

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,283 SQ.FT.

WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 15.22 SQ.FT.

WITH 50% TO 80% OF VENTING 3"-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 7.61 SQ.FT.

NET FREE CROSS VENTILATION NEEDED:

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS SEPORE CONSTRUCTION SEGINS HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR IONTRACTORS PRACTICES AN PROCEDURES

CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCA DESIGNER, MACHETECT OR GINEER SHOULD BE CONSUL BEFORE CONSTRUCTION.

THESE DRAWING ARE STRUMENTS OF SERVICE A AS SUCH SHALL REMAIN

FRONT & REAR ELEVATIONS Halifax The

WINDOW HEIGHT
WINDOW HEIGHT

8-1 1/2"
PLAYROOM PLATE HI

1555 SQ.FT 264 SQ.FT

1819 SQ.FT

570 SQ.FT 570 SQ.FT

448 SQ.FT 42 SQ.FT

154 SQ.FT 644 SQ.FT

298 SQ.FT 298 SO.FT

MATH

WINDOW HEIGHT

9'-1 1/2"

FIRST FLOOR PLATE I

8 H 8 H

SQUARE FOOTAGE HEATED OPTION 570 SQJT 570 SQJT UNHEATED UNHEATED
GARACE 48 SQ.FT.
FRONT TORCH 42 SQ.FT.
TOTAL 49 SQ.FT.
TOTAL 644 SQ.FT.
UNHEATED OPTIONAL
THERO GARAGE 298 SQ.FT.
TOTAL 298 SQ.FT.

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PAGE 1 OF 8

Company, Inc\200223B Halifax II\200223B Halifax

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PROCEDURES.
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BEFORE CONSTRUCTION.
THESE DRAWING ARE
NISTRUMENTS OF SERVICE AND
AS SUCH SHALL REMAIN
PROPERTY OF THE DESIGNER.

Halifax

The

SQUARE FOOTAGE HEATED FRST FLOOR 1555 SQ-FT | HEATED | 1555 SQ.FT. |
MATSCON	254 SQ.FT.	
TOTAL	1819 SQ.FT.	
HEATED OPTIONAL	SCORAD PLOOR	570 SQ.FT.
TOTAL	570 SQ.FT.	
TOTAL	570 SQ.FT.	

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PAGE 2 OF 8

Rased Hook USSONE HAYNES HOME PLANS, INC. ASSUMES NO CLABILITY FOR CONTRACTORS PRACTICES AN PROCEDUPES. 52'-0" 15'-8" CODES AND CONDITIONS MAY VARY WITH LOCATION A LOCAL DESIGNER, ARCHITECT OR NGINEER SHOULD BE CONSULTE BEFORE CONSTRUCTION. THESE DRAWING ARE
INSTRUMENTS OF SERVICE A
AS SUCH SHALL REMAIN
PROPERTY OF THE DESIGNE COVERED PORCH 2'-8" X 5'-2" TWIN - 2'-4" 2'-0" - 2'-10" -FIRST FLOOR PLAN 4'-0" X 1'-0" TRANSOM Halifax DINING 2'-8" X 5'-2" (3) 2'-8" X 5'-2" 2'-8" X 5'-2" SHOWER 20 The 2'-6" POCKET ent Company, Inc\200223B Halifax II\200223B Halifax II.aed MASTER DW BATH 0 RANGE 19'-10" MASTER **BEDROOM FAMILY ROOM** W.I.C. KITCHEN **SQUARE FOOTAGE** HEATED CLIPPED CEILING 2 X 6 WALL FIRST FLOOR 1555 SQ.FT. 264 SQ.FT. PALYROOM LINEN trash terrappear. RAIL OR 1819 SQ.FT. þ HEATED OPTIONAL SECOND FLOOR TOTAL 570 SQ.FT. 570 SQ.FT. PANTRY LAUNDRY UNHEATED GARAGE FRONT PORCH 448 SQ.FT. 42 SQ.FT. REAR PORCH 154 SQ.FT. 644 SQ.FT. UNHEATED OPTIONAL CASED 1'-7 1/2' 298 SQ.FT. 298 SQ.FT. THIRD GARAGE OPENING TOTAL BEDROOM #2 DROP WALLS 1'-0" BELOW 15,-5, MAIN HOUSE 3'-0" DOOR WITH 1'-0" SIDELITES BEDROOM #3 **DWELLING / GARAGE SEPARATION** DROP WALLS -4 1/2" 1'-0" BELOW REFER TO SECTIONS R302.5, R302.6, AND R302.7 **DOUBLE GARAGE** MAIN HOUSE 2'-0" WALLS, A minimum 1/2" gypsum board must be installed on all walls supporting 11'-2" 11'-2" floor/celling assemblies used for separation required by this section. STAIRS. A minimum of 1/2" gypsum board must be installed on the underside and PORCH exposed sides of all stairways exposed sides of all statings. A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable room above the garage. If there are habitable room above the garage a minimum of 5/8" type X gypsum board must be installed on the garage ceiling. 2'-0" OPENING PENETRATIONS. Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute 2'-8" X 5'-2" 2'-8" X 5'-2" TWIN DUCT PENETRATIONS. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

OTHER PENETRATIONS. Penetrations through the separation required in Section. SQUARE FOOTAGE HEATED FIRST FLOOR 1555 SQ.FT. PALYSCOM 264 SQ.FT. R302.6 shall be protected as required by Section R302.11, Item 4. 18'-0" X 8'-0" OVERHEAD GARAGE DOOR HEATED OPTIONAL **WALL THICKNESSES** 570 SQ.FT 570 SQ.FT 10'-10' - 10'-10" UNHEATED Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for GARAGE FRONT PORCH REAR PORCH TOTAL 644 SQ.F
UNHEATED OPTIONAL
THRO GARAGE 298 SQ.F
TOTAL 288 SQ.F stud face. 2'-8" X 5'-2" 2'-8" X 5'-2" OPTIONAL Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum. SIDE LOAD © Copyright 2020 Haynes Home Plans, Inc 10'-10" 13'-6" -2/21/2020 FIRST FLOOR PLAN 200223B PAGE 4 OF 8

STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no

liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD	DEAD LOAD	DEFLECTION
USE	(PSF)	(PSF)	(LL)
Attics without storage	10		L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handralls	200	-	
Guardrail in-fill components	50	-	
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	-	L/360
Snow	20	-	-

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

ENGINEERED WOOD BEAMS:

Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x104 PSI
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x106 PSI
Laminated strand lumber (LSL) Fb=2250 PSI, Fv=400 PSI, E=1.55x104 PSI Install all connections per manufacturers instructions.

TRUSS AND 1-JOIST MEMBERS: All roof truss and 1-joist layouts shall be prepared in accordance with this document. Trusses and 1-joists shall be installed according to the manufacture's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Homes Plans, Inc.
LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span. 6" x 4" x 5/16" steel angle with 6' leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 16'-0" unless noted otherwise. FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing. ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick. CONCRETE AND SOILS: See foundation notes.

BRACE WALL PANEL NOTES

EXTERIOR WALLS: All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted atherwise.

GYPSUM: All Interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method GB to be fastened per table R602.10.1.

REQUIRED LENGTH OF BRACING: Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 it's actual length Method PF contributes 1.5 times its actual length.

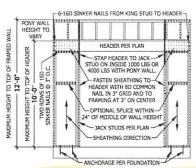
ND: 800 lbs hold down hold down device fastened to the edge of the brace wall panel closets to the corner.

Methods Per Table R602.10.1

CS-WSP: Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.112" diameter). CS-SFB: Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing

GB: Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of the wall fastened at 7° on center at edges and 7° on center at intermediate supports with minimum 5d cooler nails or #6 screws.

PF: Portal fame per figure R602.10.1



PORTAL FRAME AT OPENING

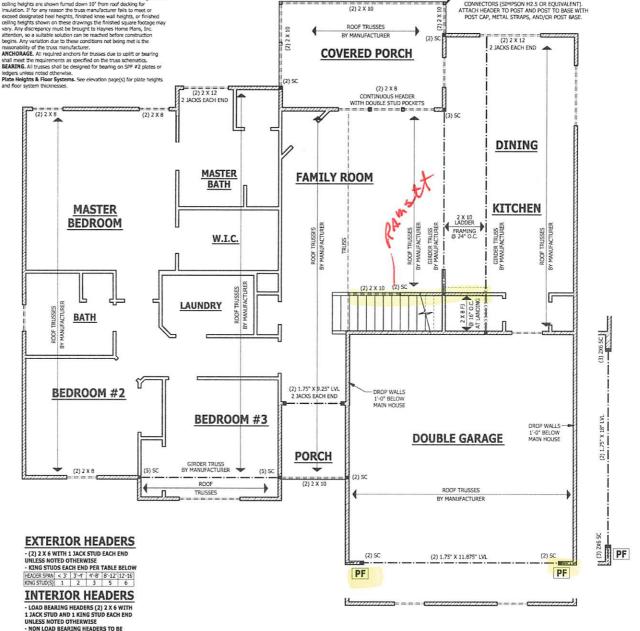
(METHOD PF PER FIGURE AND SECTION R602.10.1) SCALE 1/4" = 1'-0"

ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins.

KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights are shown furned down 10° from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the reasonability of the truss manufacturer.

shall meet the requirements as specified on the truss schematics. BEARING. All trusses shall be designed for bearing on SPF #2 plates or



FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"

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PROCEDURES.

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4 X 4 TREATED POST OR FOUTVALENT TYPICAL ATTACH RAFTERS TO HEADER WITH HURRICANE

FIRST FLOOR STRUCTURAL Halifax The

SQUARE FOOTAGE HEATED HEATED OPTIONA \$70 SQ.FT. 570 SQ.FT. UNHEATED

GRACE 448 SC.FT
FRONT PORCH 42 SC.FT
ROAT PORCH 19 SC.FT
ROAT PORCH 19 SC.FT
ROAT PORCH 548 SC.FT
UNHEATED OPTIONAL
THERO GARAGE 288 SC.FT
TOTAL 288 SC.FT © Copyright 2020

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PAGE 5 OF 8

STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no

liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD	DEAD LOAD	DEFLECTION
USE	(PSF)	(PSF)	(LL)
Attics without storage	10		L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	-	-
Guardrall in-fill components	50		-
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Chaire	40		1/260

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb : 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

ENGINEERED WOOD BEAMS:

Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x106 PSI
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x106 PSI
Laminated strand lumber (LSL) Fb=2250 PSI, Fv=400 PSI, E=1.55x106 PSI Install all connections per manufacturers instructions.

TRUSS AND I-JOIST MEMBERS: All roof truss and I-joist layouts shall be

prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacture's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Homes Plans, Inc.

LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6-0" span. 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" balts at 2'-0" on center for spans up to 18'-0" unless noted otherwise. FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick. CONCRETE AND SOILS: See foundation notes.

ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins. KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer falls to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the reasonability of the truss manufacturer.

ANCHORAGE. All required anchors for trusses due to uplift or bearing.

shall meet the requirements as specified on the truss schematics.

BEARING. All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights

ATTIC ACCESS

SECTION RB07

R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m2) and have a vertical height of 60 inches (1524 mm) or greater. The net dear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

 Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.

2. Pull down stair treads, stringers, handrails, and hardware may

protrude into the net dear opening

WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for

are drawn as 5 1/2", and do not include gypsum.

EXTERIOR HEADERS

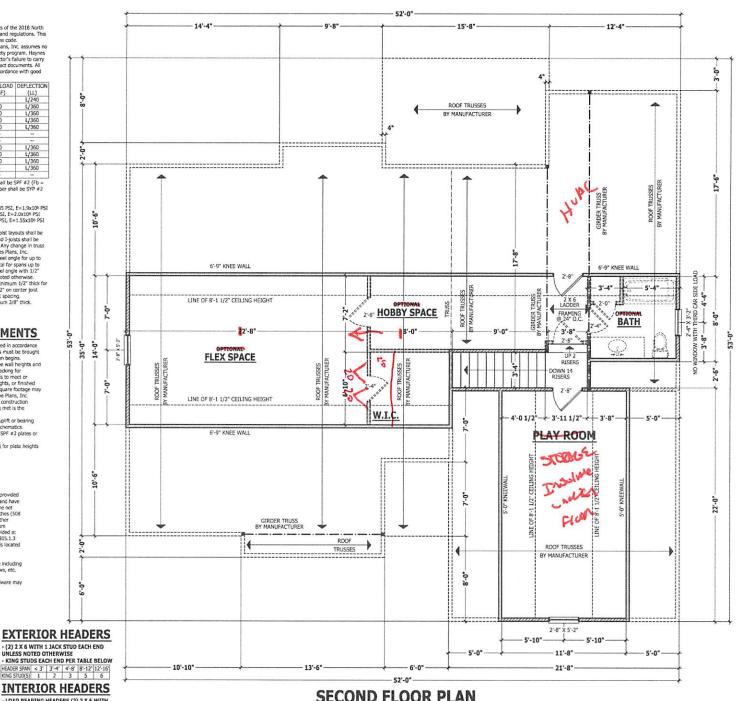
Interior walls are drawn as 3 1/2" or as noted 2 X 6 - (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

HEADER SPAN < 3' 3'-4' 4'-8' 8'-12' 12'-16' KING STUD(S) 1 2 3 5 6

LADDER FRAMED

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE - NON LOAD BEARING HEADERS TO BE





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PROCEDURES

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INSTRUMENTS OF SERVICE AND
AS SUCH SHALL REMAIN
PROPERTY OF THE DESIGNER.

PLAN Halifax FLOOR SECOND The

SQUARE FOOTAGE HEATED HEATED OPTIONAL \$70 SQ.F1 UNHEATED UNHEATED OPTIONAL THRO GARAGE 298 SQ.1 TOTAL 298 SQ.1

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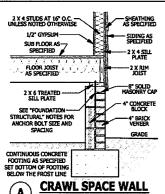
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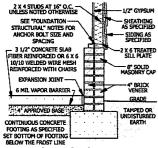
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A SCALE 3/4" = 1'-0"



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GARAGE STEM WALL Ď SCALE 3/4" = 1'-0"

DECK STAIR NOTES

AM110.1 Stairs shall be constructed per Figure AM110. Stringer spans shall be no graster than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each Stringer shall have minimum 3 1/2 inches between step cut and back of stringe If stand, purposed headers that that he attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.

DECK BRACING

SECTION AMIDO AM109.1 Deck bracing. Docks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.

AM109.1.1. When the deck floor height is less than 4'-0'

above finished grade per Figure AN109 and the deck is attached to the structure in accordance with Section AMID4, lateral bracing is not regulred. AM109.1.2. 4 x 4 wood knee braces may be provided on

each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the hortzontal. Knee braces shall be bolted to the post and the girder/double band with one 5/8 lach hat disperstvantzed bolt with nut and washer at both ends of the brace per Figure AM109.1

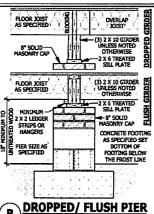
AM109.1.3. For freestanding docks without knee braces or

diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2

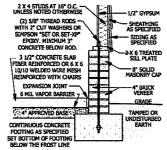
POST	TRIBUTARY	MAX. POST HEIGHT	HTTBC	CONCRETE DUAMETER	
4X4	48 SF	4'-0"	2'-6"	1'-0"	
6 X 6	120 SF	6'-0"	3'-6"	1'-8"	
AMINO I A 2 v & discount unities court bracker may					

AM109.1.4. 2 x 6 diagonal vertical cross bracing may be provided in two perpendicular directions for freestanding decks or parallel to the structure at the exterior column line for attached decks. The 2 x 6's shall be attached to the posts with one 5/8 Inch hot dipped lo bors deat ts redsew bos tun rith vilod botte each bracing member per Figure AM109.3.

AM109.1.5. For embedment of piles in Coastal Regions, see Charter 45.



SCALE 3/4" = 1'-0"



<48" GARAGE WING WALL E SCALE 3/4" = 1'-0"

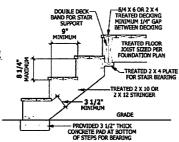


FIGURE AM110 TYPICAL DECK STAIR DETAIL

SCALE 3/4" = 1'-0"

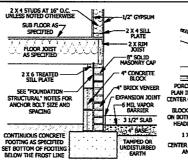
SHEATHING-AS SPECIFIED STONE VEENED LATH VAPOR BARRIER WEED GODEED MINIMUM 4" TO GROUND OR 2 SEE FOUNDATION GRADE DETAILS

WEEP SCREED SCALE 3/4" = 1'-0"

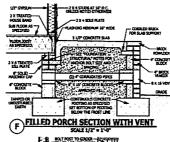
WEEP SCREEDS

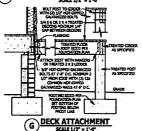
All weep screeds and stone veneer to be per the 2012 North Carolina Residential

R703.6.2.1 - A minimum 0.019-inch (0.5 mm) (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic ween screed, with a minimum vertical attachment flange of 31/2 inches (89 mm) shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches (102 mm) above the earth or 2 inches (51 mm) above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flance of the weep screed



CRAWL SPACE AT GARGE C SCALE 3/4" = 1'-0"





SMOKE ALARMS

SECTION D314

listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning

use provisions of use tode and use nousecous me warrang equipment provisions of NFPA 72.

R31A.2 Smoke debotion systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke debotion and audible notification device. installed as required by this section for smoke alarms, shall be permitted. The household fire slarm system shall provide the s-level of smoke detection and alarm as required by this section: armice alarms. Where a household fire warring system is installed using a combination of snoke detector and earlier system is installed using a combination of snoke detector and earlier notification devict(s), it shall become a premanent fibure of the consupancy and owned by the homowher. The system shall be markitationed by an approved supprising station and be markitationd in accordance with NFPA 72

Exception: Where smoke alarms are provided meeting the requirements of Section R314.4.
R314.3 Location. Smoke alarms shall be installed in the following

In each sleeping room.
 Outside each separate sleeping area in the imme

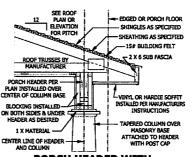
3. On each additional story of the dwolfing, including basements 3. On each additional story of the dwofing, including becoments and habitate less finished by the tribuding raw to pace, surfactable (unfinished) states and uninhabitate (unfinished) states and uninhabitate (unfinished) states shaped until with ship killed states and without an intervening door between the adjacent keets, a smoke starm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the super level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the super level.

below the upper level.

When more than one smoke alarm is required to be installed within

When more than one smoke alarm is required to be installed within an individual dwelling until the alarm devices shall be internomented in such a manner that the adjustion of one alarm will activate all of the alarms in the individual unit.

R33.4.8 Power source. Smoke alarms shall recove their primary power from the budding winking when such withing is smooth from a commercial spounce, and when primary power is interrupted, shall recover power from the data of the primary power is interrupted, shall recove power from a buttery. Withing shall be permanent and without a disconnecting switch other than intoxic regulated for overcurrent protection. Smoke alarms shall be into



PORCH HEADER WITH **TAPERED COLUMN**

SCALE 3/4" = 1'-0'

CARBON MONOXIDE ALARMS

SECTION R325

R313.1 Carbon monoxide starms. In new construction, dwelling units shall be provided with an approved carbon monocide starm installed outside of each separate steeping area in the immediate vicinity of the bedroom(s) as directed

R315.2 Where reculred in existing develops. In existing develops, when NATION, where inclured in consump ownitings, in consump divisions, where interior alterations, repairs, fuel-fired appliance replacements, or additions requiring a permit occurs, or where one or more steeping rooms are added or created, carbon monoxide alarms shall be provided in accordance with Section

315.1 S13.3. Alarm requirements. The required curbon monoride alarms shell be audible in all bodrooms over background noise levets with all intervening doors closed. Single station curbon monoride alarms shall be listed as complying with UL 2004 and shall be listalized in accordance with this code and the

STAIRWAY NOTES

R311.7.2 Headroom. The minimum headroom in all parts of the stairw shall not be less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or pixtform on that portion of the stainway

shazing or partorn on that portion of the starkey. RSII.1.4 Stabt treads and risers. Stalt treads and risers shall meet the requirements of this section. For the purposes of this section all dimensions and dimensional surfaces shall be equilable of copies, nago or numers. RSII.1.4.1 Riser helgial. The meanimum riser height shall be 8 J.49 Inches (211 m.A.). The riser shall be measured vertically between leading edges of

the adjacent breads.
8311.7.4.2 Tread depth. The minimum bread depth shall be 9 inches (229 RS31.7.4.3 Tread depth. The minimum bread depth shall be 9 Inches (259 mm). The tread depth shall be newarred hostundrish between the vertical planes of the forenect projection of adjacent treads and at a right engle to the tread's leading odp. Winder treads shall have a minimum bread depth of 9 Inches (229 mm) measured as above at a point 12 Inches (305 mm) from the side winder the tread's send or a province (Winder treads shall have a minimum tread depth of 4 Inches (102 mm) at any point.

maximum read depth of 4 incres (10.2 mm) at any point.

83.11.7.4.3 Profile, The radius of curvature at the nosing shall be no greater than 9/16 inch (14 mm). A nosing not less than 3/4 inch (19 mm) but not more than 1 1/4 inches (32 mm) shall be provided on stainways with solid

R311.7.7 Handralls, Handralls shall be provided on at least one side of each RSILL7./ Mandratis. Handratis shall be provided on at least one side of ex-continuous run of brands or flight with flour or more risors. RSILL7.1.1 Holght. Handrall hidght, measured vertically from the sloped plane adjoining the brand nosing, or finish surface of ramp slope, shall be not less than 34 inches (664 mm)and not more than 38 inches (965 mm).

1. The use of a volute, turnout or starting easing shall be allowed over the

lowest troad.

2. When handrall fittings or bendings are used to provide continuous transition between flights, the transition from hearies' it operates it or set the start of a fifty, the heardest height at the fittings or bendings shall be permitted to exceed the maximum height.

8.111.7.21 Centinuity, Handralls for stallways shall be continuous for the full length of the flight, from a point directly above the top rise of the flight has point directly above the way. Heardrall ends shall are point directly above the bases from of the flight, heardrall ends shall shall be shall be continuous to the flight of t between the wall and the handralls.

 Handralis shall be permitted to be interrupted by a newel post. The use of a volute, turnout, starting easing or starting newcl shall be slowed over the lowest tread.

3. Two or more separate rails shall be considered continuous if the termination of the rails occurs within 6 inches (152 mm) of each other. If transitioning between a wall-mounted handral and a guardral/handrali, the wall-mounted rail must return into the wall.

PITCH PER ROOF PLAN OR ELEVATIONS SHINGLES AS SPECIFIED -15# BUILDING FFLT ROOF INSULATION PER CLIMATE ZONE SHEATHING AS SPECIFIED SEE CODE NOTE ON BLEVATION PAGES INSULATION BAFFLE (2) 2 X 4 TOP PLATE-- 1/2" GYPSUM 1 X 8 FASCIA WALL INSULATION PER CLIMATE ZONE SEE CODE NOTE ON SOFFIT SOFFIT VENTING PLEVATION PAGES -OPTIONAL 1 X 4 FRIEZE 3/4" SUBFLOOR 2 X 4 SILL PLATE - SHEATHING AS SPECIFIED LOOR TRUSSES AS SPECIFIED (2) 2 X 4 TOP 2 X 4 STUDS AT WALL INSULATION PER 16" ON CENTER CLIMATE ZONE SEE CODE NOTE ON ELEVATION PAGES **UNLESS NOTED** 2 X 4 STUDS AT 16" O.C. -UNLESS NOTED OTHERWISE - SHEATHING AS SPECIFIED 1/2" GYPSUM SUB FLOOR AS-SPECIFIED A BOOR WIST CONCRETE SEE "FOUNDATION -STRUCTURAL* NOTES FOR ANCHOR BOLT SIZE AND 4" BRICK VENEER GRADE

MAXINUM 6° GAP BETWEEN WALL MOUNTED AND CONTINUOUS HANDRATI

TYPICAL WALL DETAIL

SCALE 3/4" = 1'-0"

CONTINUOUS CONCRETE

FOOTING AS SPECIFIED

SET POTTOM OF POOTING

TYPICAL STAIR DETAIL

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PURCHASER HUST VERBY AND STREAMSTONS AND CONDITION CONDITION

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AS SUCH SHALL REMAIN
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DETAILS

TYPICAL

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