



**Fire Alarm System**

1. A structured notification system for fire alarm purposes only. Contractor shall provide a detailed engineering review and design of fire alarm system and all related work. Includes: notification devices, manual pull stations, fire alarm control panel, and fire alarm control unit.
2. All devices are to be tested by the contractor and the testing results shall be submitted to the Authority Having Jurisdiction (AHJ) for review and approval.
3. The fire alarm system shall be designed to provide notification of fire alarm conditions to the fire department and to the fire alarm monitoring station.
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10. The fire alarm system shall be designed to provide notification of fire alarm conditions to the fire department and to the fire alarm monitoring station.

**Smoke Alarms**

1. Smoke alarms shall be installed in the bedrooms, living areas, and hallways.
2. Smoke alarms shall be tested by the contractor and the testing results shall be submitted to the Authority Having Jurisdiction (AHJ) for review and approval.
3. The smoke alarm system shall be designed to provide notification of smoke alarm conditions to the fire department and to the fire alarm monitoring station.
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**Carbon Monoxide Alarms**

1. Carbon monoxide alarms shall be installed in the bedrooms, living areas, and hallways.
2. Carbon monoxide alarms shall be tested by the contractor and the testing results shall be submitted to the Authority Having Jurisdiction (AHJ) for review and approval.
3. The carbon monoxide alarm system shall be designed to provide notification of carbon monoxide alarm conditions to the fire department and to the fire alarm monitoring station.
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**Accessibility**

1. All areas shall be accessible to persons with disabilities.
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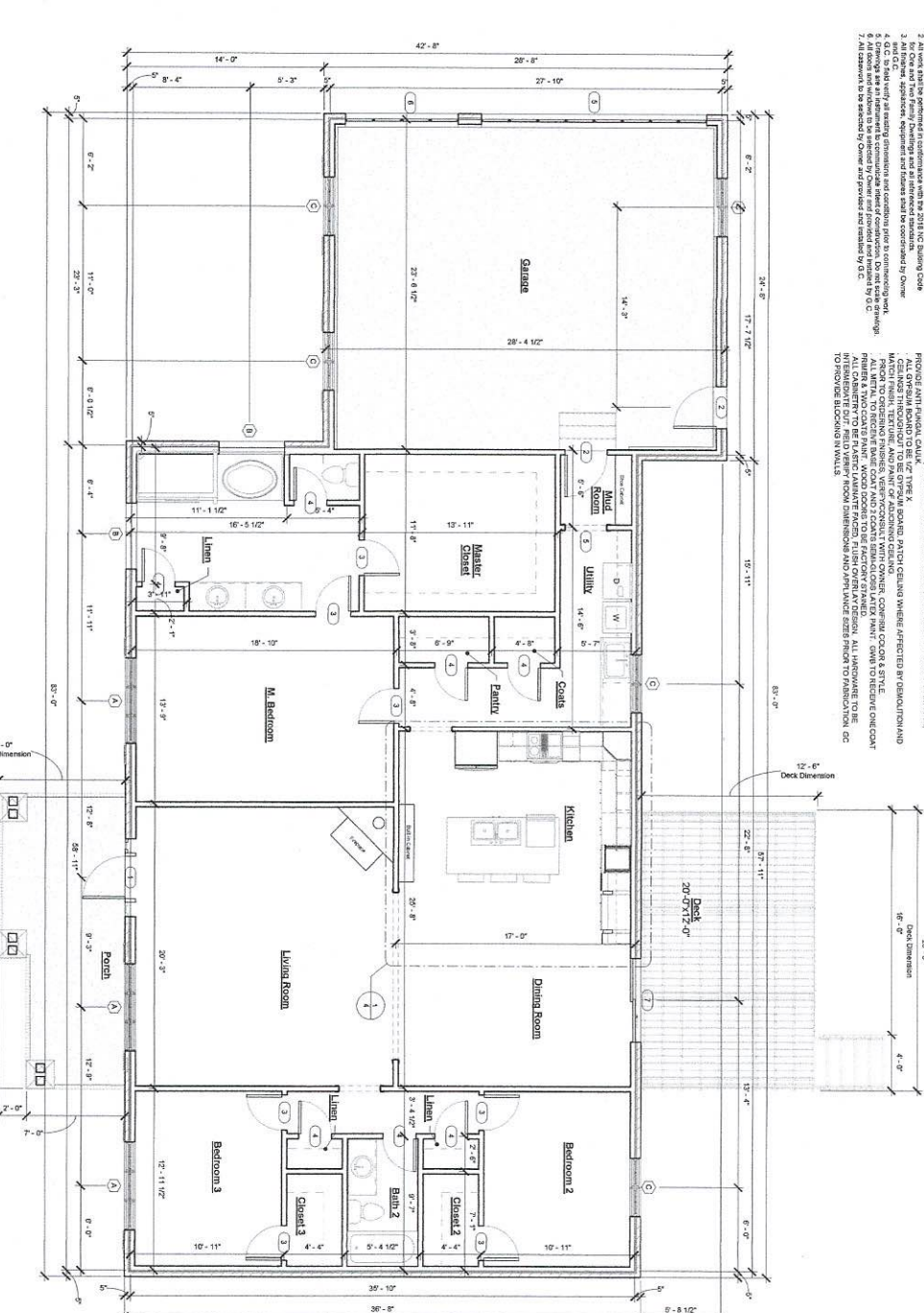
**Door Schedule**

Mark	Count	Door Size	Frame Type	Description	Comments
1	1	36" X 84"		Room Door	
2	2	36" X 80"		Room Door	
3	7	36" X 80"		Room Door	
4	7	36" X 80"		Room Door	
5	1	Overhead Garage Door		Overhead Garage Door	
6	1	Overhead Garage Door		Overhead Garage Door	
7	1	36" X 80"		Room Door	

**Window Schedule**

Mark	Count	Width	Height	Comments
A	3	6'-3"	7'-3 1/2"	
B	3	6'-3"	7'-3 1/2"	
C	5	6'-3"	7'-3 1/2"	
D	4	6'-3"	7'-3 1/2"	
E	4	6'-3"	7'-3 1/2"	
F	4	6'-3"	7'-3 1/2"	
G	3	6'-3"	7'-3 1/2"	

1 First Floor Plan



**Notes**

1. All dimensions are given from the exterior face of the wall to the exterior face of the wall.
2. All areas shall be accessible to persons with disabilities.
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Hymbaugh Residence  
First Floor Plan

25351 NC Hwy 24/27  
Cameron, NC

PROPERTY OF TPJR  
THOMAS P. JEFFERS, JR.  
RESIDENTIAL DESIGN  
CAMERON  
NORTH CAROLINA  
(910) 644-4587

DESIGNED BY:  
THOMAS P. JEFFERS, JR.  
RESIDENTIAL DESIGN  
CAMERON  
NORTH CAROLINA  
(910) 644-4587

DATE: 1/27/21  
SCALE: 1/4" = 1'-0"  
PROJECT NUMBER: 022010001  
DRAWN BY: TP  
CHECKED BY: TP

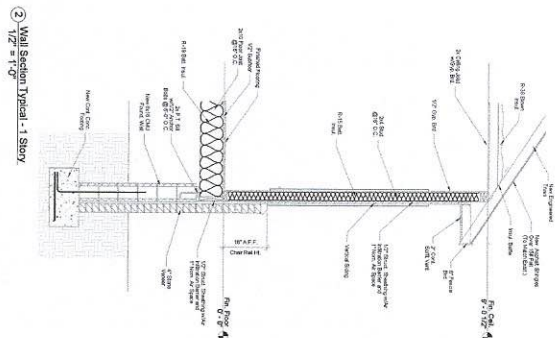


**EXHAUST FANS:**

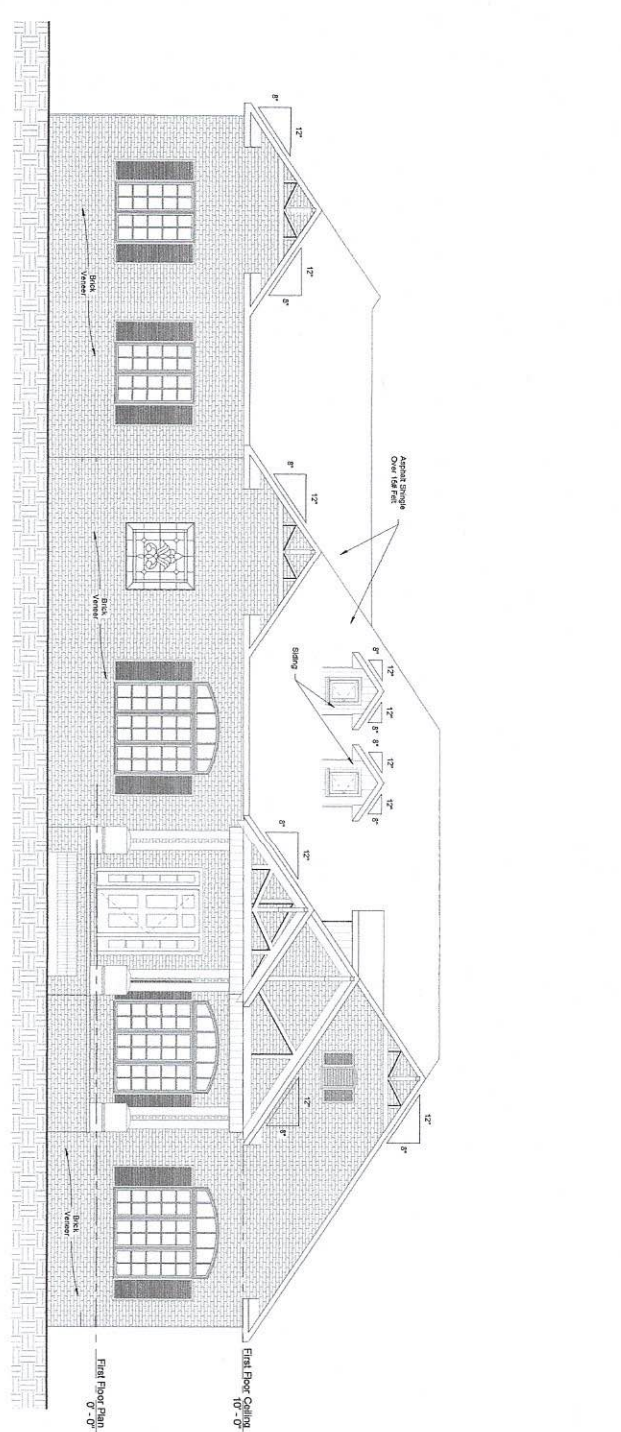
1. Exhaust fans and motors are not shown for clarity. Appliances shall be located above the roof and the roof shall be a solid membrane in accordance with any necessary weathering requirements and any necessary grading and concrete footings and foundations shall be provided by the foundation contractor or other appropriate professional.
2. Roof and wall penetrations shall be approved in accordance with Section R103.1. Penetrations shall be flashed in accordance with Section R103.1. Penetrations shall be flashed in accordance with Section R103.1.
3. Exhaust fans shall be approved in accordance with Section R103.1. Exhaust fans shall be approved in accordance with Section R103.1.
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**EXHAUST FANS AND DOWNS**

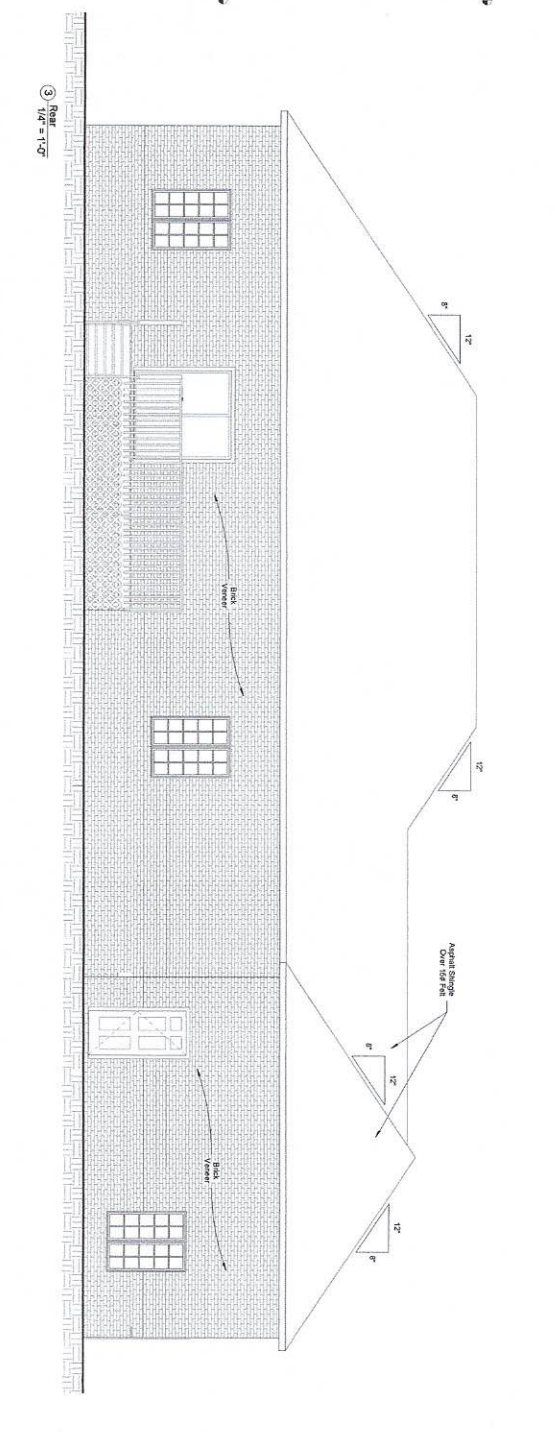
- EXHAUST FANS:**
- R103.1 General.** This section prescribes performance and construction requirements for exhaust fans and down pipes installed in exterior walls. Windows and doors shall be installed in accordance with Section R103.1. Windows and doors shall be installed in accordance with Section R103.1. Windows and doors shall be installed in accordance with Section R103.1.
- R103.2 Window Sills.** In existing walls, where the opening of an operable window is located in an exterior wall, the window shall be replaced with a solid window. The window shall be replaced with a solid window. The window shall be replaced with a solid window.
- EXHAUST FANS AND DOWNS:**
1. Exhaust fans and down pipes shall be approved in accordance with Section R103.1. Exhaust fans and down pipes shall be approved in accordance with Section R103.1.
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2 Wall Section Typical - 1 Story  
1/2" = 1'-0"

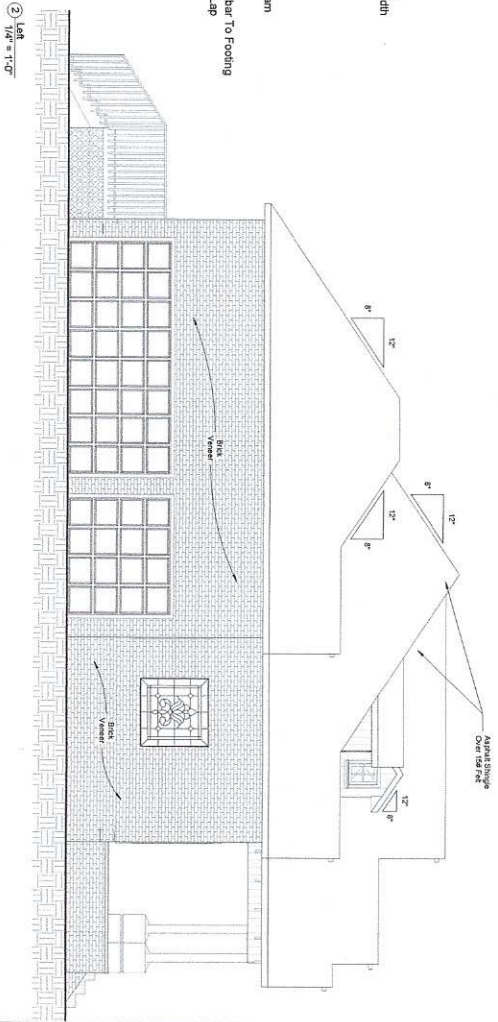
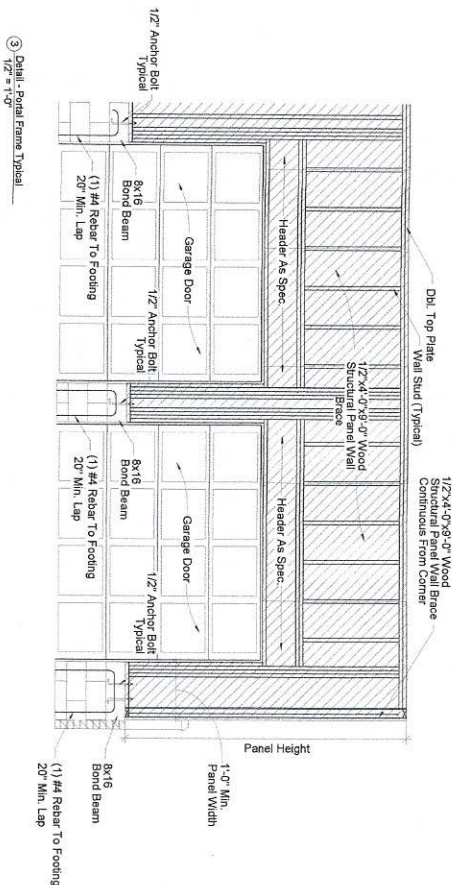
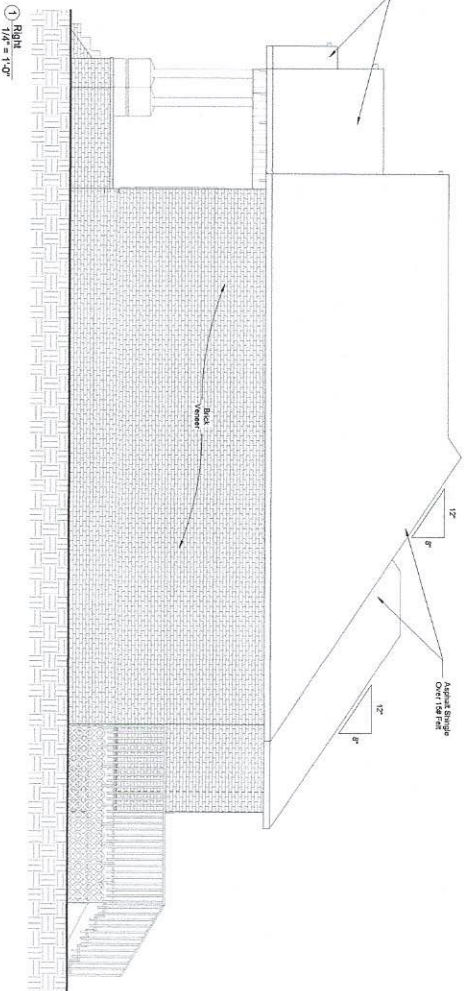
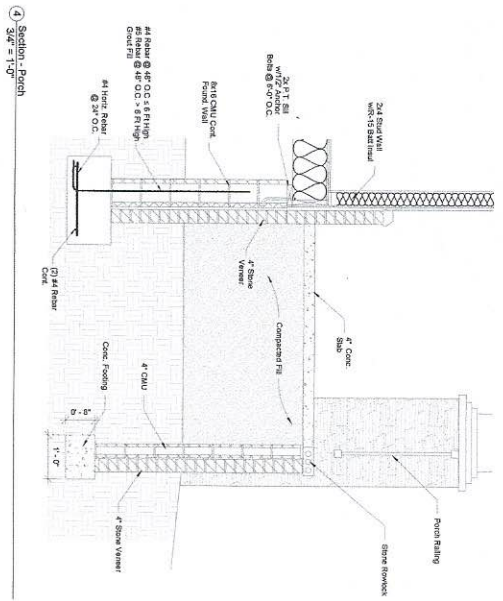


1 Front  
1/4" = 1'-0"



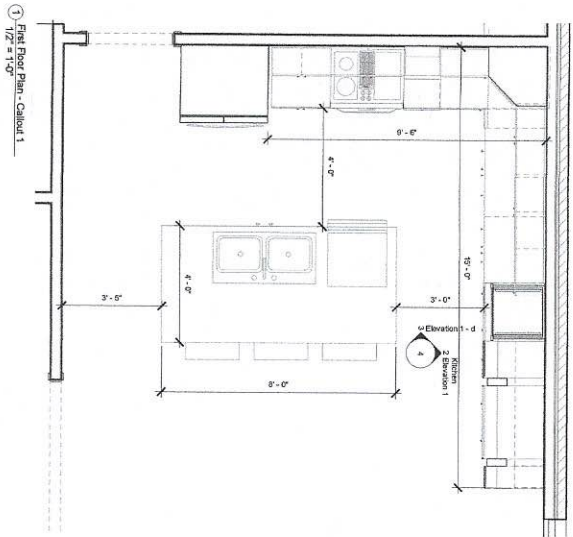
3 Rear  
1/4" = 1'-0"

<p>25351 NC Hwy 24/27 Cameron, NC</p>	
<p>Hymbaugh Residence Elevations</p>	
<p>DESIGNED BY: TIMOTHY PAPPERS, AIA MICHAEL J. PAPPERS, ARCH CONSULTANTS</p>	<p>PROPERTY OF TP&amp;R NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p>
<p>DATE: 1/27/21</p>	<p>PROJECT NUMBER: 0223010001</p>
<p>SCALE: As Indicated</p>	<p>DESIGNED BY: TP</p>
<p>DATE: 1/27/21</p>	<p>CHECKED BY: TP</p>
<p>PROJECT NUMBER: 0223010001</p>	<p>2</p>

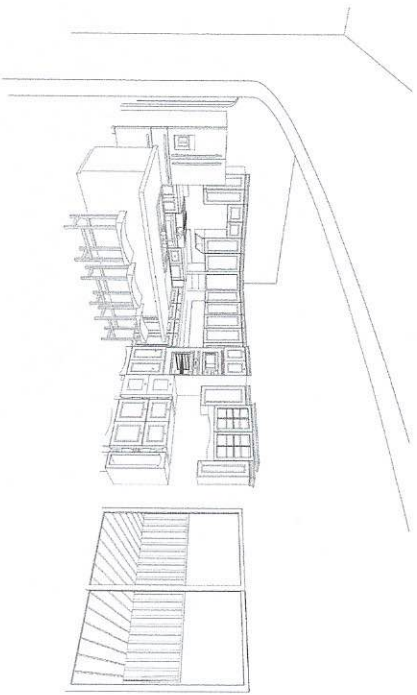


<p>25351 NC Hwy 24/27 Cameron, NC</p>		<p>DESIGNED BY: TIMOTHY FERRELL &amp; RESIDENTIAL DESIGN CAMERON NORTH CAROLINA (910) 644-4557</p>	
<p>Hymbaugh Residence</p>		<p>PROPERTY OF TPJR DRAWING NO. 25351-01-001 DATE: 1/27/21 SCALE: As Indicated</p>	
<p>Elevations Cont.</p>		<p>PROJECT NUMBER: 0222010001 DATE: 1/27/21 DRAWN BY: AJL/WR CHECKED BY: C/WR</p>	
<p>3</p>		<p>1/27/21</p>	

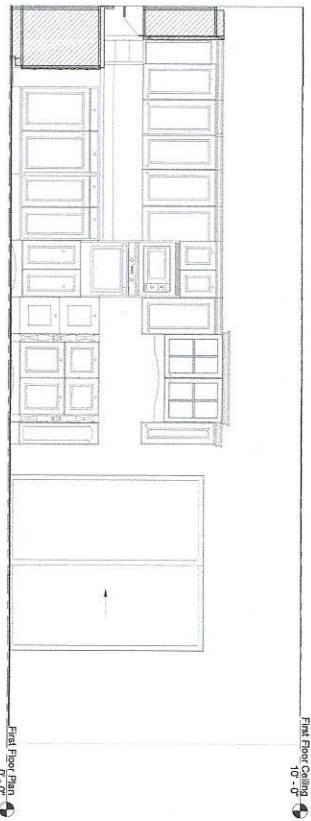




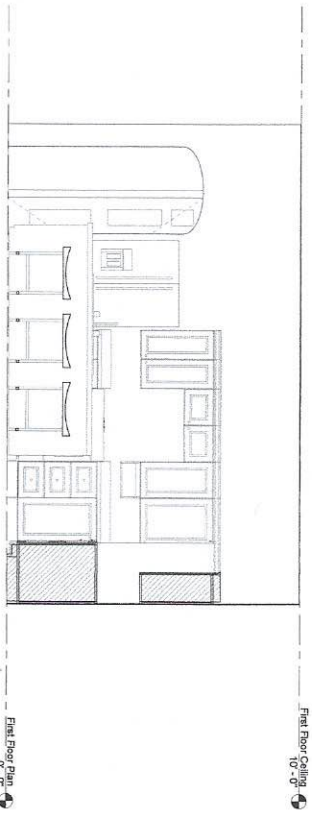
1 First Floor Plan - Cabinet 1  
1/2" = 1'-0"



4 3D View Kitchen

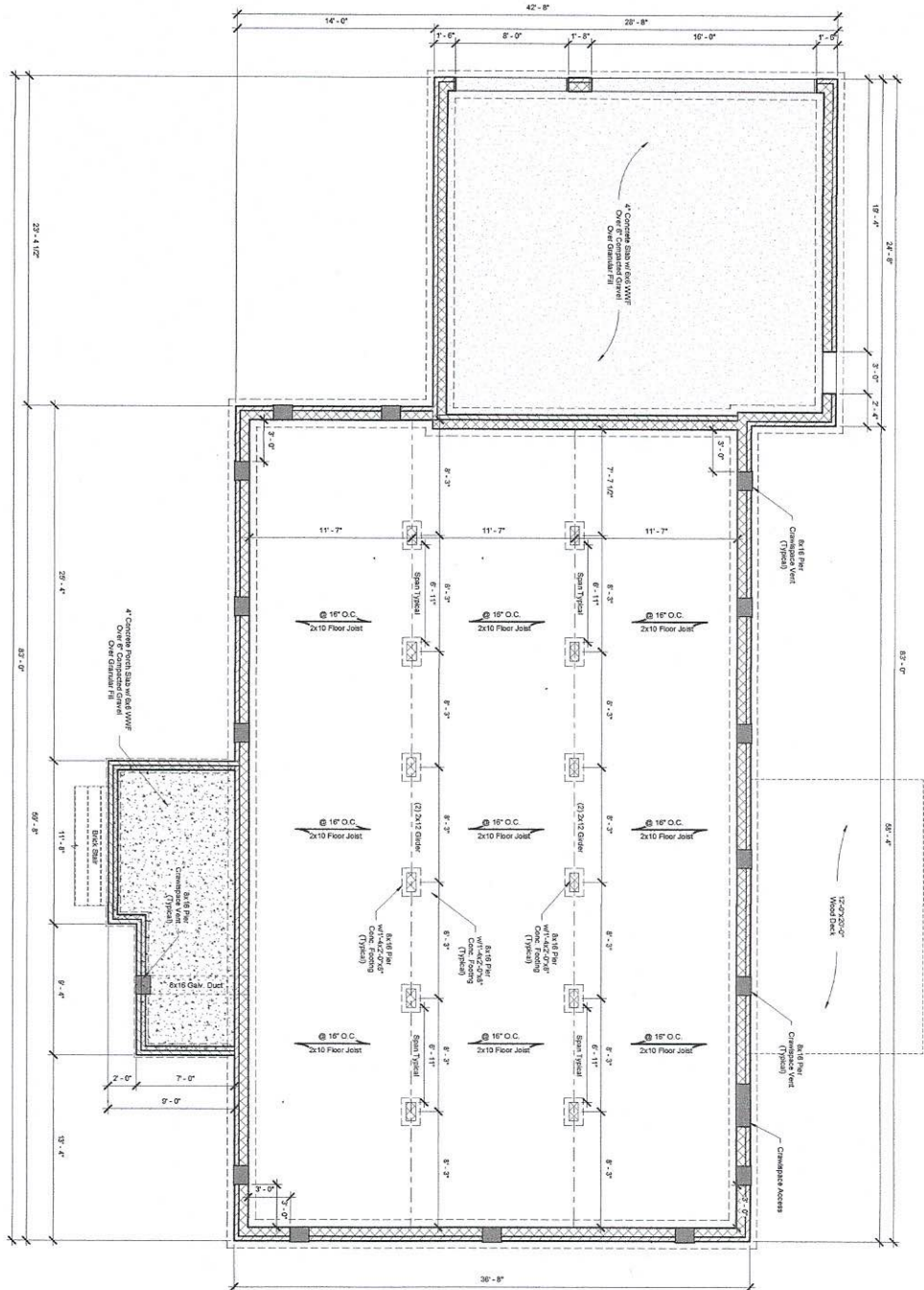


2 Kitchen Elevation 1  
1/2" = 1'-0"



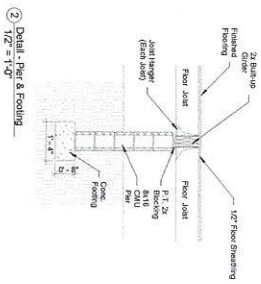
3 Elevation 1-d  
1/2" = 1'-0"

4	<p><b>Hymbaugh Residence</b></p> <p><b>Kitchen Plan</b></p>	<p>25351 NC Hwy 24/27 Cameron, NC</p>	<p>DESIGNED BY: TIMOTHY PEPPER, AIA RESIDENTIAL DESIGN CAMERON NORTH CAROLINA (910) 644-4587</p>	<p>PROPERTY OF TPJR CONCEPTS AND PROJECTS, LLC THIS DRAWING IS THE PROPERTY OF TPJR CONCEPTS AND PROJECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TPJR CONCEPTS AND PROJECTS, LLC.</p>	<p>CONSTRUCTION AND/OR INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD CONDITIONS AND MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD CONDITIONS AND MEASUREMENTS.</p>
<p>SCALE: 1/2" = 1'-0"</p>		<p>DATE: 1/27/21</p>		<p>Project Number: 0222010001</p>	
<p>Drawn by: Author</p>		<p>Checked by: Checker</p>		<p>4</p>	

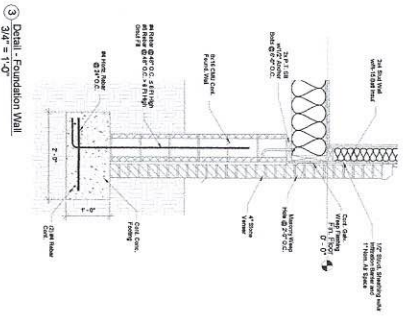


1 Foundation Plan  
1/4" = 1'-0"

- MARKING NOTES:**
- Concrete dimensions are typically to face of wall.
  - All concrete walls shall be concrete 4" thick with a 3/8" rebar on 12" O.C. with a minimum 6" bed of compacted gravel support under the wall.
  - Provide Anchor Bolts (size as indicated) (min. 1/2" dia) at a maximum of 4' O.C. (center to center) and minimum 6" O.C. for exterior walls. Size per detail reference.
  - All concrete footing shall be on a minimum 6" depth of compacted gravel.
  - All concrete walls shall have a minimum of 1/2" height structural rebar.
  - Concrete foundation walls shall exceed 8" in height.
  - Concrete foundation walls shall be a minimum 24" deep.
  - Concrete shall have a minimum 28 day strength.
  - Concrete shall be 3000 psi.
  - Concrete shall be 3000 psi.
  - Foundation shall be 3000 psi.



2 Detail 1: Pier & Footing  
1/2" = 1'-0"



3 Detail Foundation Wall  
3/4" = 1'-0"

DESIGNED BY:  
THOMAS PARRISH &  
ASSOCIATES  
CONSULTANTS  
NORTH CAROLINA  
(910) 844-4857

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25351 NC Hwy 24/27  
Cameron, NC

Hymbaugh Residence  
Foundation Plan

DATE: 12/2/21  
SCALE: As Indicated  
Project Number: 022010001  
Drawn by: TP  
Checked by: TP





**Roof Truss Requirements**

Truss design shall conform to the latest requirements of the 2018 International Building Code (IBC) and the American Institute of Steel Construction, Inc. (AISC) 360-16 Specification for Structural Steel Buildings. The design shall be in accordance with the provisions of the 2018 International Building Code (IBC) and the American Institute of Steel Construction, Inc. (AISC) 360-16 Specification for Structural Steel Buildings. The design shall be in accordance with the provisions of the 2018 International Building Code (IBC) and the American Institute of Steel Construction, Inc. (AISC) 360-16 Specification for Structural Steel Buildings.

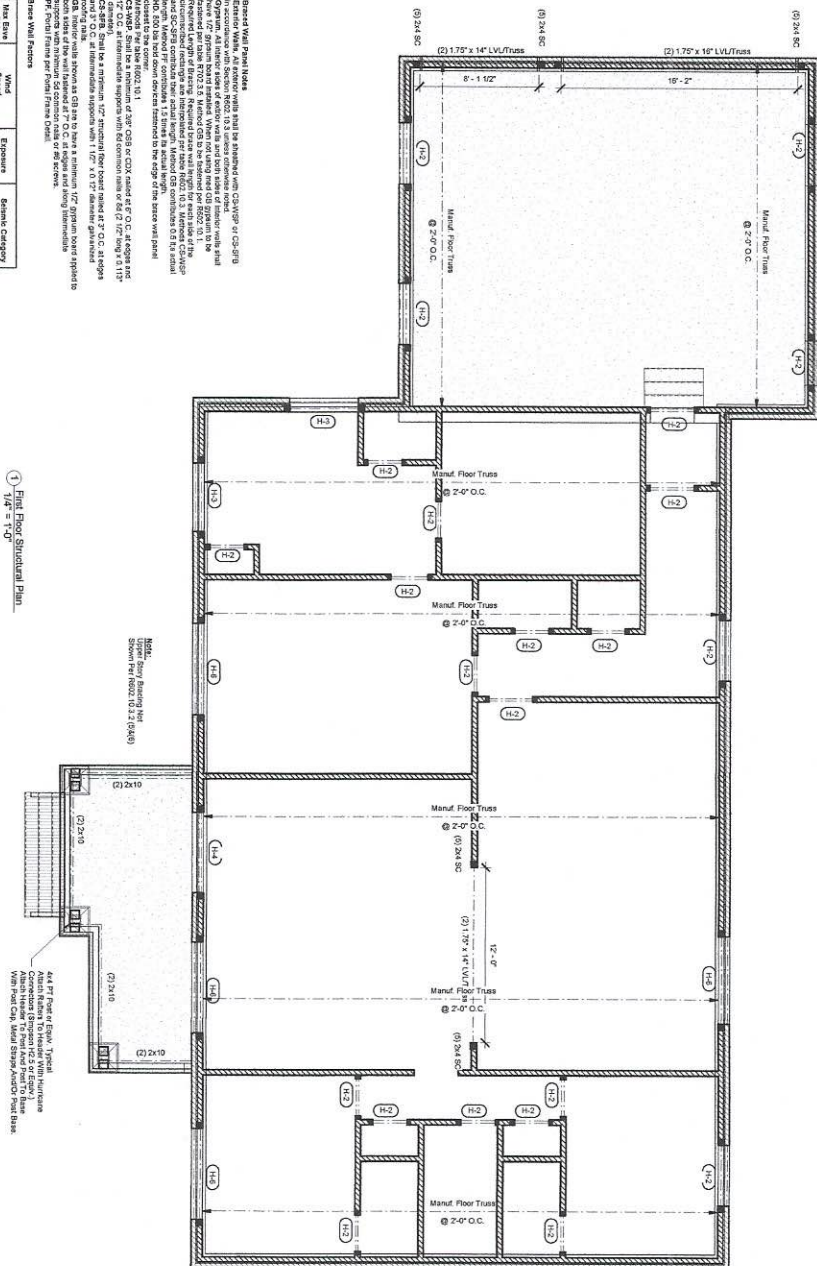
Use	Live Load (psf)	Dead Load (psf)	Deflection (L/160)
Area Without Storage	10	10	L/60
Area With Limited Storage	20	10	L/80
Area With Full Storage	40	10	L/80
Roofing & Siding	40	10	L/80
Fire Escape	40	10	L/80
Garage & Driveway	20	..	..
Garage & Driveway	50	..	..
Passenger Vehicle Garage	50	10	L/80
Floors Other Than Stairs	40	10	L/80
Stairways	30	10	L/80
Stairs	40	..	L/80
Roofs	20	..	..

**Header Details**

Header shall be 3" x 12" x 1/2" steel angle for up to 8' and attached lumber shall be 2" x 12" mass timber used.

Header shall be 3" x 12" x 1/2" steel angle for up to 8' and attached lumber shall be 2" x 12" mass timber used.

Header	Size	Columns
H-1	(2) 2x4	1, 2, 3, 1, 2, 3
H-2	(2) 2x4	1, 2, 3, 1, 2, 3
H-3	(2) 2x4	1, 2, 3, 1, 2, 3
H-4	(2) 2x4	2, 2, 2, 1, 2, 3
H-5	(2) 2x4	2, 2, 2, 1, 2, 3



1 First Floor Structural Plan  
1/4" = 1'-0"

Side	Prop. Distance	Required	Provided
1	4'-0"	18'-2"	24'-0"
2	4'-0"	18'-2"	18'-0"
3	3'-0"	17'-6"	20'-0"
4	3'-0"	17'-6"	34'-2"

Header	Wood Species	Exposure	Design Category
H-1 to H-5	118	B	A or B

Side	Wall Height	Exposure
1	8'-0"	Roof 1
2	12'-0"	Roof 1

**Hymbaugh Residence**

**25351 NC Hwy 24/27**  
**Cameron, NC**

**Structural Plan**

SCALE: 1/4" = 1'-0"

DATE: 1/27/21

PROJECT NUMBER: 0222010001

DESIGNED BY: TUDOR PEPERS, INC. CONSULTANT

PROJECT LOCATION: CAMERON, NORTH CAROLINA (301) 844-4587

PROPERTY OF: TUDOR PEPERS, INC. CONSULTANT

1/4" = 1'-0"

7