

DESIGN PROFESSIONAL INSPECTION FORM

RECORD OF THE INSPECTION OF A COMPONENT OR ELEMENT BY A NC LICENSED ARCHITECT OR ENGINEER

Project Information:

Residential Single-Family Project: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	Commercial Project: <input type="checkbox"/> Y <input type="checkbox"/> N
Code Enforcement Project No:	Permit No: N/A
Project Name: 10425 McDougald Rd	Owner: America's Homeplace
Project Address: 10425 McDougald Road Broadway, NC	Suite No:
Date Inspected: 06/01/2021	Contractor Name: McGee Brothers
Component Inspected: residential home and detached garage footings prior to concrete placement	

Responsible Licensed NC Architect or NC Engineer

Name:	W. Shawn Sullivan, P.E.	
Firm Name:	GTA Associates, Inc.	
Phone Numbers:	Office: 984-200-2104	Mobile: 984-500-6192
Email Address:	Shawnsullivan@gtaeng.com	
Mailing Address:	5605 Chapel Hill Road, Suite 112, Raleigh, NC 27607	

APPLICABLE CODE: 2018 NC Residential Code

2018 NCBC = 2018 NC Building Code; 2018 NCRC = 2018 NC Residential Code

Describe Element/Component/Type of Inspection: * strip ftgs, pier ftgs, lug ftgs, under code R403.1. Soil Bearing Capacity = 2,000 psf(see attached report)

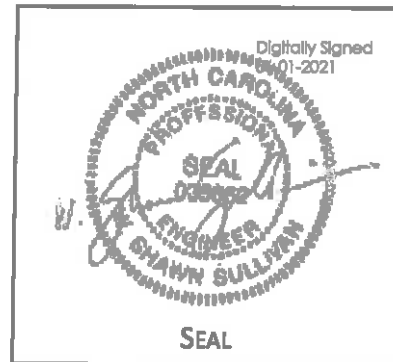
*(subgrade form/letter may also be required)

Attestation/Signature:

By signing below, I certify that the component and/or element of the building as identified on this form has been inspected by me or someone under my direct supervision per subsection (b2) of NC G.S. 153A-352 and is in compliance with the approved plans & specifications for the project. This inspection is in compliance with all of the requirements of the above referenced code. Attach any additional documents if needed.

Shawn Sullivan

Licensed Architect or Engineer



Inspection Department disclaimer:

Upon the receipt of a signed written document as required under subsection (a) of Article 160A-413.5., Code Enforcement shall be discharged and released from any liabilities, duties and responsibilities imposed by this article or in common law from any claim arising out of or attributed to the component or element in the construction of the building for which the signed written document was submitted. Be aware that this inspection will be noted in all inspection records including the Certificate of Occupancy or Certificate of Compliance. This inspection does not address any local ordinances or zoning requirements.



Project Name: 10425 McDougald Rd - Broadway NC Date: 6 / 1 / 2021 GTA Rep: Junior Wheeler
 Project No.: 201253x012 Client: McGee Brothers Weather: Sunny Temperature: 78 °F

Location of Work:

10425 McDougald Rd - Broadway North Carolina

Plans Referenced:

Foundation Drawings available on-site

Description of Work:

-10425 McDougald Rd (Home and Detached Garage Permit No.: N/A)

GTA representative arrived on-site, as requested, to test the bearing capacity of near surface soils for footings, and to perform 3rd party footing observations prior to concrete placement for the residential home and detached garage planned for construction at address 10425 McDougald Rd Broadway, North Carolina.

Utilizing a steel probe rod, hand auger, and Dynamic Cone Penetrometer (ASTM STP399) to test the bearing capacity of near surface soils for footings, test results indicated that soils, at the locations and elevations tested; are capable of supporting footings designed for a net allowable bearing pressure of 2,000 psf, with the exception of an isolated area of soft/wet soils identified at interior pier footings. Please see the attached site sketch for approximate locations. GTA observed the contractor remove the identified soft/wet soils down to expose a competent bearing subgrade. The resulting excavation had approximate measured dimensions as follows: (3' x 2' x 2.33')+(3' x 2.5' x 2.33')+(9' x 2' x 2') + (2' x 2' x .66') + (2' x 2' x .66') = 2.7 cubic yards. GTA recommends the resulting over-excavation areas be backfill back to planned bottom of footing elevation with open-graded stone (No. 57-stone), or with additional concrete during concrete placement for footings.

Please note, GTA test results are only indicative of soil conditions at the specific GTA test locations and depths explored. GTA hand-auger borings were supplemented with Dynamic Cone Penetrometer (DCP) testing to explore the near surface soil conditions. GTA testing was performed to a maximum depth of 4-feet below bottom of footing elevation. Where deeper fill soils are present, GTA has assumed the fill subgrade was prepared properly, and the fill soils were placed and compacted properly.

GTA recommends footings be excavated, tested, and concrete placed on the same day, if possible. Foundation observations and soil bearing capacity testing are only valid between rain events. If foundation bearing materials are exposed to freezing temperatures, inclement weather, or disturbed due to construction activity, GTA should be contacted to re-evaluate the foundation bearing materials prior to the placement of concrete.

Remarks/Deficiencies/Falling Tests:

undercut due to organics in footing - (3' x 2' x 2.33')+(3' x 2.5' x 2.33')+(9' x 2' x 2')+(2' x 2' x .66')+(2'x2'x.66') = 2.7 cubic yards.

Nuclear Gauge: Soil Asphalt None Portal-to-Portal Time: 4.5
 Attachments: Location Sketch Photos Mileage: 90
 Material Tickets Subgrade Preparation Report Nuclear Field Density Concrete Test Report
 Other DPI Form Foundation Observation Report

The daily report is preliminary and is provided solely as evidence that a site visit was performed.

GTA Reviewer: Shawn Sullivan



Project No. 201253x012
Project Name: 10425 McDougald Rd - Broadway NC
Client: McGee Brothers
Technician: Junior Wheeler

Date: 6 / 1 / 2021
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DESCRIPTION OF WORK (Continued)

Also, on this date, GTA performed 3rd party footing observations prior to concrete placement for the above referenced residential home and detached garage.

Based on GTA visual observations on this date, the footings (size, dimensions, general locations) at the referenced lot appear to have been prepared in general accordance with the approved project drawings, with the exception of reinforcing steel dowels for wall construction. GTA was informed by the on-site contractor that they plan to wet-set the reinforcing steel dowels during concrete placement. GTA observed the reinforcing steel staged on-site to confirm grade/size was in accordance with the project drawings. The footing excavations on this date were observed to be free of loose soil, debris, and water.

Based on the result of GTA visual observations and testing performed on this date, the soil bearing conditions and foundation preparations observed, appear to be in general accordance with the 2018 North Carolina Residential Code, and the approved project drawings.

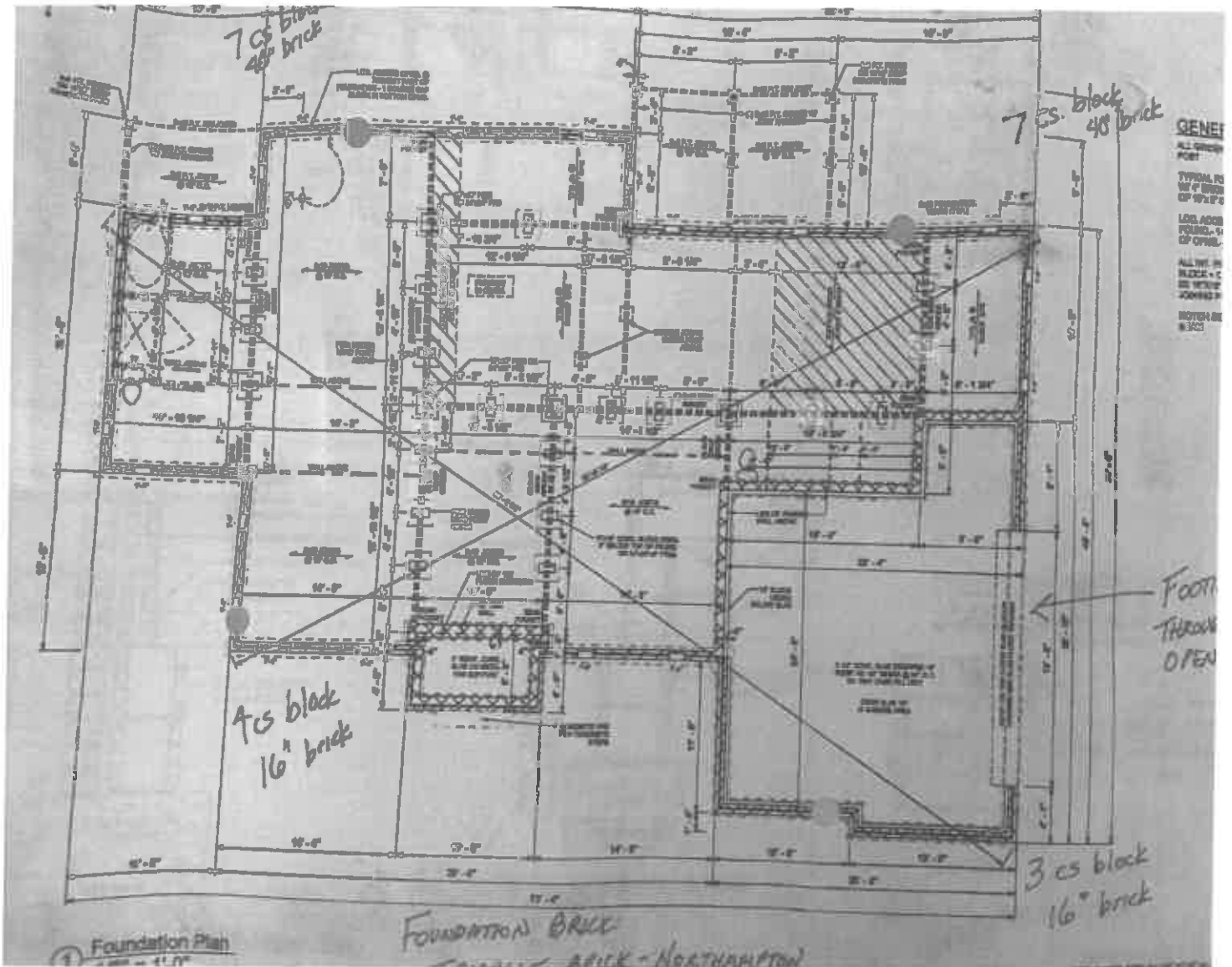
Please see the attached site photos for site conditions observed by GTA on this date



SKETCH

Project No. 201253x012
 Project Name: 10425 McDougald Rd - Broadway NC

Date: 6 / 1 / 2021
 Sketch No. 1



● - DCP test locations

- Undercut where organics was pulled from



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Photo Page No. 1



Site conditions observed on this date



Site conditions observed on this date