

SHEET LIST - CONSTRUCTION

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FRONT ELEVATION
E-2	REAR ELEVATION
E-3	LEFT & RIGHT ELEVATION
E-4	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR
H-1	F.F. ELEC & HVAC
H-2	S.F. ELEC & HVAC
S-1	DETAILS & SECTIONS
S-2	DETAILS & SECTIONS



FRONT PERSPECTIVE



REAR PERSPECTIVE

GENERAL NOTES

MIN. 8'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 MIN. 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR

ALL FIRST FLOOR WALLS, ALL LOAD BEARING WALLS & EXT. OPNGS TO HAVE (2) 2x10 HEADERS UNLESS OTHERWISE NOTED

STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED

7/16" O.S.B. AND HOUSEWRAP REQUIRED

DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSION FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION

ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED A MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED

NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE

ALL SHELVING TO 12" DEEP U.N.O. HEIGHT OFF FLOOR: SINGLE-65" DOUBLE-42" & 84"

ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION

ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM

Revision Schedule	Revision Number	Revision Description	Revision Date

AREAS:	2,172 SF	1,434 SF	3,655 SF	625 SF	71 SF	698 SF	4,252 SF	68 SF	168 SF	218 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
	10425 MCDUGALD ROAD BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	TR

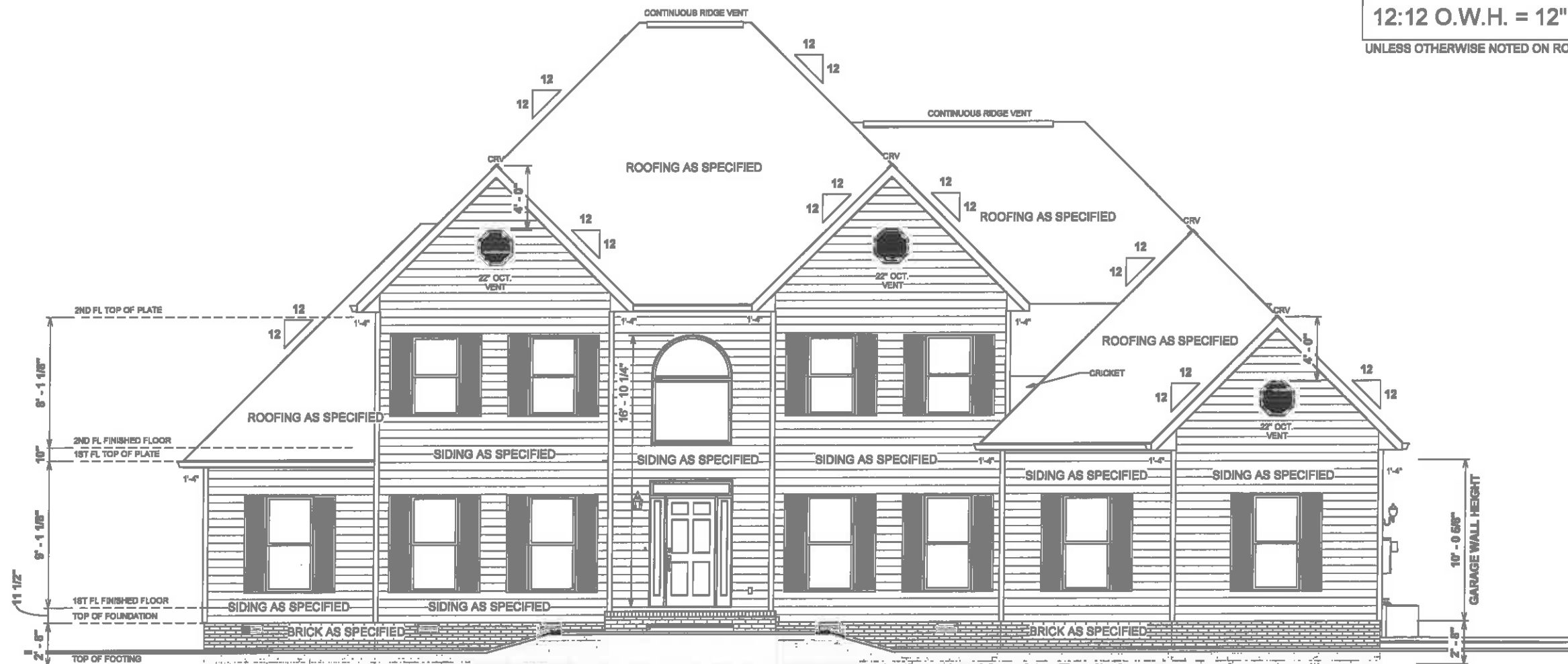
JOB#	141-21-001
2x4 EXTERIOR WALLS	FOUNDATION TYPE: CRAWL SPACE

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SHEET NUMBER:	C-0
COVER SHEET	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



FRONT ELEVATION

- GENERAL NOTES:**
- MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
 - FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
 - NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH


12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

Revision Number	Revision Description	Revision Date

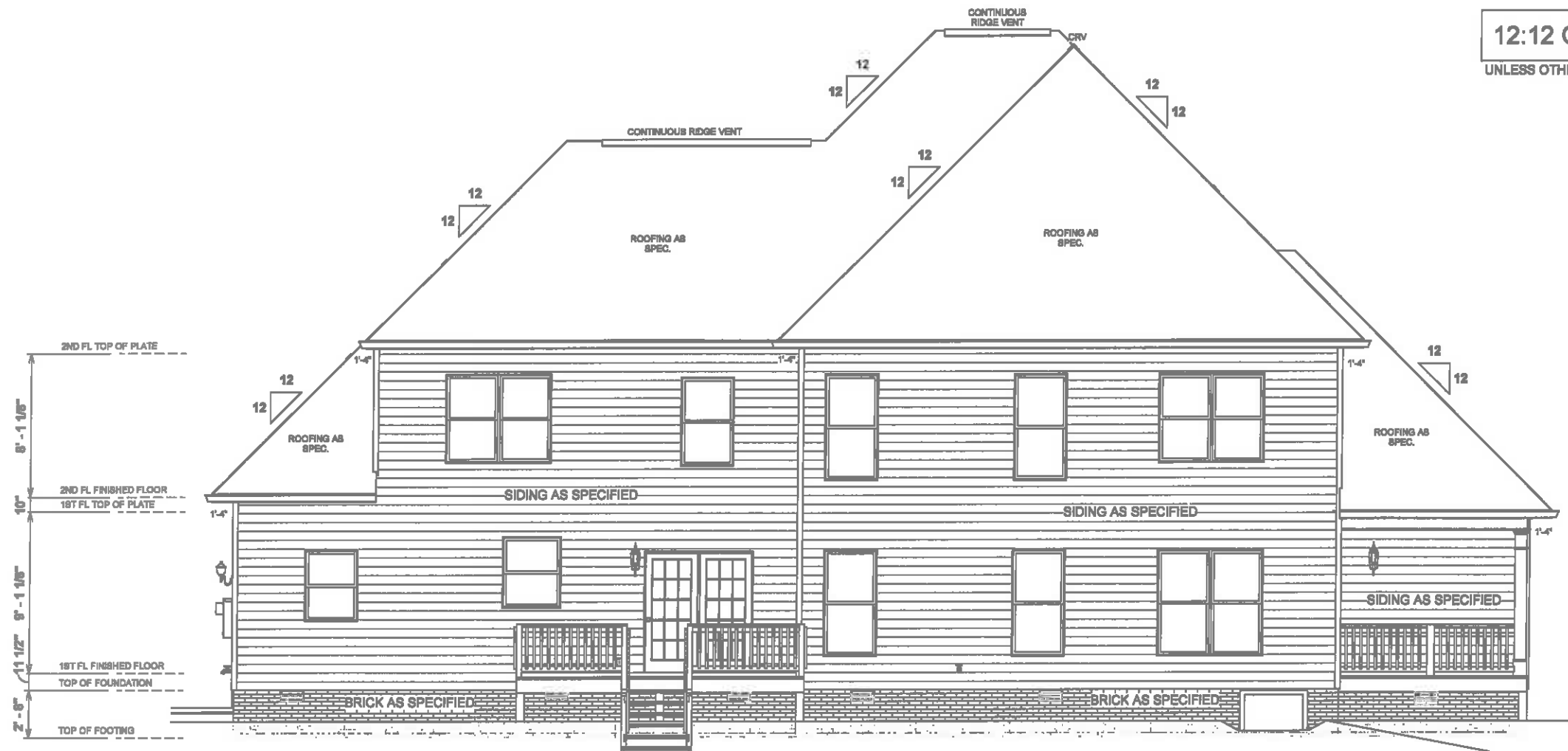
AREAS:	2,122 SF	1,434 SF	3,555 SF	825 SF	71 SF	688 SF	4,282 SF	68 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE: **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE: **CRAWL SPACE**
DRAWN BY: **MM**
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SHEET NUMBER: **E-1**
FRONT ELEVATION

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



1 REAR ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- MINIMUM 8'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE;
- FOUNDATION DRAWN AS REPRESENTATION ONLY
- NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

12:12 O.W.H. = 12" MIN.

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

Revision Number	Revision Description	Revision Date

AREAS:	2122 SF	1434 SF	3456 SF	628 SF	71 SF	686 SF	4282 SF	69 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
10425 MCDUGALD ROAD BROADWAY, NC 27505	
OFFICE:	FAYETTEVILLE
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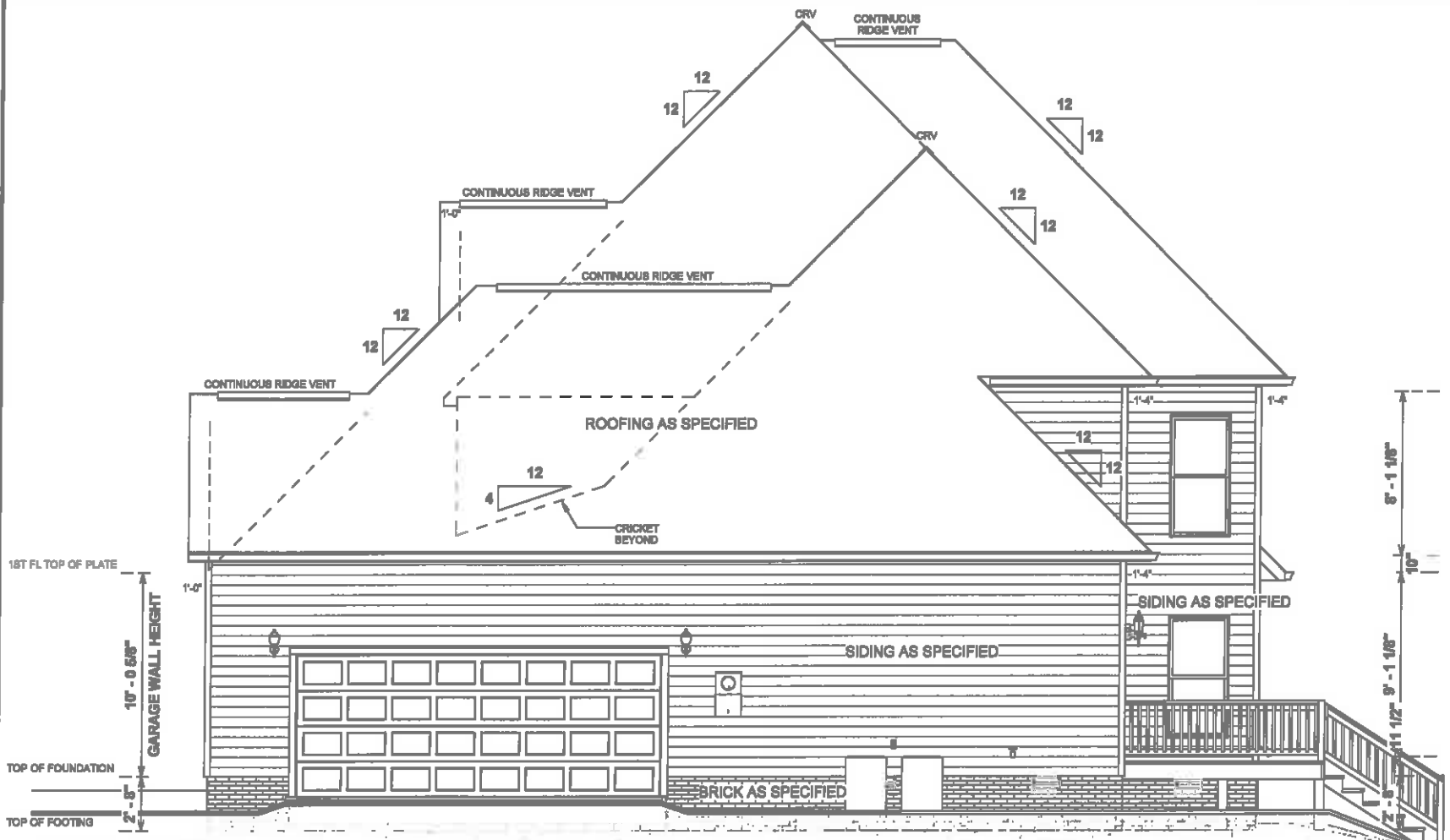
JOB#	141-21-001
2x4 EXTERIOR WALLS	
FOUNDATION TYPE:	CRAWL SPACE
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SHEET NUMBER:	E-2
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REAR ELEVATION	

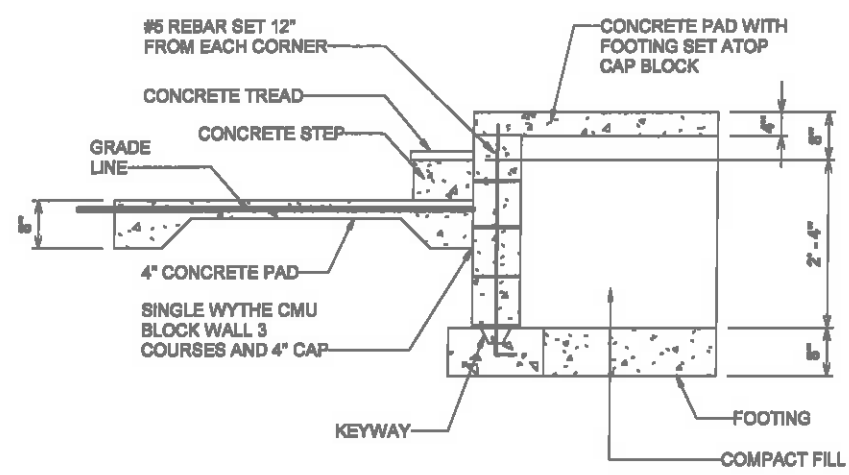
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PAPER SIZE 11" x 17" SCALE: 1/8" = 1'-0"



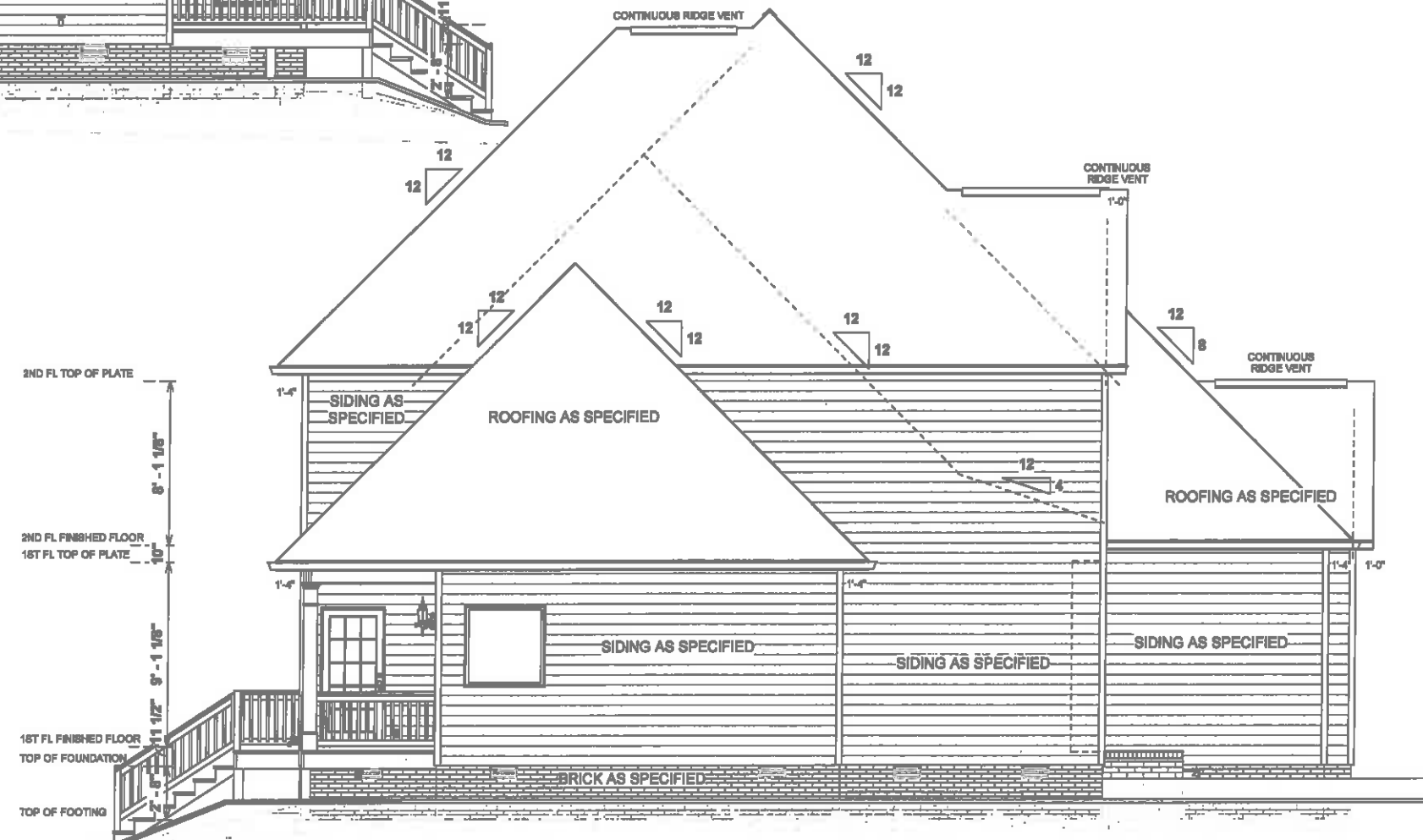
RIGHT ELEVATION



FRONT PORCH DETAIL
SCALE 3/8" = 1'-0"

- GENERAL NOTES:**
- MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
 - FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
 - NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



LEFT ELEVATION

Revision Number	Revision Description	Revision Date

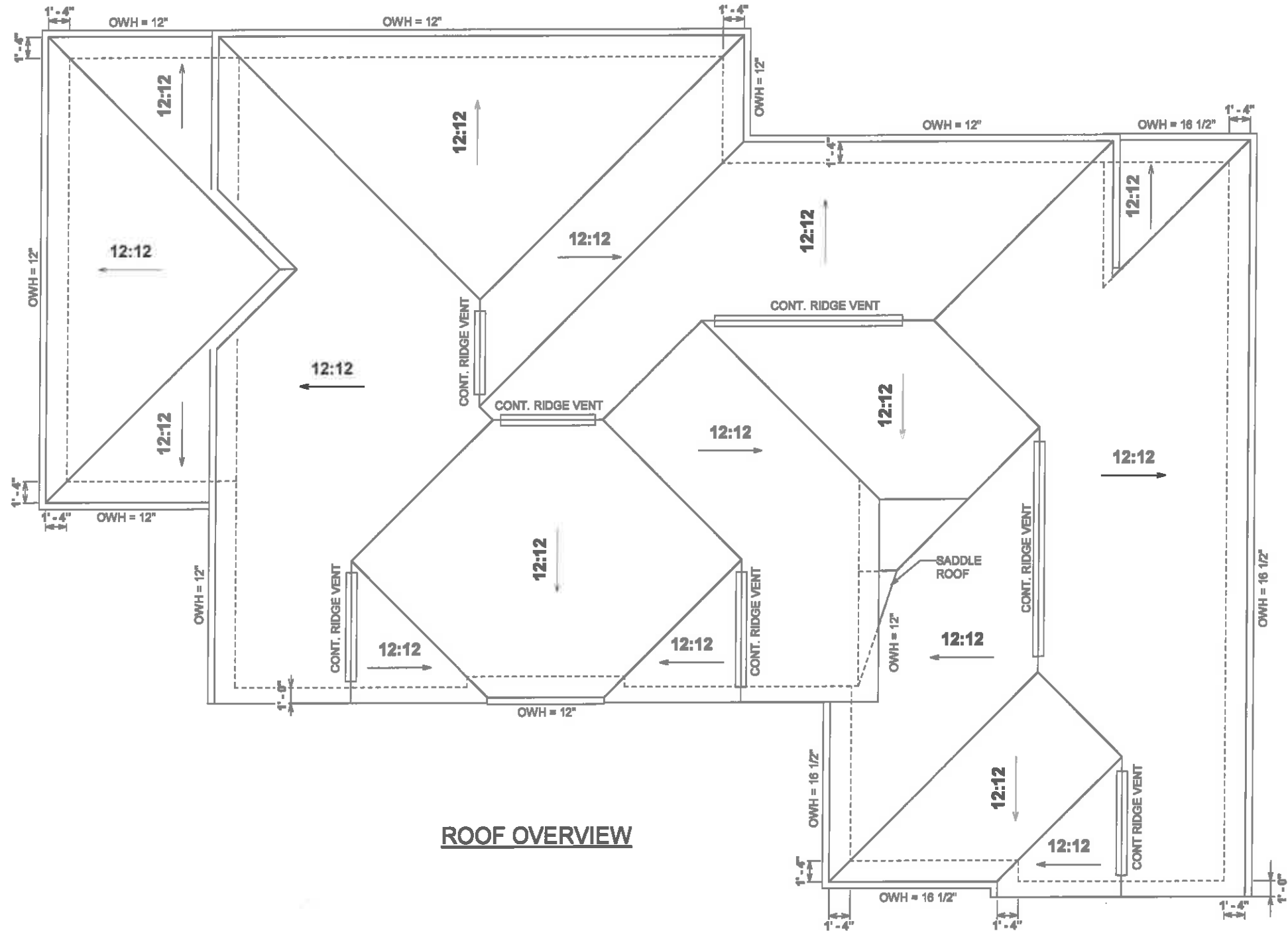
AREAS:	2,122 SF	1,434 SF	925 SF	71 SF	886 SF	4,262 SF	69 SF	160 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE: **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDOUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
FOUNDATION TYPE: **CRAWL SPACE**
2x4 EXTERIOR WALLS

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SHEET NUMBER: **E-3**
LEFT & RIGHT ELEVATION

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

ROOF OVERVIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS


Revision Number	Revision Description	Revision Schedule

AREAS:	2,122 SF
FIRST FLOOR HEATED	1,434 SF
SECOND FLOOR HEATED	3,655 SF
GARAGE	635 SF
SIDE PORCH	71 SF
TOTAL UNDER ROOF	666 SF
FRONT STOOP	4,262 SF
REAR DECK	69 SF
TOTAL UNCOVERED	160 SF
	219 SF

THE: **SOUTHAMPTON 'A'**
 FOR: **ANDREW BUJE**
 10425 MCDUGALD ROAD
 BROADWAY, NC 27505
 OFFICE: FAYETTEVILLE
 SOLD BY: TR

JOB: **141-21-001**
 2x4 EXTERIOR WALLS
 FOUNDATION TYPE: CRAWL SPACE

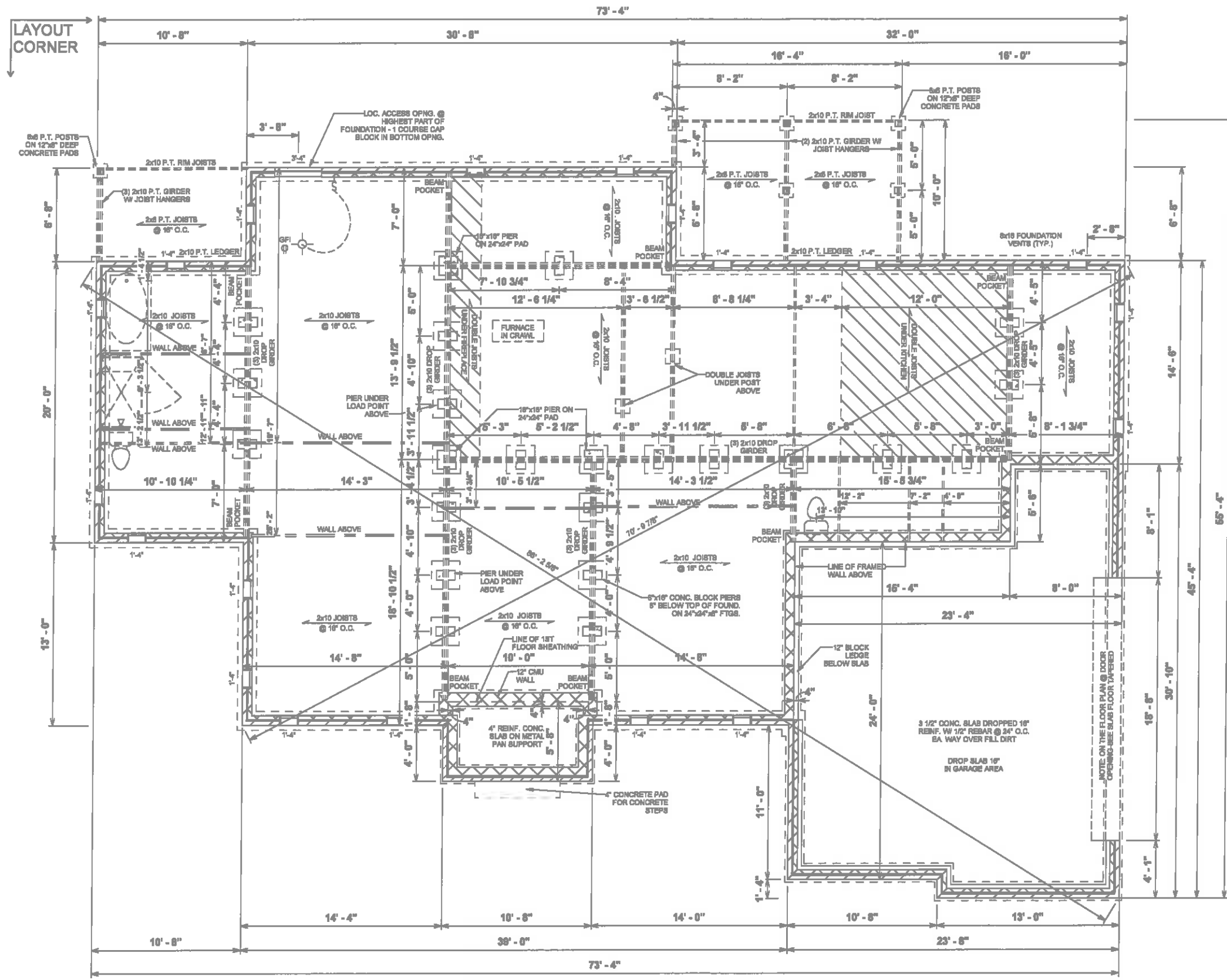
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SHEET NUMBER: **E-4**

ROOF OVERVIEW



GENERAL NOTES

ALL GIRDER BREAKS MUST BE ON PIER OR POST

TYPICAL FOUNDATION WALL: (2) 4" BLOCKS W/ 4" BRICK ON (2) 5" BASE BLOCKS ON TOP OF 16"x8" DEEP POURED CONC. FOOTING

LOC. ACCESS OPNG. @ HIGHEST PART OF FOUND.- 1 COURSE CAP BLOCK IN BOTTOM OF OPNG.

ALL INT. PIERS TO BE 16"x16" WHEN OVER 4 BLOCK + CAP HIGH SPECIAL INT. PIERS TO BE 16"x16" ON 24"x24" PAD WHEN UNDER JOINING PERPENDICULAR GIRDERS

NOTCH SILL PLATES AROUND DROPPED BEAM

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	3,556 SF	625 SF	71 SF	666 SF	4,252 SF	59 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE: **SOUTHAMPTON 'A'**

FOR: **ANDREW BUJE**

10425 MCDUGALD ROAD
BROADWAY, NC 27505

OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**

2x4 EXTERIOR WALLS

FOUNDATION TYPE: **CRAWL SPACE**

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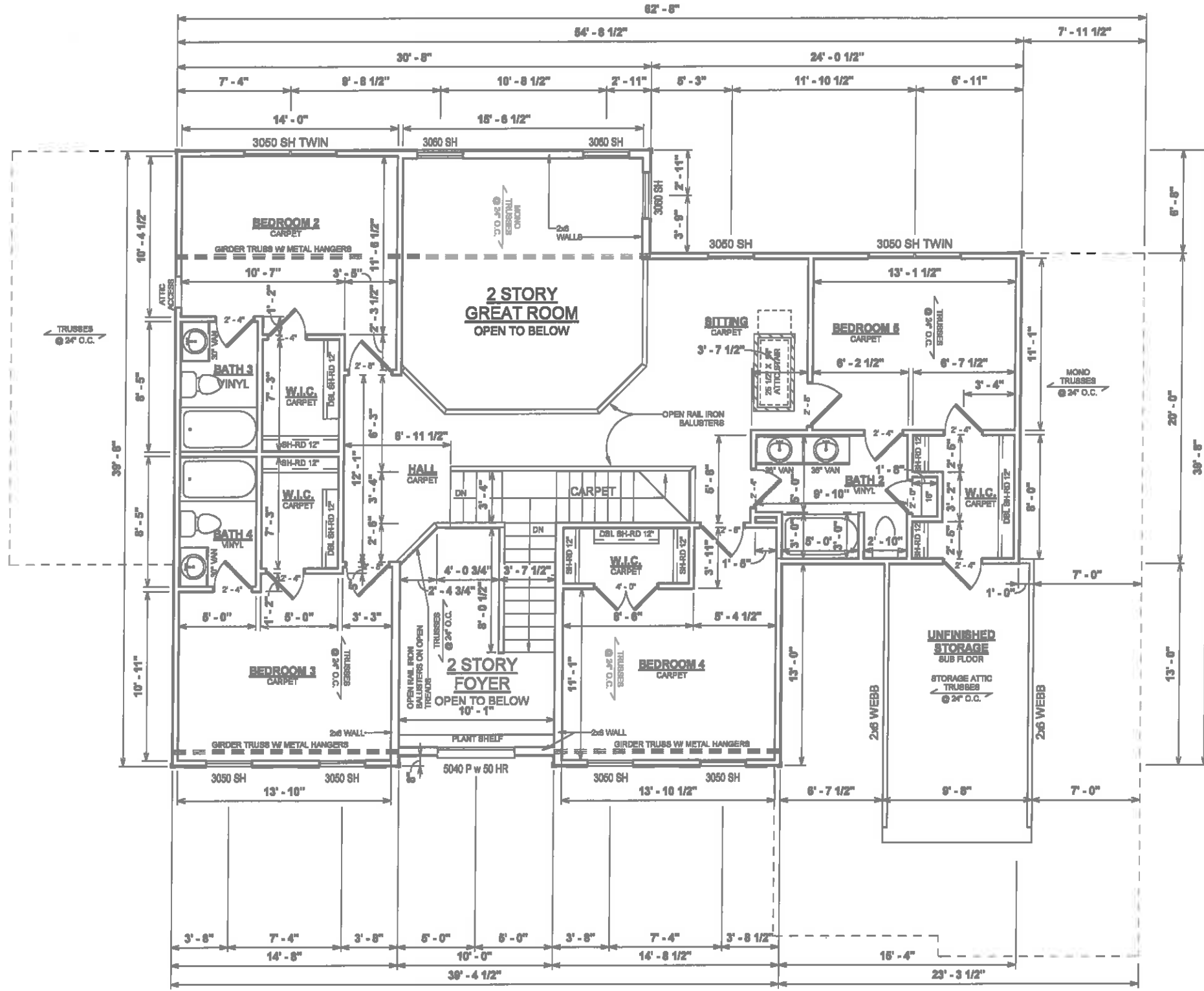
SHEET NUMBER: **F-1**

FOUNDATION PLAN

1 Foundation Plan
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" or 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS



1 SECOND FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

MIN. 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
MIN. 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR

ALL FIRST FLOOR WALLS, ALL LOAD BEARING WALLS & EXT. OPNGS TO HAVE (2) 2x10 HEADERS UNLESS OTHERWISE NOTED

STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED

7/16" O.S.B. AND HOUSEWRAP REQUIRED

DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSION FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION

ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED A MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED

NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE

ALL SHELVING TO 12" DEEP U.N.O. HEIGHT OFF FLOOR: SINGLE-65" DOUBLE-42" & 64"

ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION

ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM

Revision Number	Revision Description	Revision Schedule

AREAS:	2,122 SF	1,424 SF	3,455 SF	625 SF	71 SF	665 SF	4,252 SF	69 SF	180 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
OFFICE:	FAYETTEVILLE
SOLD BY:	TR
ADDRESS:	10425 MCDUGALD ROAD BROADWAY, NC 27505

JOB:	141-21-001
FOUNDATION TYPE:	CRAWL SPACE
EXTERIOR WALLS:	2x4 EXTERIOR WALLS

PROPERTY OF:

SHEET NUMBER: **F-3**

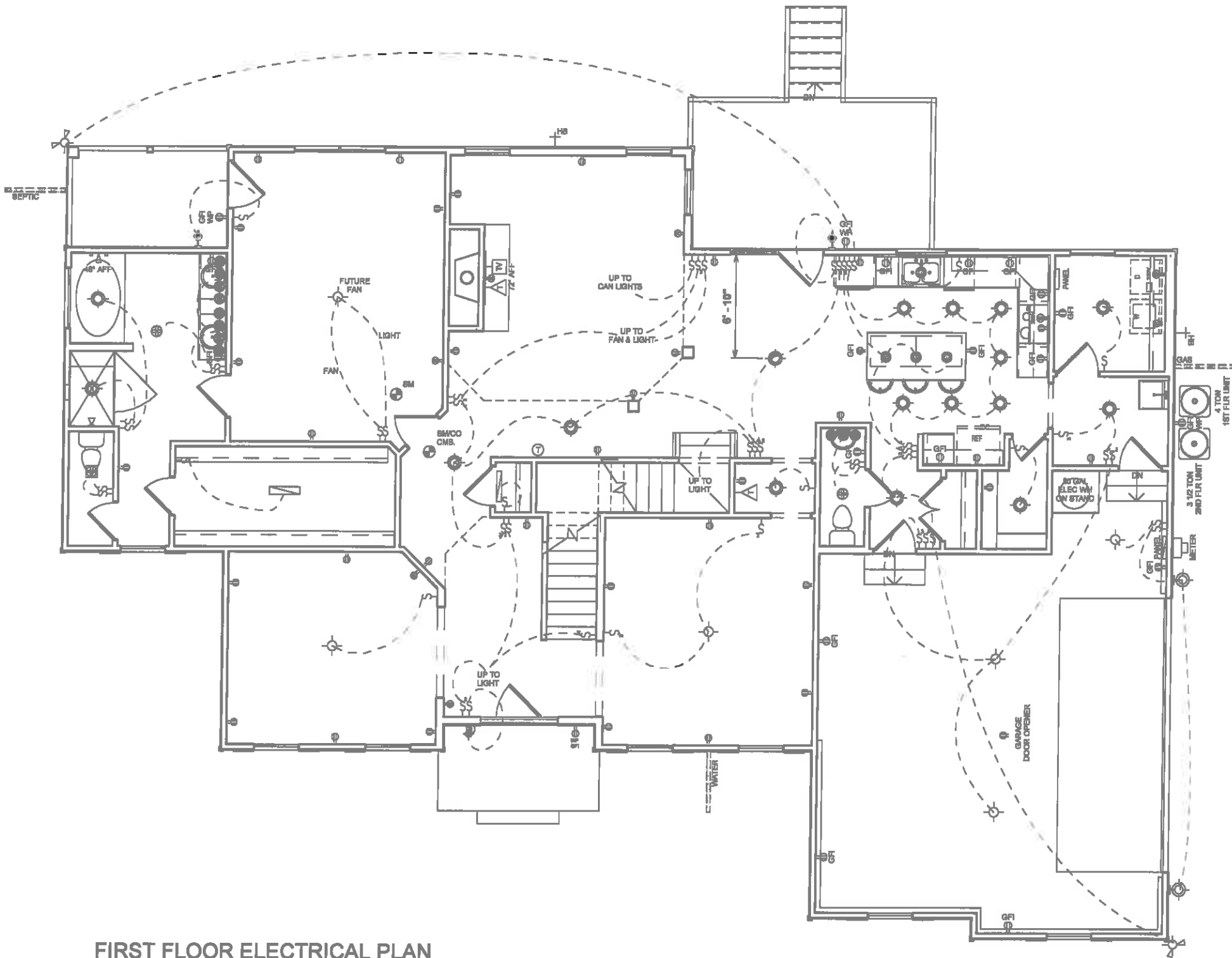
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SECOND FLOOR

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluorescent	
Light - Fluorescent - Wall Mt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext	
Outlet - Single 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	



FIRST FLOOR ELECTRICAL PLAN

- HVAC NOTES:**
- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE THE SUPPLY VENTS OR LINES
 - RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT AND CENTERLAY LOCATED AS POSSIBLE.
 - OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE.
 - OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MINIMUM FROM DRYER VENT.

- ELECTRICAL NOTES:**
- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER . ART. 210-12 (b) 1999 NEC
 - CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1&2 FAMILY DWELLINGS AS REQUIRED BY CODE.
 - OUTLET LOCATIONS ARE REPRESENTATION ONLY.
 - ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	3,595 SF	71 SF	696 SF	4,282 SF	59 SF	180 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE: **SOUTHAMPTON 'A'**

FOR: **ANDREW BUIE**

10425 MCDUGALD ROAD
BROADWAY, NC 27505

OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB#: **141-21-001**

FOUNDATION TYPE: **CRAWL SPACE**

2x4 EXTERIOR WALLS

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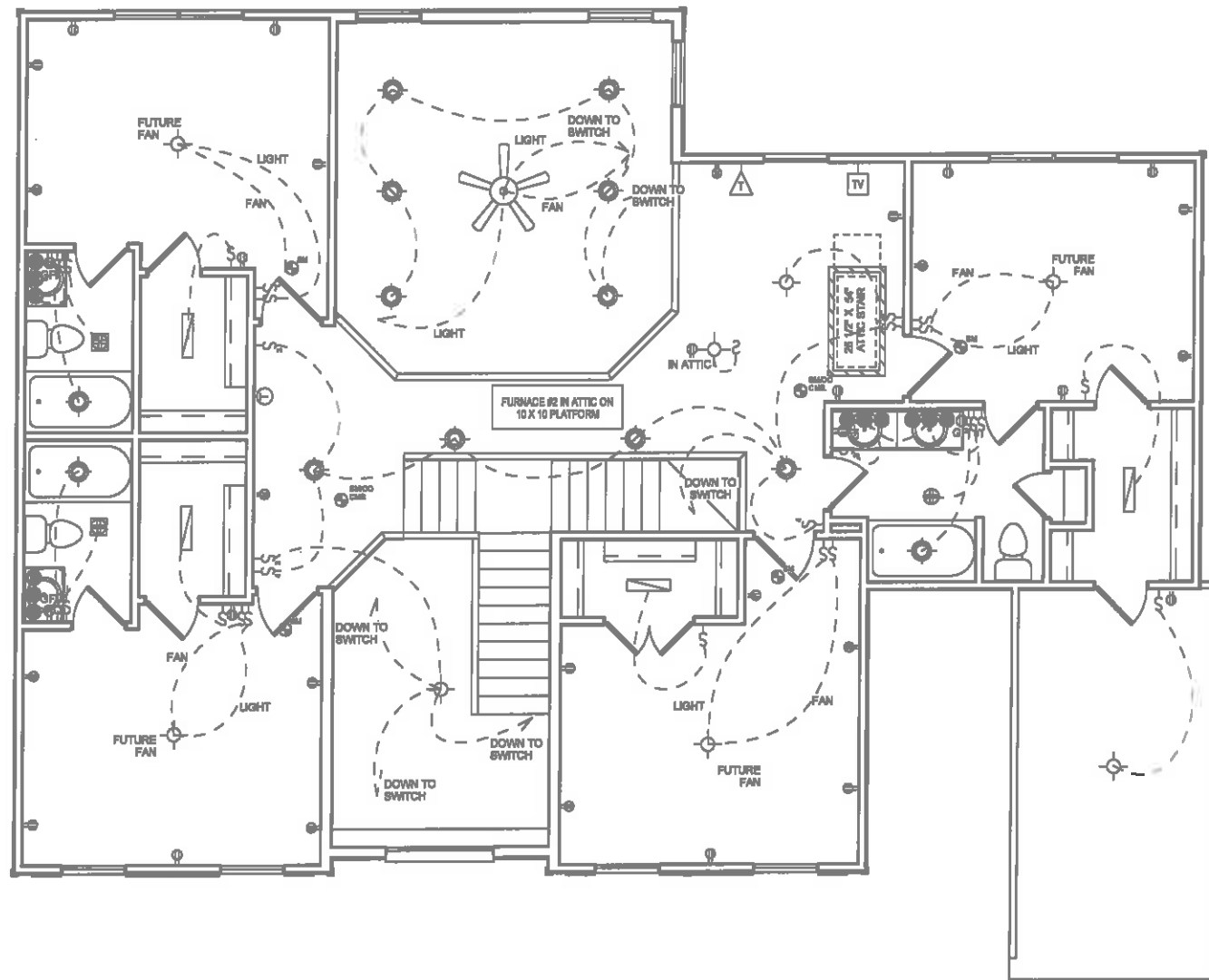
SHEET NUMBER: **H-1**

F.F. ELEC & HVAC

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENL. LARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluorescent	
Light - Fluorescent - Wall Mnt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Bngl 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	



SECOND FLOOR - ELECTRICAL PLAN

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE THE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT AND CENTERLAY LOCATED AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MINIMUM FROM DRYER VENT.

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER . ART. 210-12 (b) NC 2017 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1&2 FAMILY DWELLINGS AS REQUIRED BY CODE.
- OUTLET LOCATIONS ARE REPRESENTATION ONLY.
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

Revision Number	Revision Description	Revision in Date

AREAS:	2122 SF	1434 SF	3,655 SF	625 SF	71 SF	688 SF	4,282 SF	59 SF	169 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOFF										
REAR DECK										
TOTAL UNCOVERED										

THE: **SOUTHAMPTON 'A'**
FOR: **ANDREW BUIE**
10425 MCDOUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
CHECKED BY: CHK
PRINT DATE: 3/12/2021 10:57:19 AM

PROPERTY OF:

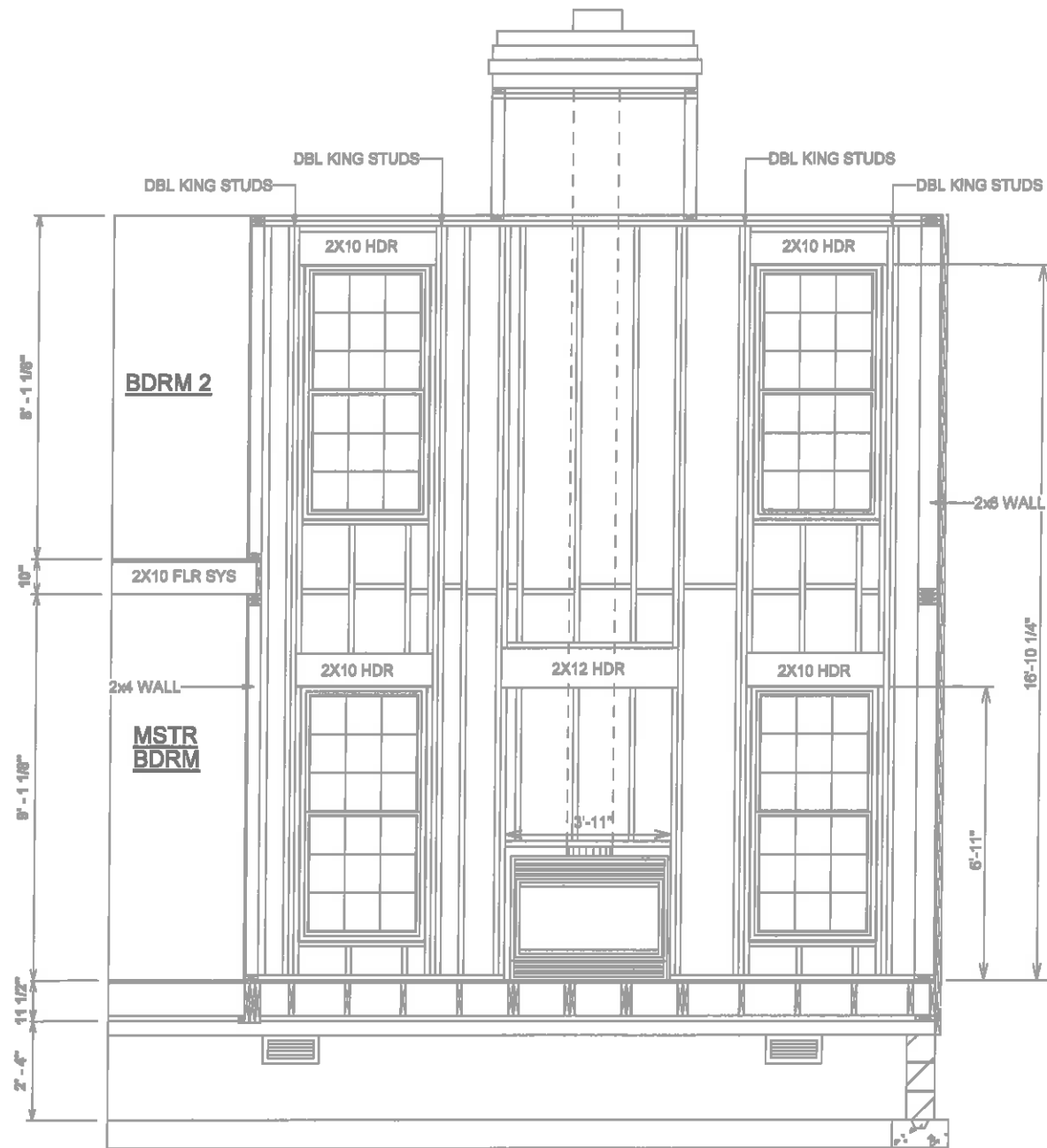
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SHEET NUMBER: **H-2**

S.F. ELEC & HVAC

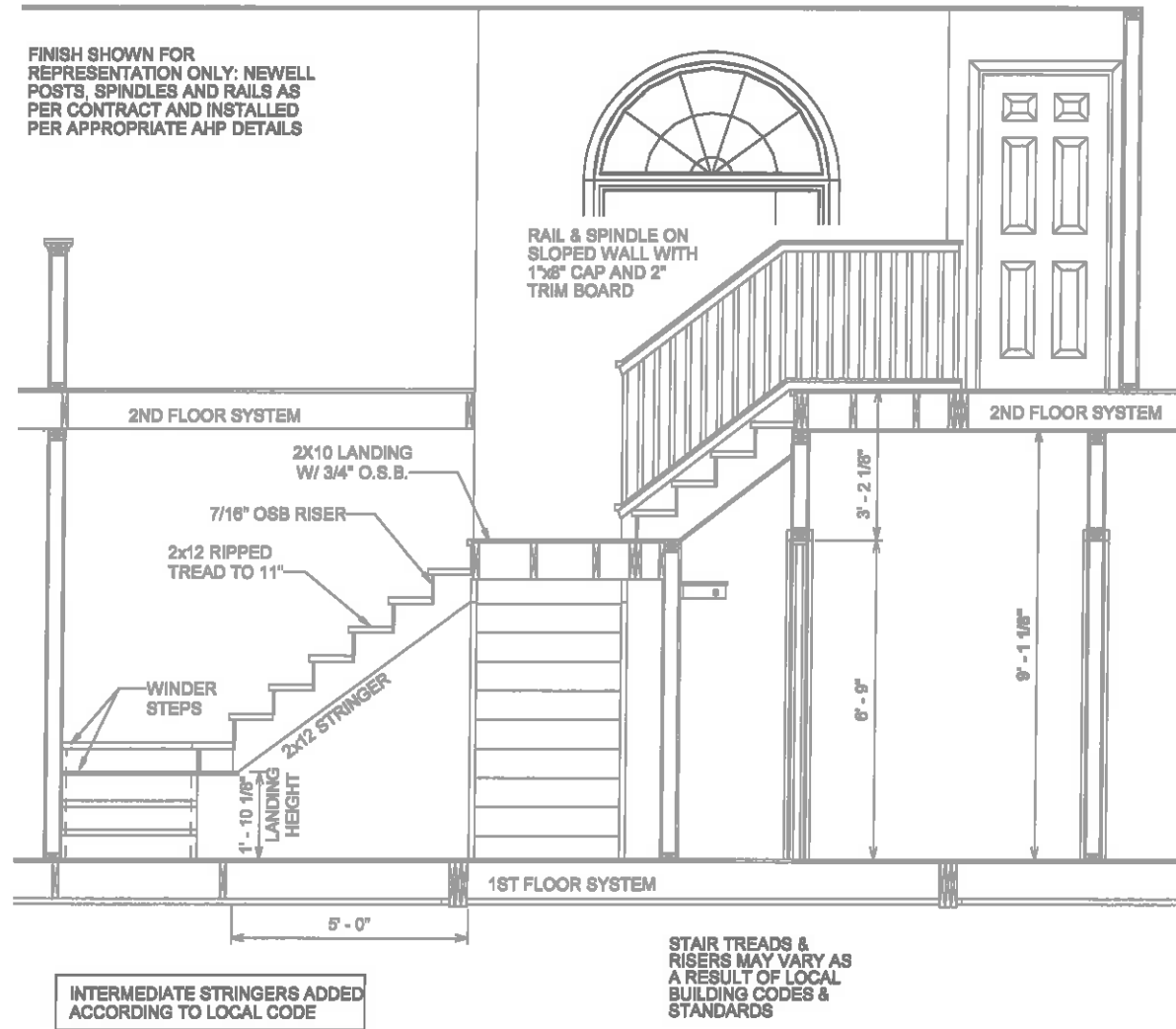
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" SCALE: 1/8" = 1'-0"



2x6 WALL W/FIREPLACE-1
 FINAL LOCATION AND HEIGHT OF CRIPPLE WALL AND 2X12 HEADER ABOVE FIREPLACE TBD ON SITE AND WILL BE REPRESENTATIVE OF FIREPLACE HEIGHT AND STYLE

SECTION AT GREAT ROOM WALL



STAIR SECTION

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	628 SF	71 SF	699 SF	4,262 SF	59 SF	169 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE **SOUTHAMPTON 'A'**
 FOR: **ANDREW BUIE**
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2x4 EXTERIOR WALLS
 FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
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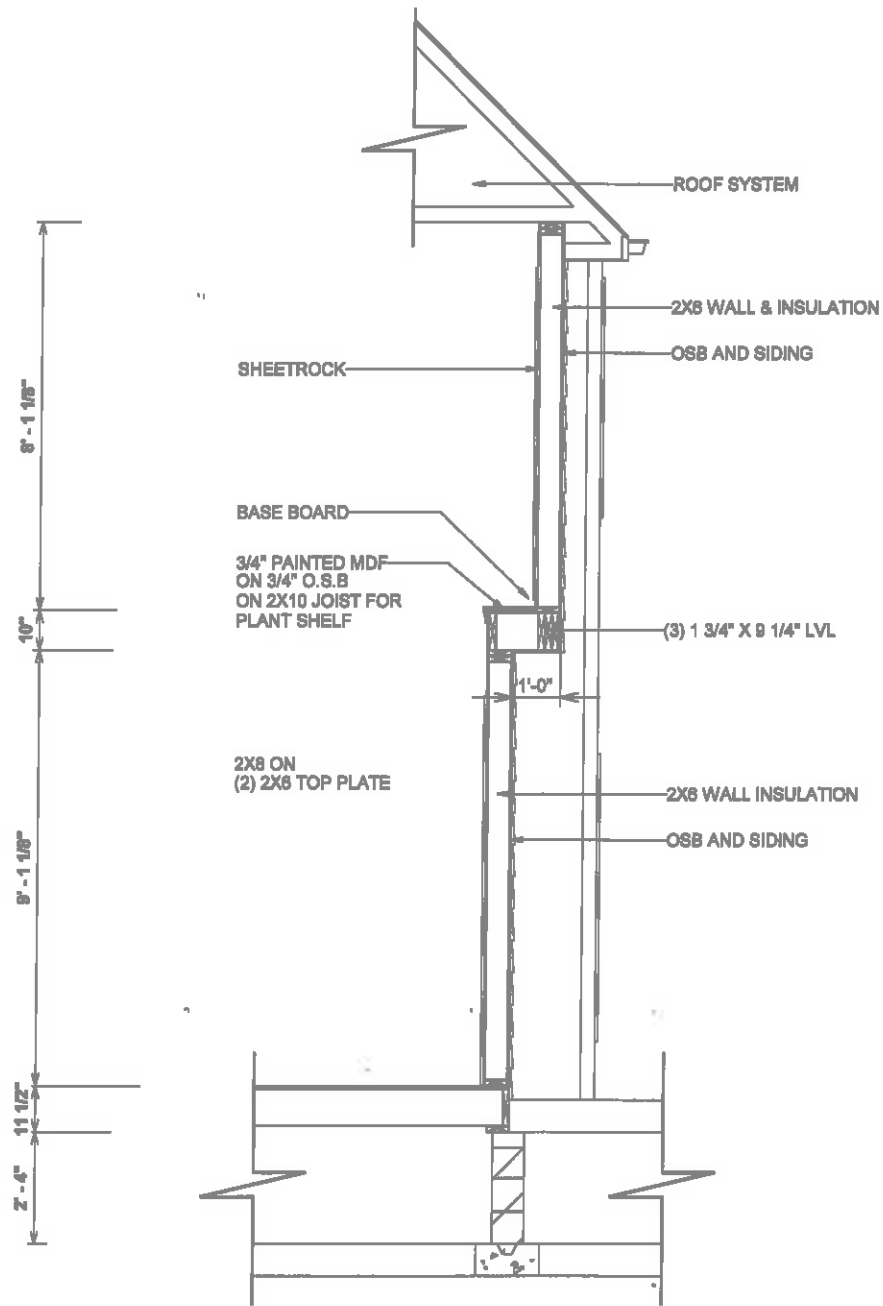


SHEET NUMBER: **S-1**
DETAILS & SECTIONS

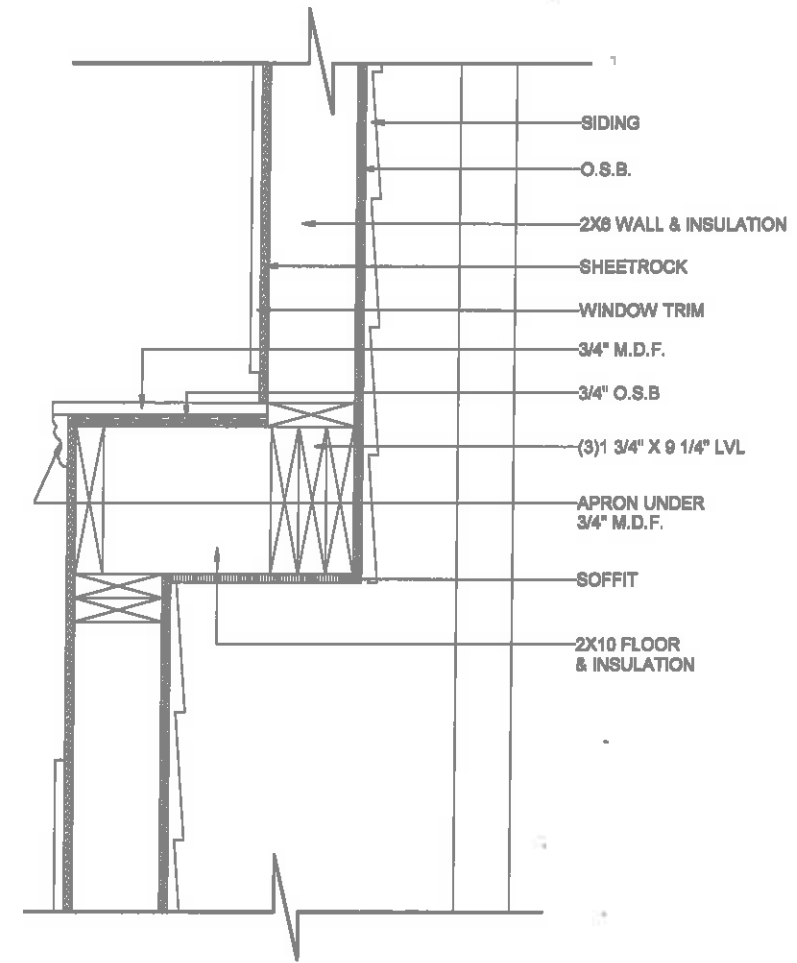
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



FOYER
SCALE 1/4" = 1'-0"



FRONT PORCH ALCOVE
SCALE 1/4" = 1'-0"



FRONT PORCH ALCOVE - DETAIL
SCALE N.T.S.

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	826 SF	71 SF	696 SF	4,262 SF	69 SF	160 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STUOP									
REAR DECK									
TOTAL UNCOVERED									

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JOB# **141-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
 CHECKED BY: CHK
 PRINT DATE: 3/12/2021 10:57:20 AM

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SHEET NUMBER: **S-2**
 DETAILS & SECTIONS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

