

SHEET LIST - CONSTRUCTION

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
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E-2	REAR ELEVATION
E-3	LEFT & RIGHT ELEVATION
E-4	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR
H-1	F.F. ELEC & HVAC
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S-1	DETAILS & SECTIONS
S-2	DETAILS & SECTIONS



FRONT PERSPECTIVE



REAR PERSPECTIVE

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited liability only review
Parent holder responsible for full compliance with the code

04/30/2021

GENERAL NOTES

MIN. 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
MIN. 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR

ALL FIRST FLOOR WALLS, ALL LOAD BEARING WALLS & EXT. OPNGS TO HAVE (2) 2x10 HEADERS UNLESS OTHERWISE NOTED

STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED

7/16" O.S.B. AND HOUSEWRAP REQUIRED

DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSION FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION

ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED A MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED

NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE

ALL SHELVING TO 12" DEEP U.N.O. HEIGHT OFF FLOOR: SINGLE-65" DOUBLE-42" & 84"

ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION

ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM

Revision Number	Revision Description	Revision Date

AREAS:	2,172 SF	1,434 SF	3,655 SF	625 SF	71 SF	698 SF	4,252 SF	68 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
OFFICE:	10425 MCDUGALD ROAD BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	TR

JOB#	141-21-001
2x4 EXTERIOR WALLS	FOUNDATION TYPE: CRAWL SPACE

DRAWN BY:	MM
CHECKED BY:	CHK
PRINT DATE:	3/12/2021 10:57:13 AM

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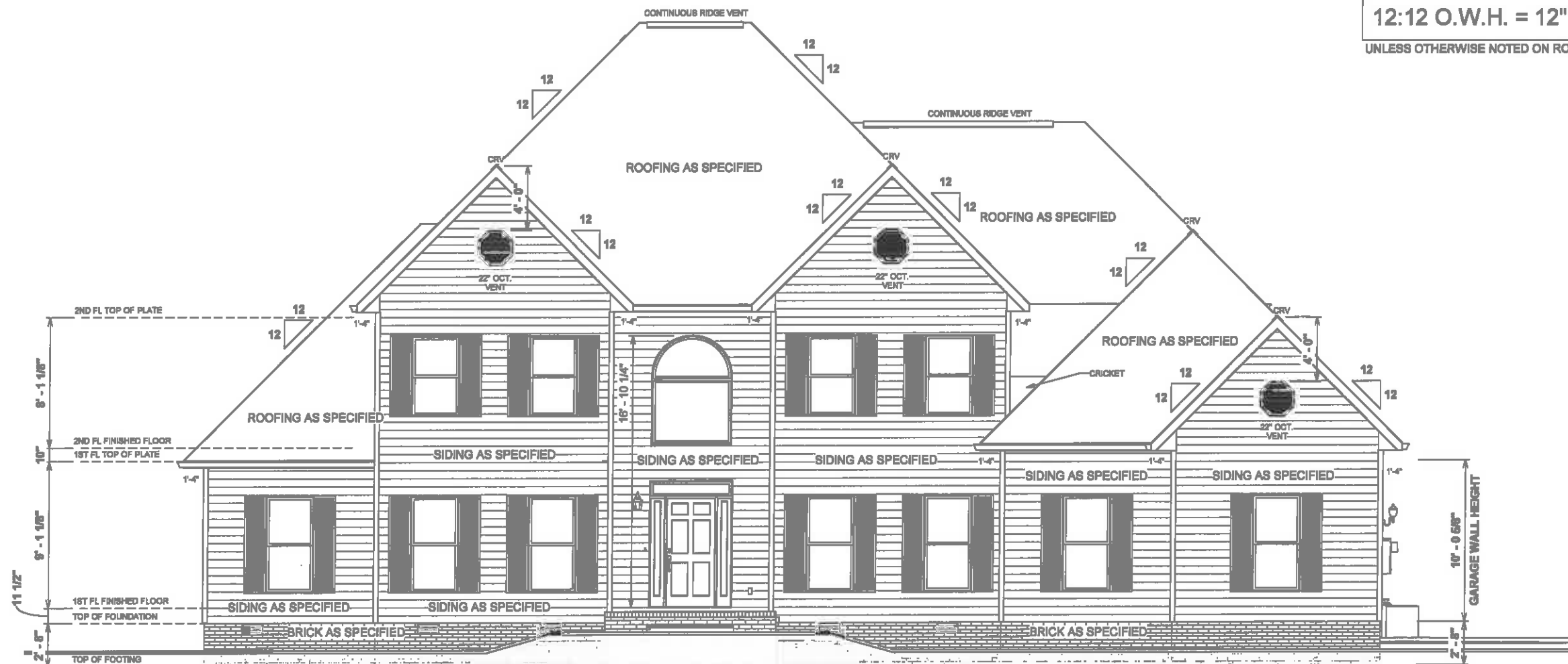
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SHEET NUMBER:	C-0
COVER SHEET	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24" x 36" PAPER SIZE ENLARGE PRINTS TO 300%

FINAL CONSTRUCTION PLANS

PAPER SIZE 11" x 17" SCALE 1/8" = 1'-0"



FRONT ELEVATION

- GENERAL NOTES:**
- MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
 - FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
 - NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH


12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

Revision Number	Revision Description	Revision Date

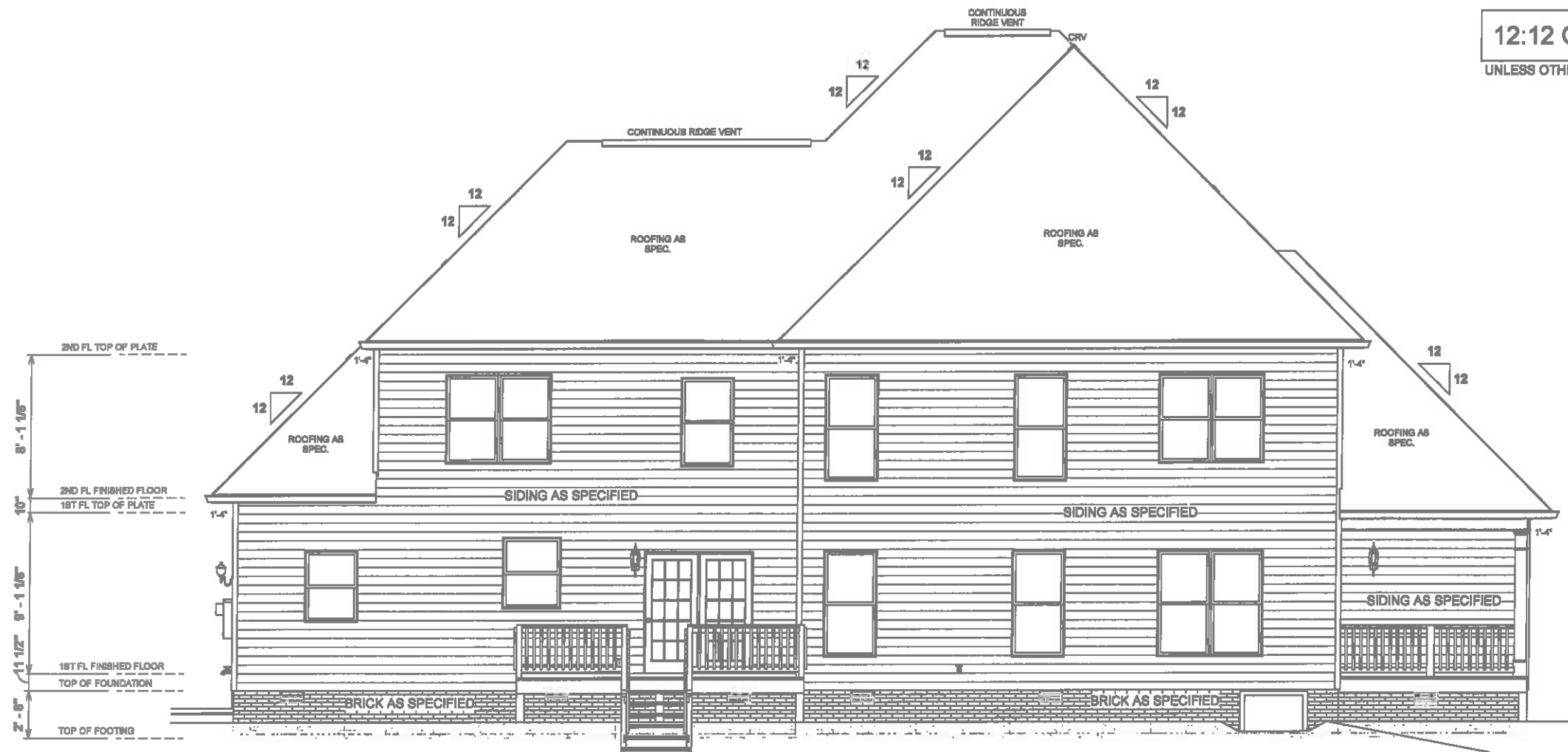
AREAS:	2,122 SF	1,434 SF	3,555 SF	825 SF	71 SF	688 SF	4,282 SF	68 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE: **CRAWL SPACE**
DRAWN BY: **MM**
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PRINT DATE: **3/12/2021 10:57:14 AM**

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SHEET NUMBER: **E-1**
FRONT ELEVATION

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



1 REAR ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- MINIMUM 8'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
- ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE;
- FOUNDATION DRAWN AS REPRESENTATION ONLY
- NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW

Revision Number	Revision Description	Revision Date

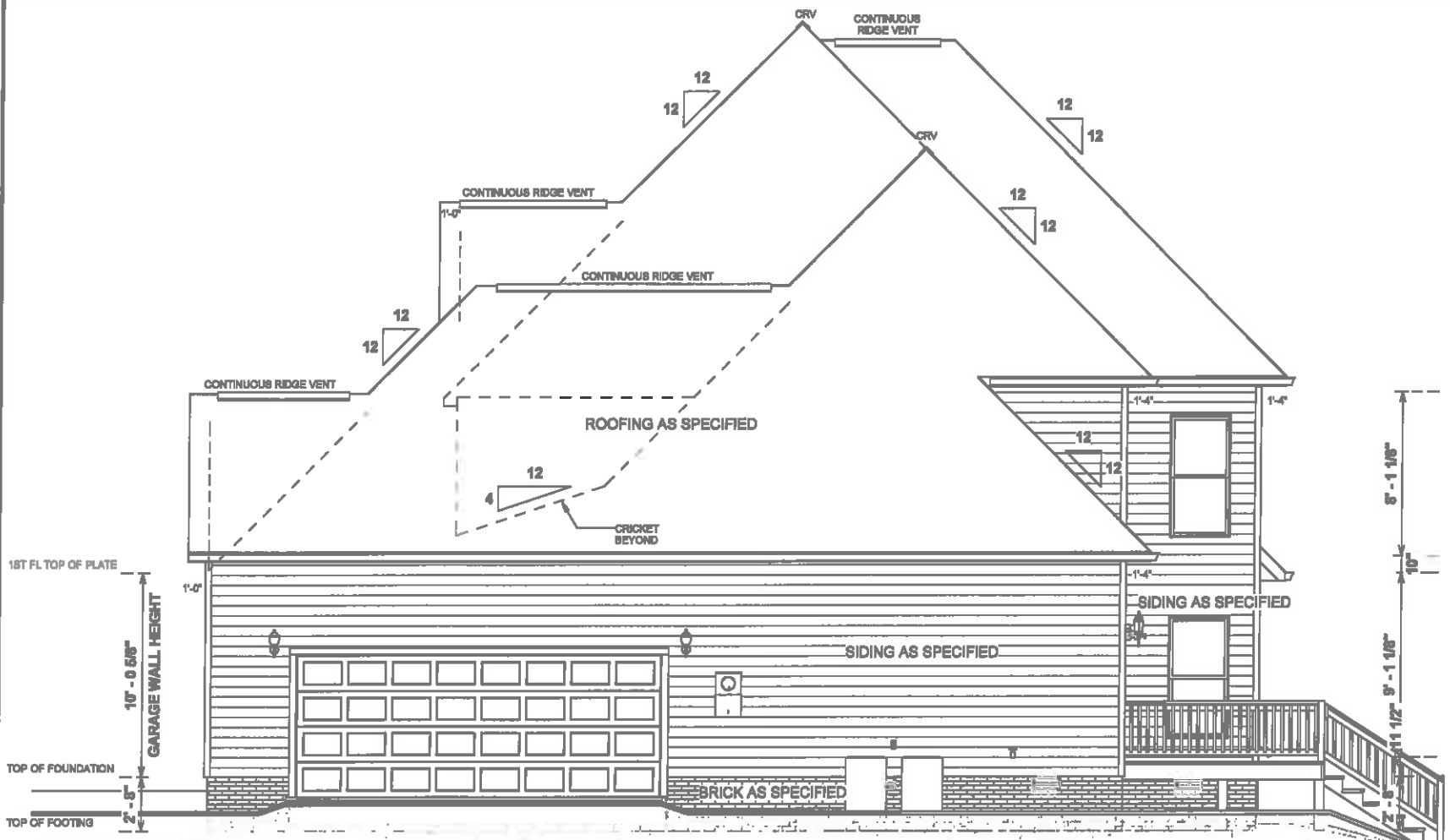
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FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE: SOUTHAMPTON 'A'
FOR: ANDREW BUJE
10425 MCDUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

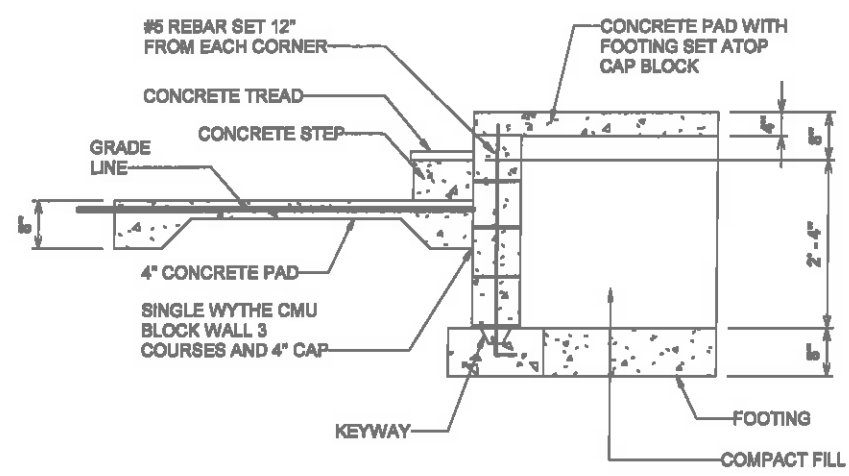
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2x4 EXTERIOR WALLS
FOUNDATION TYPE: CRAWL SPACE
DRAWN BY: MM
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SHEET NUMBER: E-2
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REAR ELEVATION

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



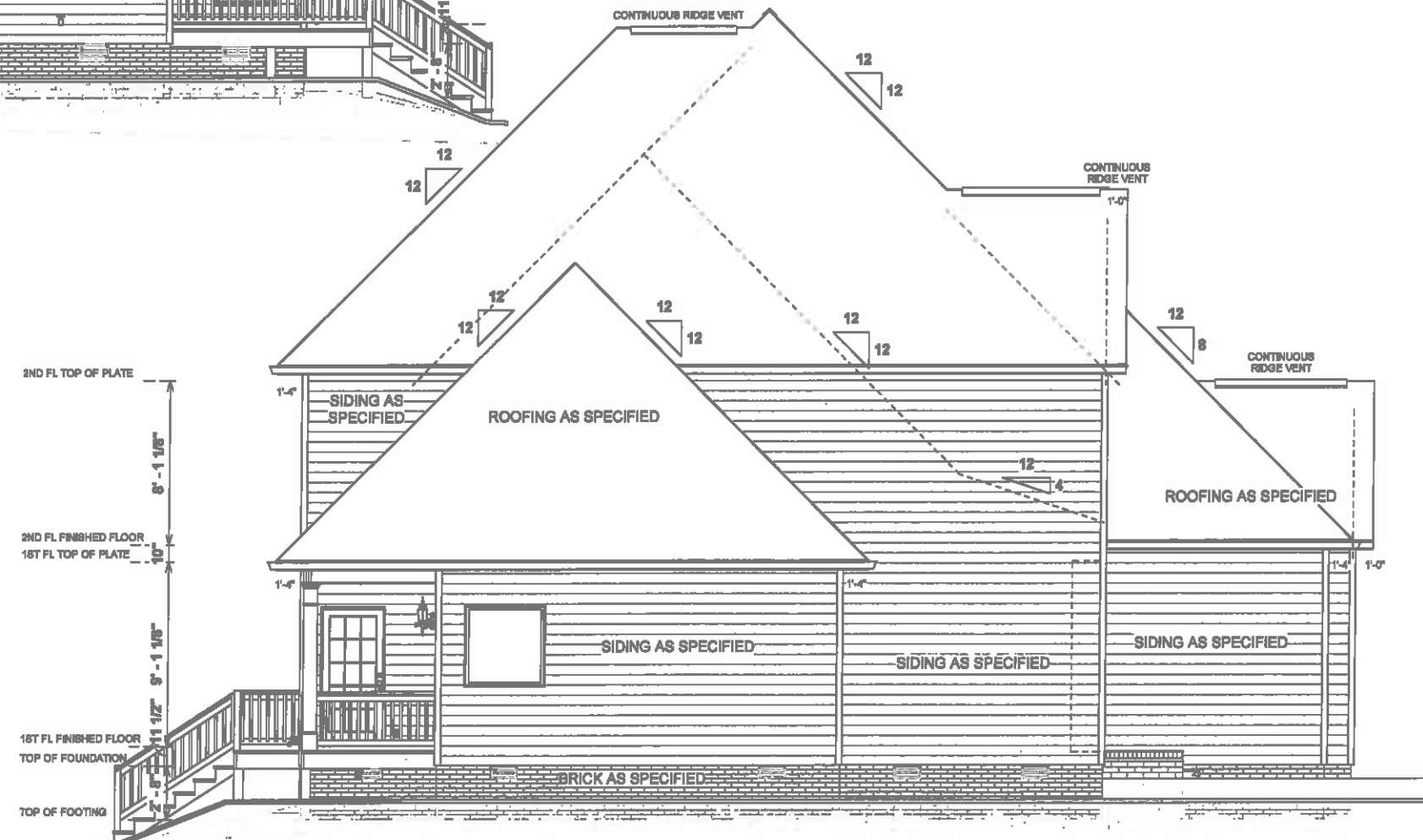
RIGHT ELEVATION



FRONT PORCH DETAIL
SCALE 3/8" = 1'-0"

- GENERAL NOTES:**
- MINIMUM 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - MINIMUM 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR
 - ROOF OVERHANGS AS NOTED, ARE FROM WALL SHEATHING TO OUT SIDE OF FASCIA
 - FINAL GRADE TO BE DETERMINED ON SITE; FOUNDATION DRAWN AS REPRESENTATION ONLY
 - NOTE: RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



LEFT ELEVATION

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

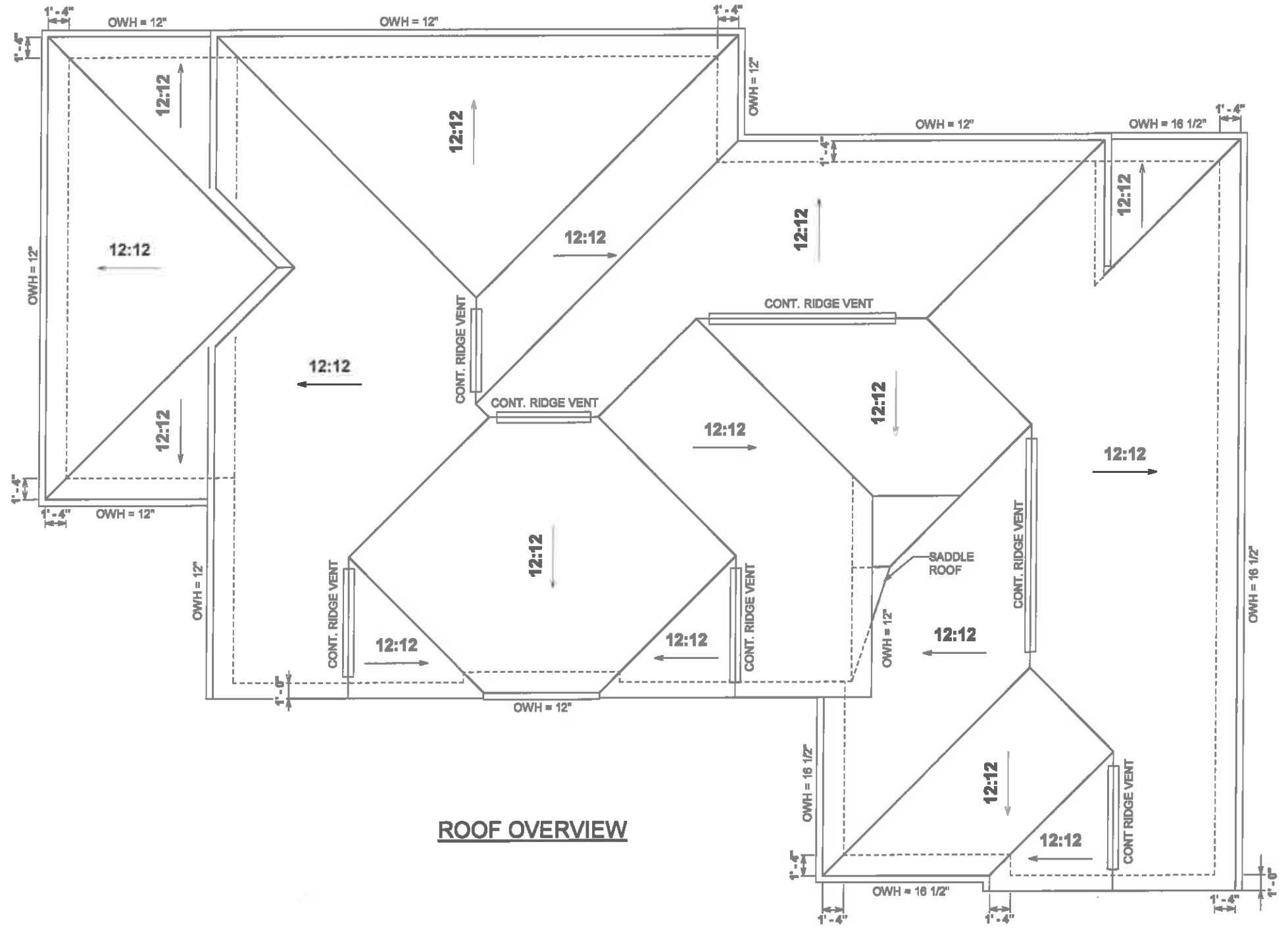
AREAS:	2,122 SF	1,434 SF	825 SF	71 SF	886 SF	4,262 SF	69 SF	160 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE: CRAWL SPACE
DRAWN BY: MM
CHECKED BY: CHK
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SHEET NUMBER: **E-3**
LEFT & RIGHT ELEVATION

12:12 O.W.H. = 12" MIN.
UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



ROOF OVERVIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Schedule

AREAS:	2,122 SF
FIRST FLOOR HEATED	1,434 SF
SECOND FLOOR HEATED	3,655 SF
GARAGE	635 SF
SIDE PORCH	71 SF
TOTAL UNDER ROOF	668 SF
FRONT STOOP	4,262 SF
REAR DECK	69 SF
TOTAL UNCOVERED	160 SF
	219 SF

THE: **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

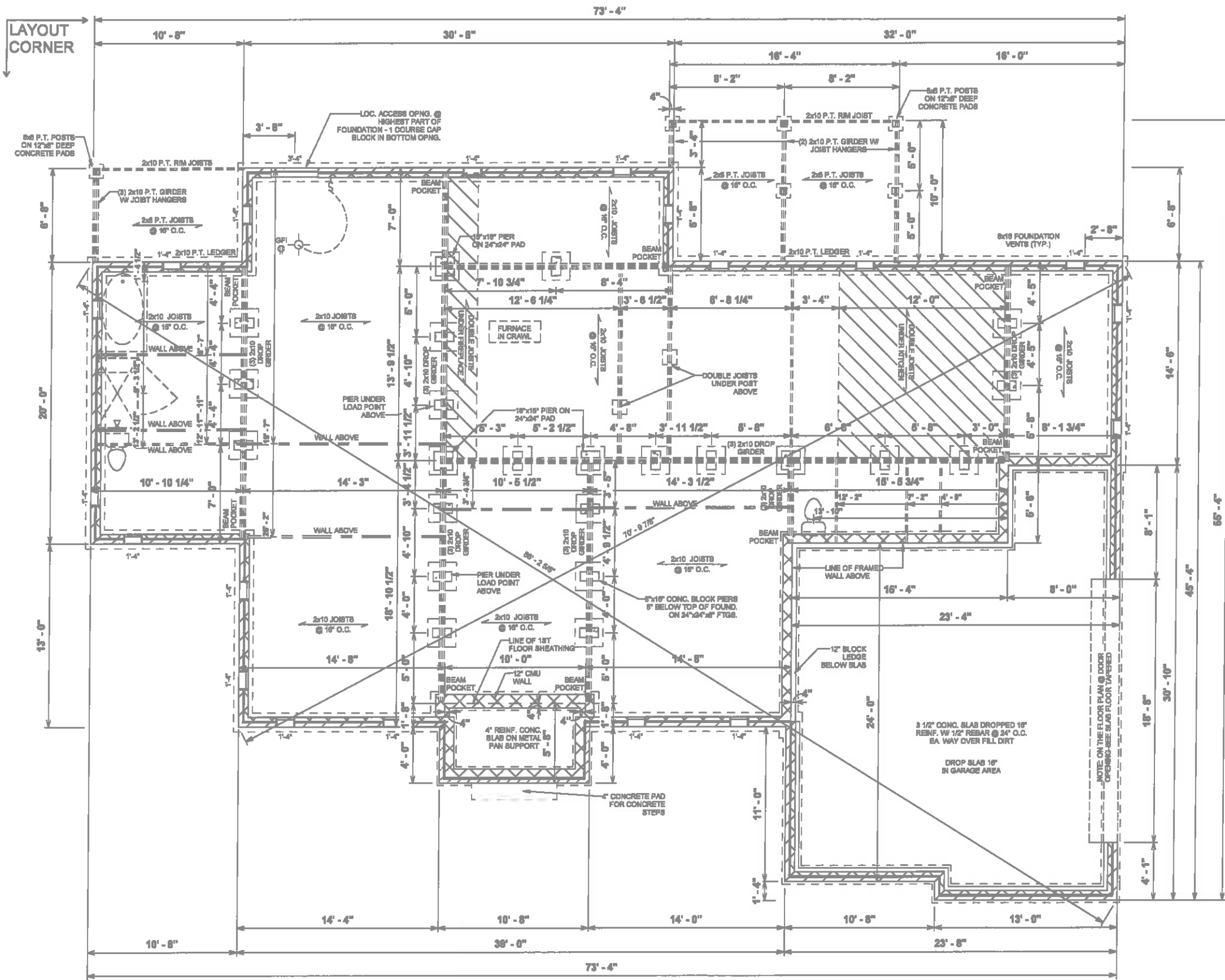
JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
CHECKED BY: CHK
PRINT DATE: 3/12/2021 10:57:17 AM

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SHEET NUMBER: **E-4**

ROOF OVERVIEW



GENERAL NOTES

ALL GIRDER BREAKS MUST BE ON PIER OR POST

TYPICAL FOUNDATION WALL: (2) 4" BLOCKS W/ 4" BRICK ON (2) 5" BASE BLOCKS ON TOP OF 16"x 8" DEEP POURED CONC. FOOTING

LOC. ACCESS OPNG. @ HIGHEST PART OF FOUND. - 1 COURSE CAP BLOCK IN BOTTOM OF OPNG.

ALL INT. PIERS TO BE 16"x16" WHEN OVER 4 BLOCK + CAP HIGH SPECIAL INT. PIERS TO BE 16"x16" ON 24"x24" PAD WHEN UNDER JOINING PERPENDICULAR GIRDERS

NOTCH SILL PLATES AROUND DROPPED BEAM

1 Foundation Plan
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" or 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

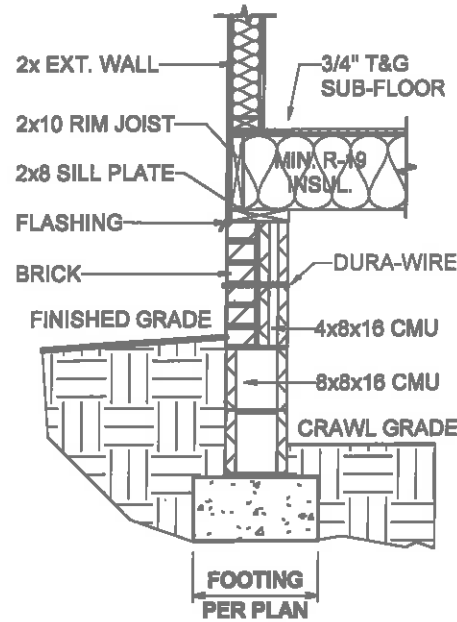
Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	3,555 SF	625 SF	71 SF	665 SF	4,252 SF	59 SF	160 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

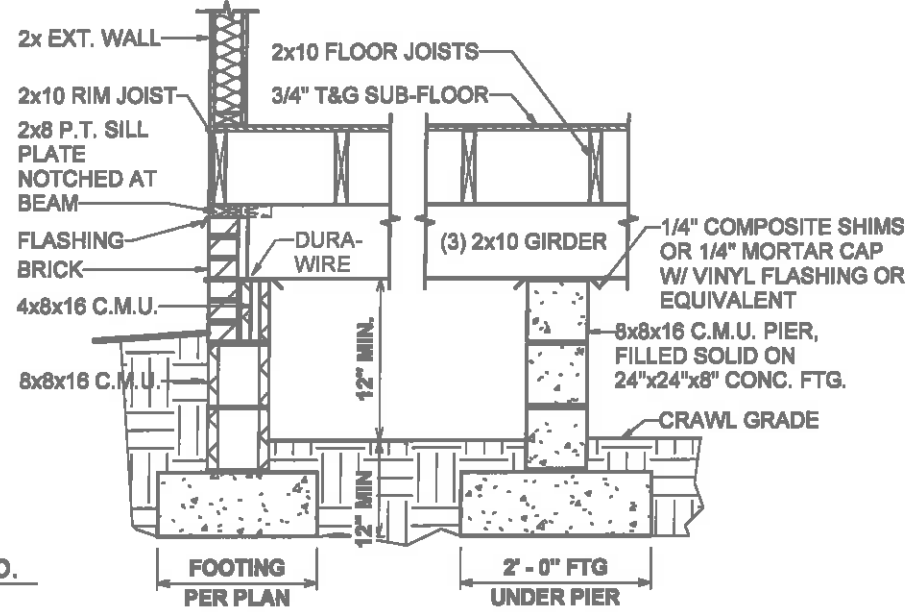
THE **SOUTHAMPTON 'A'**
FOR: **ANDREW BUJE**
10425 MCDOUGALD ROAD
BROADWAY, NC 27505
OFFICE: FAYETTEVILLE
SOLD BY: TR

JOB: **141-21-001**
2x4 EXTERIOR WALLS
FOUNDATION TYPE: **CRAWL SPACE**
DRAWN BY: MM
CHECKED BY: CHK
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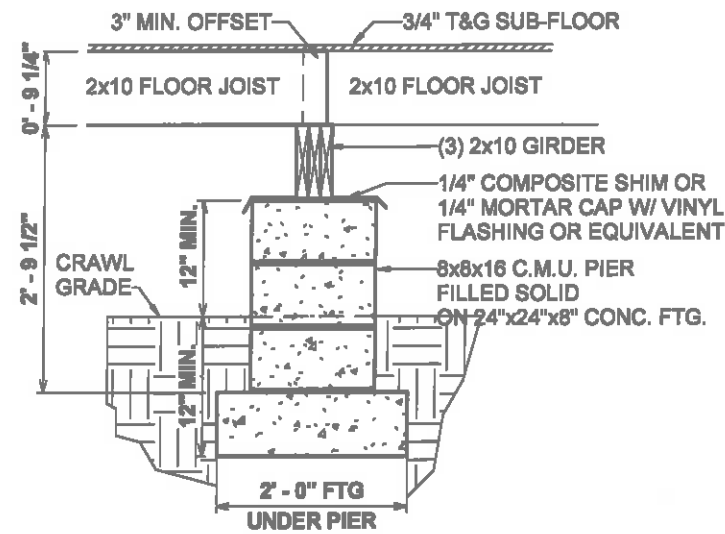
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SHEET NUMBER: **F-1**
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FOUNDATION PLAN



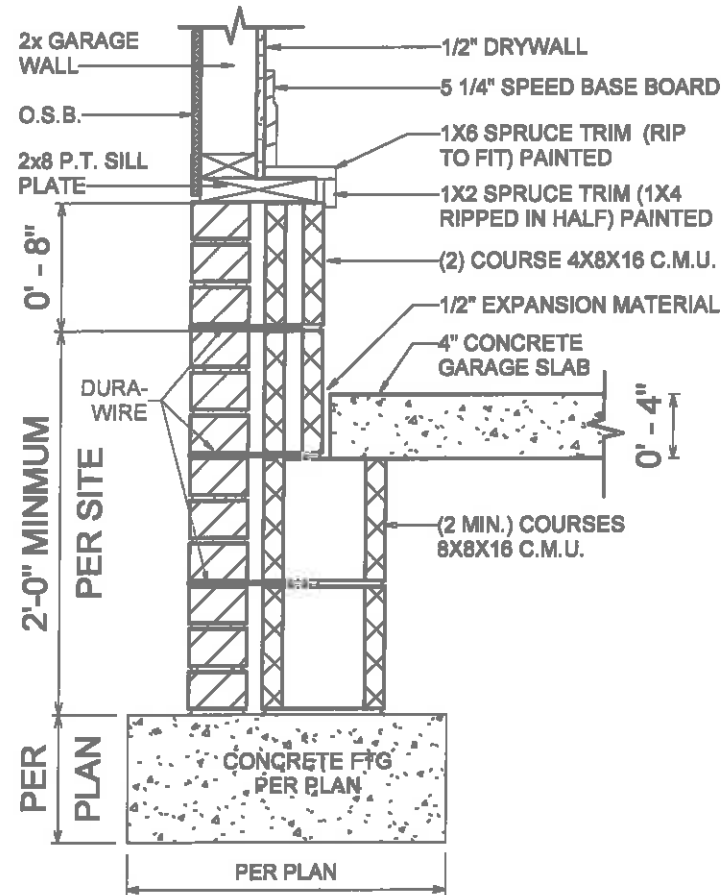
11 75.1b 4" Brick-4" CMU on 8" CMU Typ.
1/2" = 1'-0"



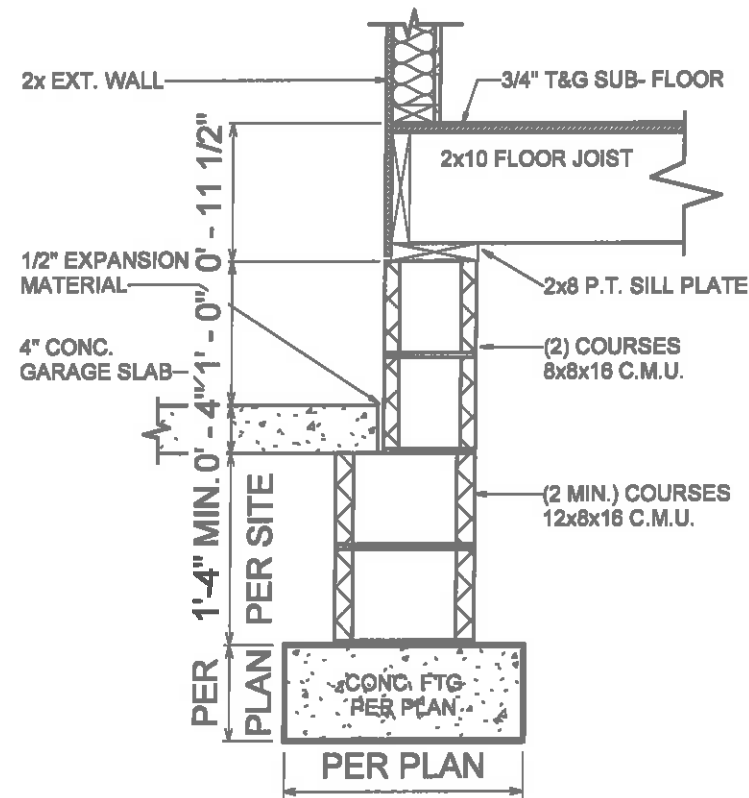
3 75-600.4 4" Brick-4" CMU on 8" CMU Beam Pocket & Int. Pier
1/2" = 1'-0"



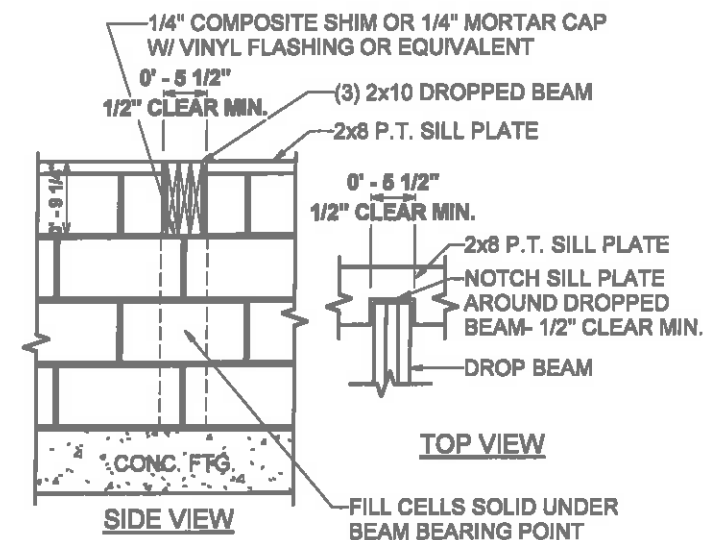
15 75.1a Interior Support Pier
1/2" = 1'-0"



2 75.1c 4" Brick-4" CMU-8" CMU Ext. Garage Wall
1" = 1'-0"



1 75.1 House-to-Garage @ Crawl
3/4" = 1'-0"



8 75-600.5 Beam Pocket Details
1/2" = 1'-0"

Revision	2020-09-18
Revision Description	
Rev #	Date
1	

AREAS:	
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THE	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
	10425 MCDUGALD ROAD BROADWAY, NC 27505
OFFICE:	SOLD BY: TR

JOB	141-21-001
FOUNDATION TYPE:	CRAWL SPACE
DRAWN BY:	MM
CHECKED BY:	CHK
PRINT DATE:	3/12/2021 10:57:17 AM
	C:\Shared drives\AHP Drafting\AHP Jobs\Coe Strofer 07 50 54 56 75 89 122 141 155\141-Fayetteville\141-Buje-Southampton-Crawlspace\141-Crawl-210311.dwg

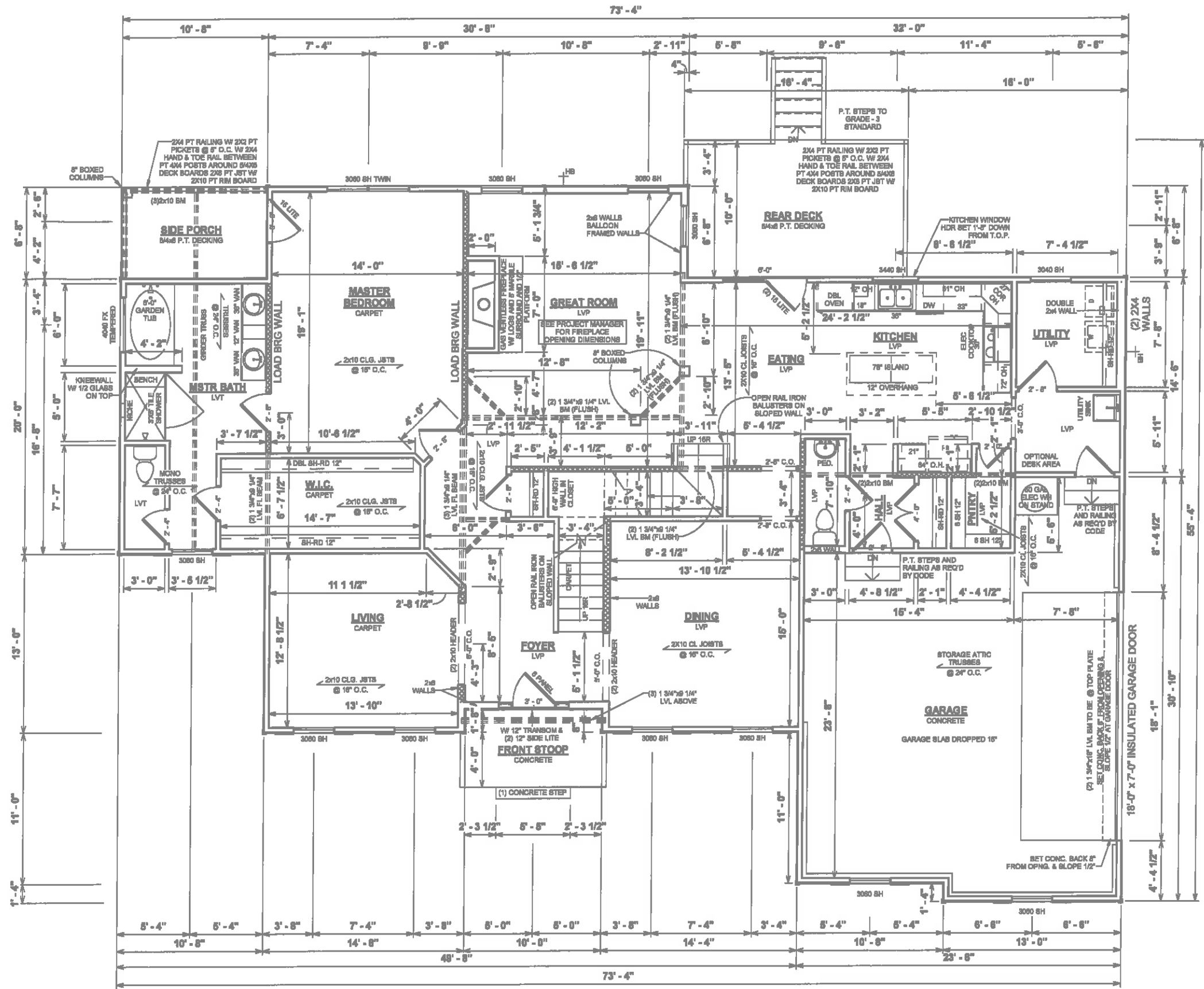
PROPERTY OF:	AMERICAN HOME PLACE
SHEET NUMBER:	F-1.1
	CRAWL- BRICK FOUNDATION DETAILS

Revised 2021-01-01

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PAPER SIZE 11" x 17" SCALE: As indicated



GENERAL NOTES

MIN. 8'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 MIN. 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR

ALL FIRST FLOOR WALLS, ALL LOAD BEARING WALLS & EXT. OPNGS TO HAVE (2) 2x10 HEADERS UNLESS OTHERWISE NOTED

STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED

7/16" O.S.B. AND HOUSEWRAP REQUIRED

DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSION FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION

ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED A MINIMUM OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED

NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE

ALL SHELVING TO 12" DEEP U.N.O. HEIGHT OFF FLOOR: SINGLE-65" DOUBLE-42" & 64"

ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION

ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM

SPECIAL NOTES:

- UPGRADE CARPET PAD ALL AREAS

1 FIRST FLOOR PLAN
 1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE [ENLARGE PRINTS TO 200%]

FINAL CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	3,658 SF	71 SF	698 SF	4,252 SF	58 SF	188 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE SOUTHAMPTON 'A'
 FOR: ANDREW BUJE
 10425 MCDUGALD ROAD
 BROADWAY, NC 27505
 OFFICE: FAYETTEVILLE
 SOLD BY: TR

JOB: 141-21-001
 2x4 EXTERIOR WALLS
 FOUNDATION TYPE: CRAWL SPACE

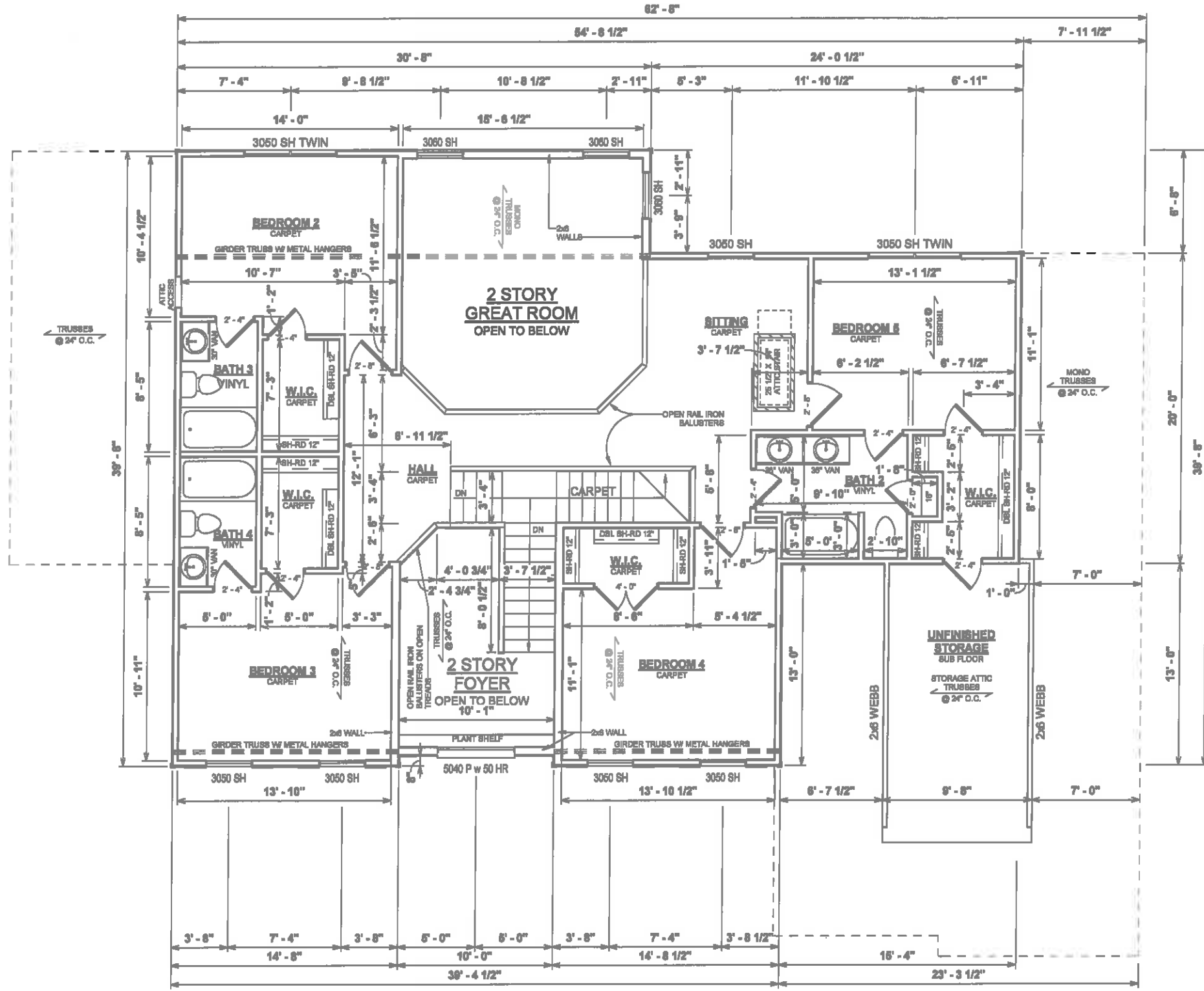
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SHEET NUMBER: **F-2**

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FIRST FLOOR PLAN



1 SECOND FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

MIN. 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
MIN. 8'-1 1/8" CEILING HEIGHT ON SECOND FLOOR

ALL FIRST FLOOR WALLS, ALL LOAD BEARING WALLS & EXT. OPNGS TO HAVE (2) 2x10 HEADERS UNLESS OTHERWISE NOTED

STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED

7/16" O.S.B. AND HOUSEWRAP REQUIRED

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ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM

Revision Number	Revision Description	Revision Schedule

AREAS:	2,122 SF	1,424 SF	3,455 SF	626 SF	71 SF	666 SF	4,252 SF	69 SF	180 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOP										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
OFFICE:	FAYETTEVILLE
PROJECT:	10425 MCDUGALD ROAD BROADWAY, NC 27505
SOLD BY:	TR

JOB:	141-21-001
FOUNDATION TYPE:	CRAWL SPACE
FOUNDATION TYPE:	CRAWL SPACE

PROPERTY OF:

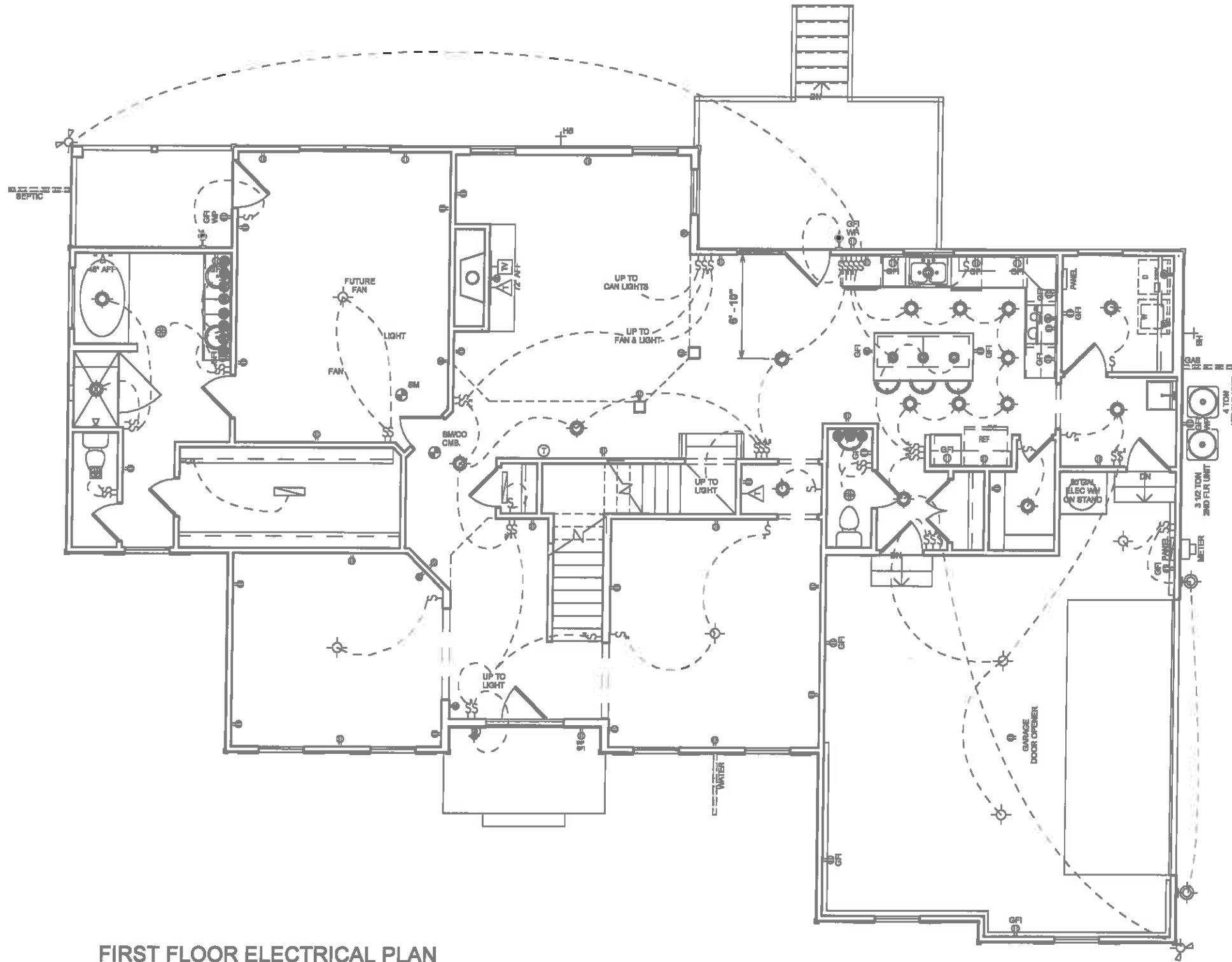
SHEET NUMBER: **F-3**

DATE: 3/12/2021 10:57:18 AM

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OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	
Detector - Smoke	
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluorescent	
Light - Fluorescent - Wall Mnt	
Light - Pendant	
Light - Wall	
Light - Wall Ext Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	
Outlet - GFI Waterproof Ext.	
Outlet - Single 220	
Panel	
Switch	
Switch - 3 Way	
Switch - 4 Way	



FIRST FLOOR ELECTRICAL PLAN

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE THE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT AND CENTERLAYER LOCATED AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MINIMUM FROM DRYER VENT.

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER . ART. 210-12 (b) 1999 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1&2 FAMILY DWELLINGS AS REQUIRED BY CODE.
- OUTLET LOCATIONS ARE REPRESENTATION ONLY.
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	3,595 SF	71 SF	696 SF	4,292 SF	59 SF	180 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE	SOUTHAMPTON 'A'
FOR:	ANDREW BUIE
	10425 MCDUGALD ROAD BROADWAY, NC 27505
OFFICE:	FAYETTEVILLE
SOLD BY:	TR

JOB#	141-21-001
DRAWN BY:	MM
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PRINT DATE:	3/12/2021 10:57:19 AM
FOUNDATION TYPE:	CRAWL SPACE

PROPERTY OF:

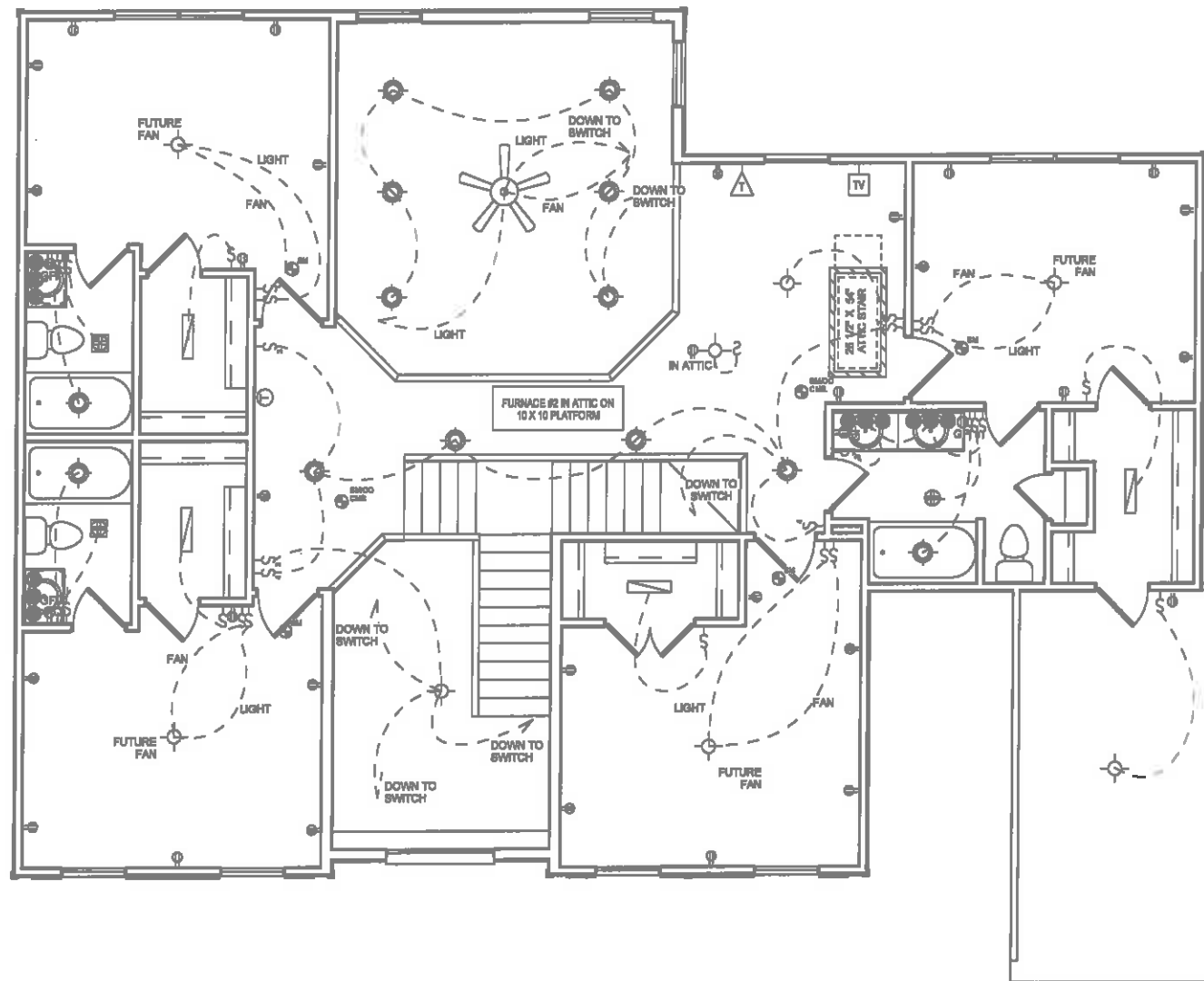
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SHEET NUMBER: **H-1**

F.F. ELEC & HVAC

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENL. LARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

ELECTRICAL	SYMBOL
Ceiling Fan	
Ceiling Fan w Light	
Detector - Combo	
Detector - Combo	SM/DO CMBL
Detector - Smoke	SM
Fan - Bath Exhaust	
Fan - Exhaust w Light	
Light - Ceiling Incand	
Light - Ceiling Recessed	
Light - Flood	
Light - Fluorescent	
Light - Fluorescent - Wall Mnt	WALL MNT
Light - Pendant	
Light - Wall	
Light - Wall Ebt Coach	
Misc - CATV	
Misc - Door Bell	
Misc - Phone Jack	
Misc - Thermostat	
Outlet	
Outlet - Duplex Bottom Switched	
Outlet - Floor	
Outlet - Floor	GFI
Outlet - GFI Waterproof Ext.	WP GFI
Outlet - Bngl 220	
Panel	PANEL
Switch	
Switch - 3 Way	
Switch - 4 Way	



SECOND FLOOR - ELECTRICAL PLAN

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE THE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT AND CENTERLAY LOCATED AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE.
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MINIMUM FROM DRYER VENT.

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 AND 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER . ART. 210-12 (b) NC 2017 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1&2 FAMILY DWELLINGS AS REQUIRED BY CODE.
- OUTLET LOCATIONS ARE REPRESENTATION ONLY.
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

Revision Number	Revision Description	Revision in Date

AREAS:	2,122 SF	1,434 SF	3,655 SF	625 SF	71 SF	688 SF	4,282 SF	59 SF	169 SF	219 SF
FIRST FLOOR HEATED										
SECOND FLOOR HEATED										
GARAGE										
SIDE PORCH										
TOTAL UNDER ROOF										
FRONT STOOFF										
REAR DECK										
TOTAL UNCOVERED										

THE:	SOUTHAMPTON 'A'
FOR:	ANDREW BUJE
OFFICE:	10425 MCDUGALD ROAD BROADWAY, NC 27505 FAYETTEVILLE TR

JOB#	141-21-001
DRAWN BY:	MM
CHECKED BY:	CHK
PRINT DATE:	3/12/2021 10:57:19 AM
FOUNDATION TYPE:	CRAWL SPACE

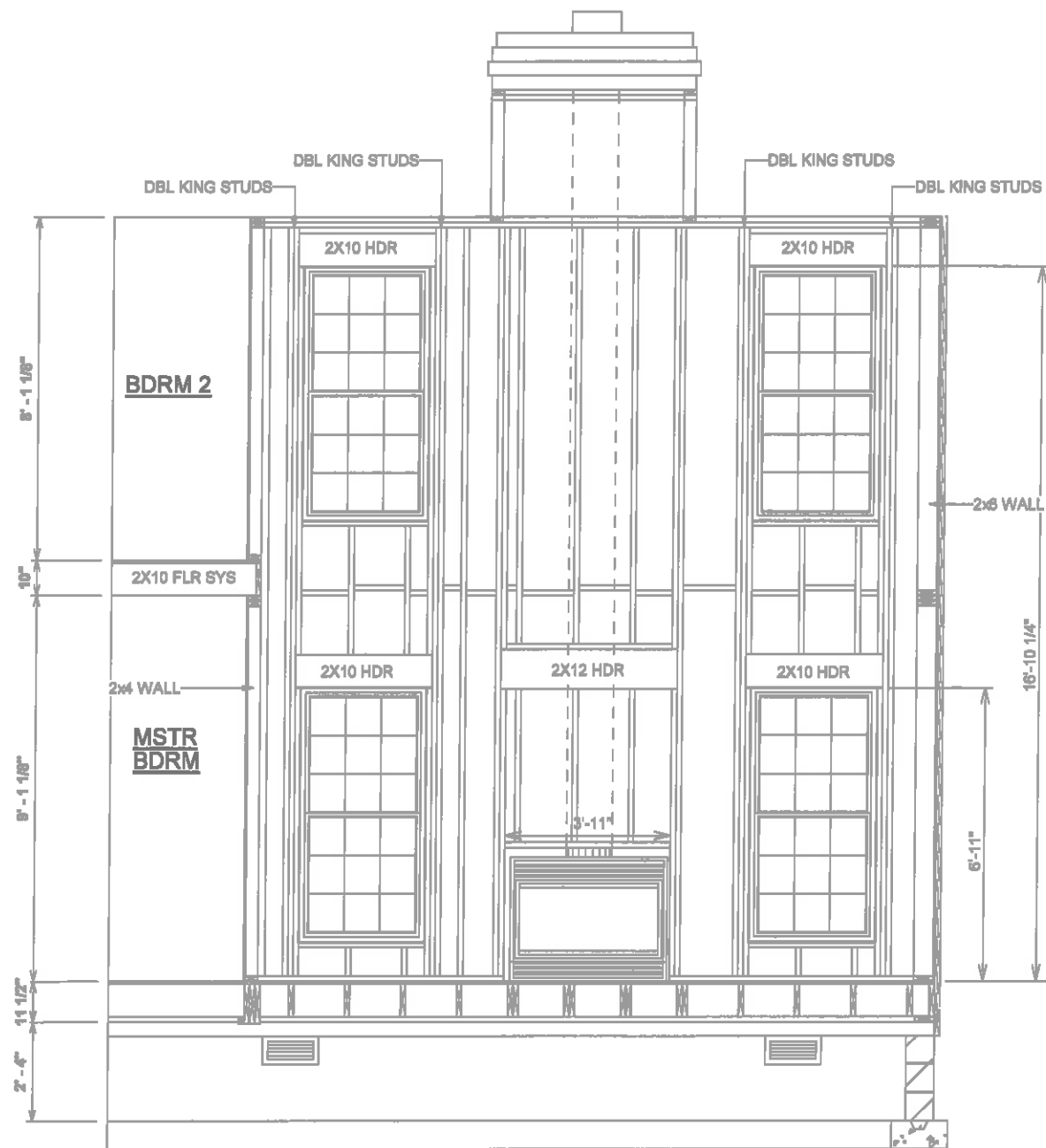
PROPERTY OF: AMERICA'S HOME PLACE

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SHEET NUMBER: **H-2**

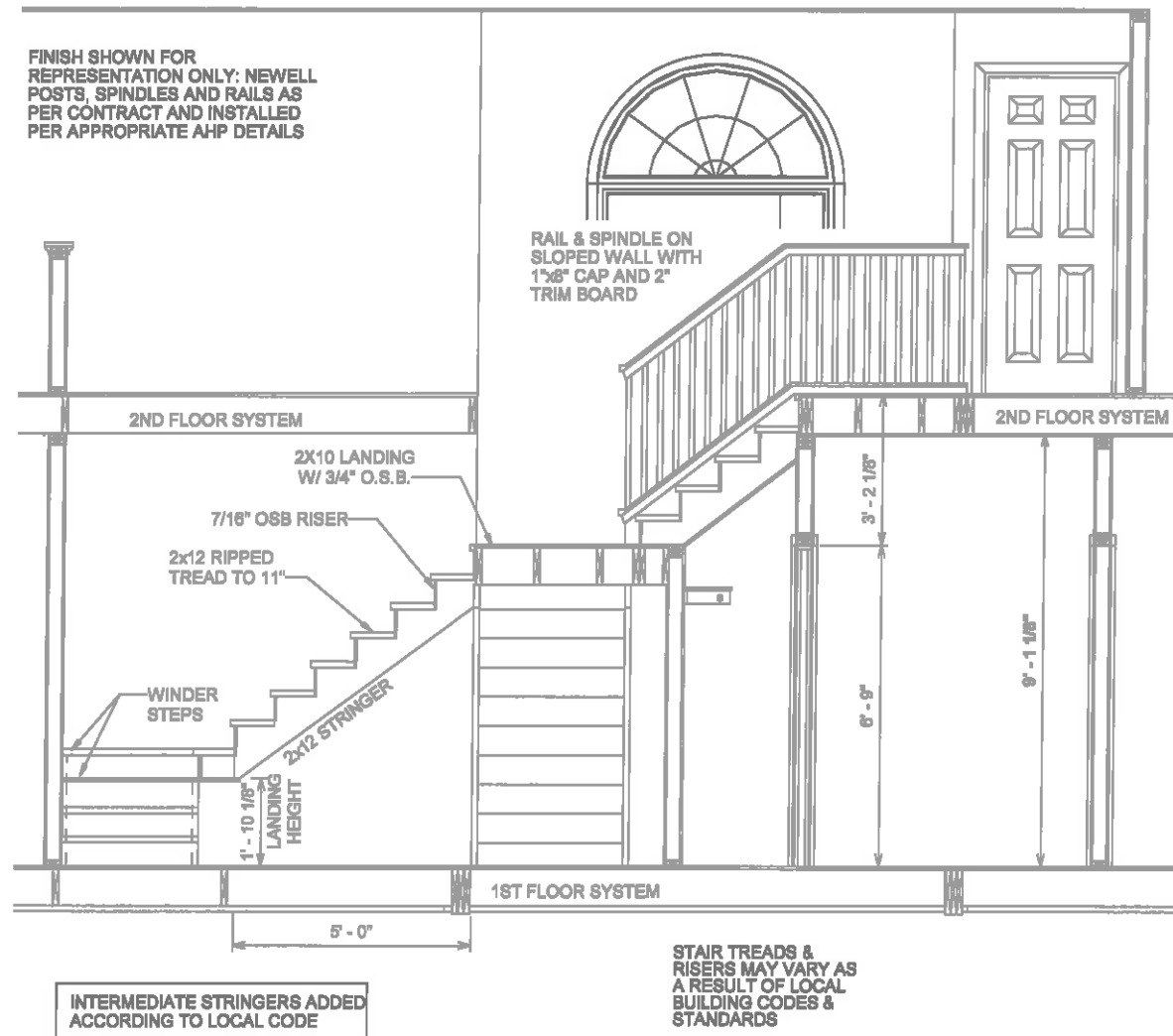
S.F. ELEC & HVAC

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



2x6 WALL W/FIREPLACE-1
 FINAL LOCATION AND HEIGHT OF CRIPPLE WALL AND 2X12 HEADER ABOVE FIREPLACE TBD ON SITE AND WILL BE REPRESENTATIVE OF FIREPLACE HEIGHT AND STYLE

SECTION AT GREAT ROOM WALL



INTERMEDIATE STRINGERS ADDED ACCORDING TO LOCAL CODE

STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES & STANDARDS

STAIR SECTION

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,434 SF	628 SF	71 SF	699 SF	4,262 SF	59 SF	169 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STOOP									
REAR DECK									
TOTAL UNCOVERED									

THE **SOUTHAMPTON 'A'**
 FOR: **ANDREW BUIE**
 10425 MCDUGALD ROAD
 BROADWAY, NC 27505
 OFFICE: FAYETTEVILLE
 SOLD BY: TR

JOB# **141-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
 CHECKED BY: CHK
 PRINT DATE: 3/12/2021 10:57:20 AM

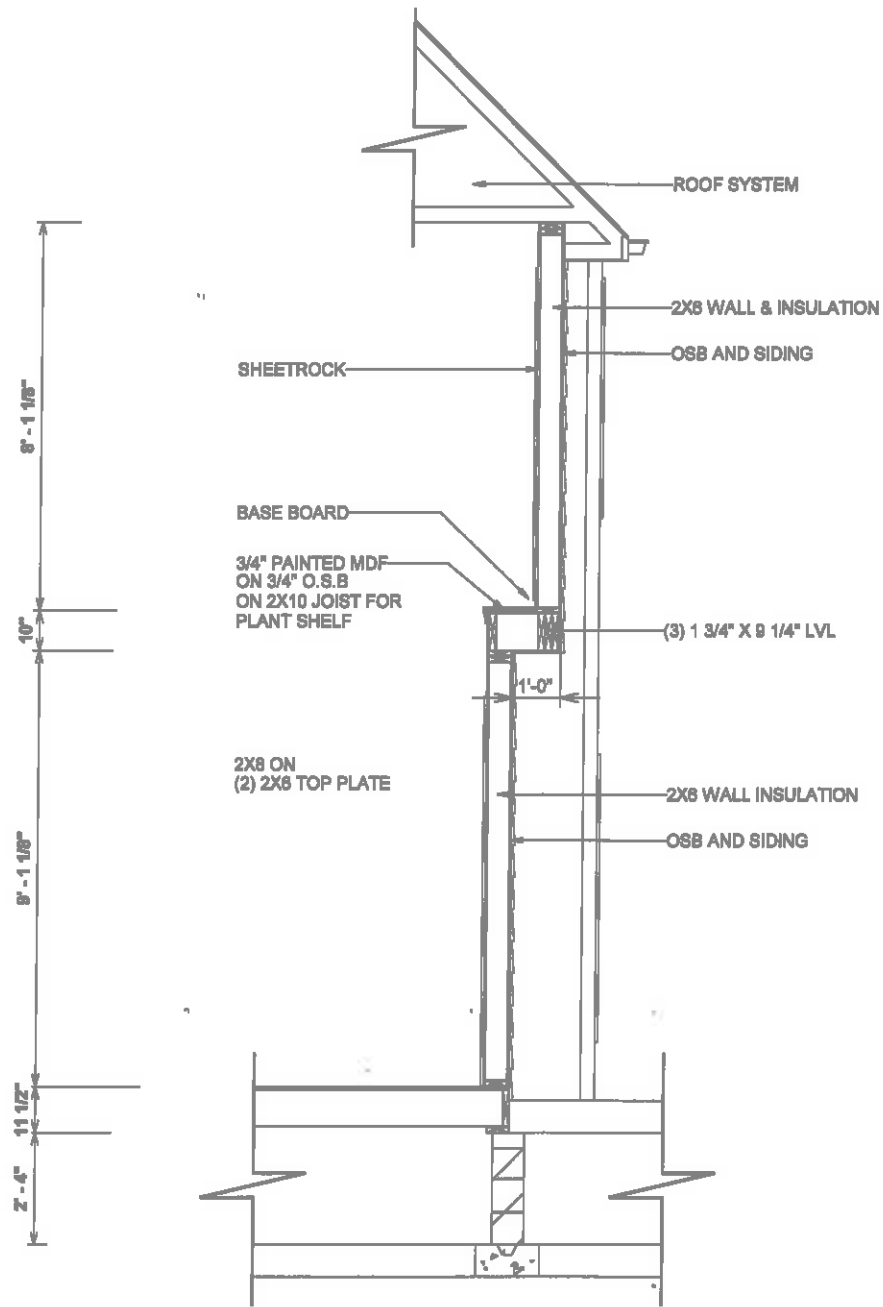


SHEET NUMBER: **S-1**
 DETAILS & SECTIONS

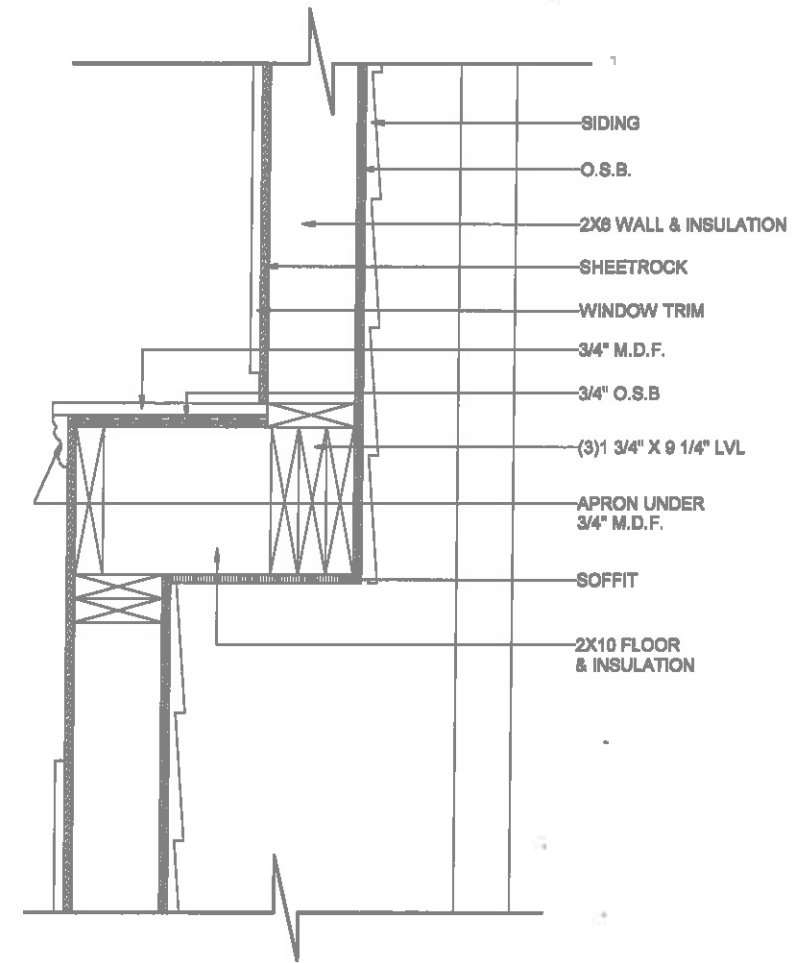
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



FOYER
SCALE 1/4" = 1'-0"



FRONT PORCH ALCOVE
SCALE 1/4" = 1'-0"



FRONT PORCH ALCOVE - DETAIL
SCALE N.T.S.

Revision Number	Revision Description	Revision Date

AREAS:	2,122 SF	1,424 SF	826 SF	71 SF	696 SF	4,262 SF	69 SF	160 SF	219 SF
FIRST FLOOR HEATED									
SECOND FLOOR HEATED									
GARAGE									
SIDE PORCH									
TOTAL UNDER ROOF									
FRONT STUOP									
REAR DECK									
TOTAL UNCOVERED									

THE: **SOUTHAMPTON 'A'**
 FOR: **ANDREW BUIE**
 10425 MCDUGALD ROAD
 BROADWAY, NC 27505
 OFFICE: FAYETTEVILLE
 SOLD BY: TR

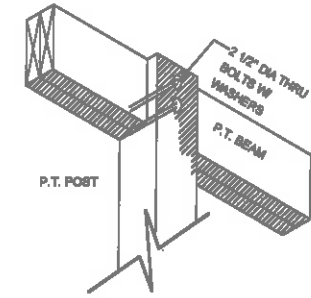
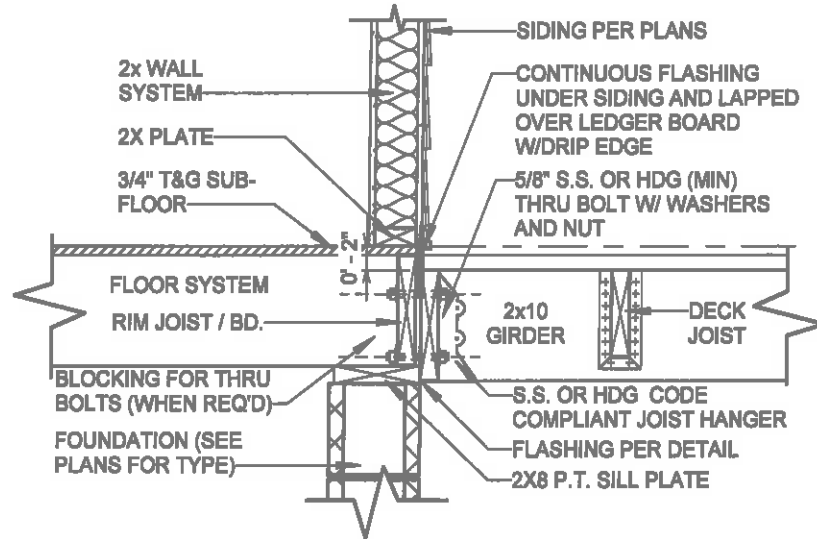
JOB# **141-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE:
CRAWL SPACE

DRAWN BY: MM
 CHECKED BY: CHK
 PRINT DATE: 3/12/2021 10:57:20 AM

PROPERTY OF:
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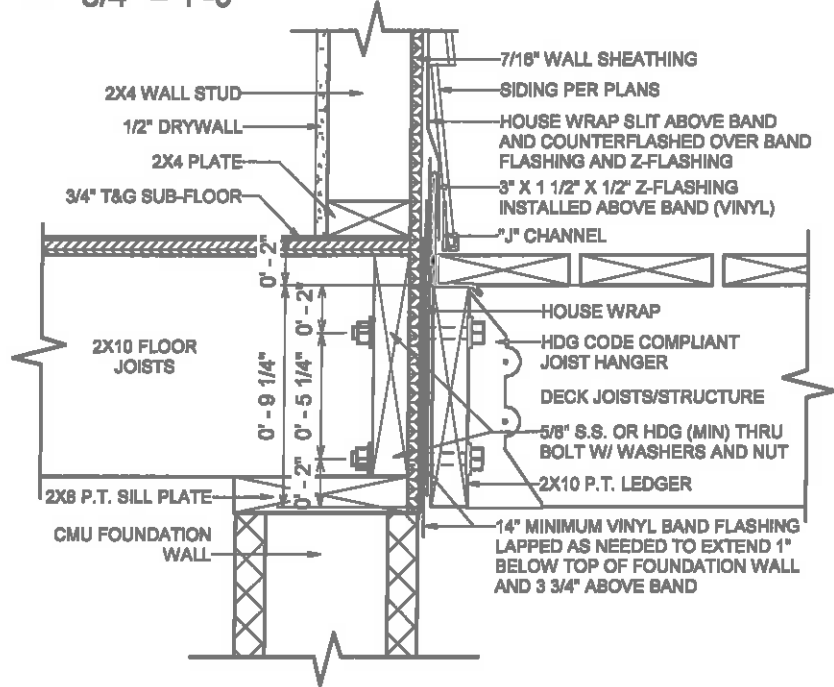
SHEET NUMBER: **S-2**
DETAILS & SECTIONS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS



POST TO BEAM CONNECTION

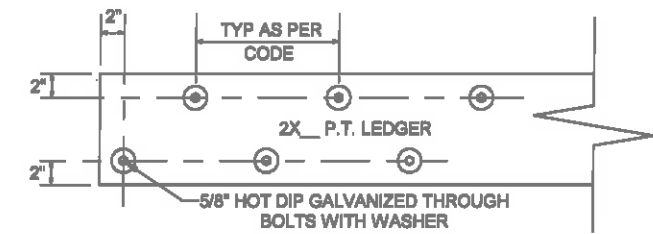
1 58-0.6-DECK LEDGER CONNECTION
3/4" = 1'-0"



2 58-480.2 PORCH LEDGER FLASHING
1 1/2" = 1'-0"

FASTNERS	8' MAX. JOIST SPAN	18' MAX. JOIST SPAN
5/8" HOT DIPPED GALV. BOLTS WITH NUT AND WASHER	1 @ 3'-6" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12 D COMMON HOT DIPPED GALV. NAILS	2 @ 8" O.C.	3 @ 8" O.C.

AM104.1.1 ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES



LEDGER BOARD AND FASTENER DETAIL

Revision	2018-08-30
Description	
Rev #	

AREAS:

THE SOUTHAMPTON 'A'
FOR: ANDREW BUIE
10425 MCDOUGALD ROAD
BROADWAY, NC 27505
OFFICE: 1-Bule...
SOLD BY: TR

JOB: 141-21-001
2x4 EXTERIOR WALLS
UNLESS OTHERWISE NOTED
FOUNDATION TYPE: CRAWL SPACE
DRAWN BY: MM
CHECKED BY: CHK
PRINT DATE: 3/12/2021 10:57:20 AM
G:\Shared drives\AHP Drafting\AHP Jobs\Cos Strother (07 50 54 58 75 87 89 122 141 155)\141-Fayetteville\141-Buie-Southampton-Crawlspace\1-1-Buie-Exterior Walls.dwg
A.Crawl.210314.dwg

PROPERTY OF:

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SHEET NUMBER: S-3

STANDARD DECK DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

Job: BUIE, ANDREW

14121001

4/15/2021

IIII - - PLEASE RETURN THIS FORM WITH YOUR INVOICE - - IIII

CUT SHEET

Description	Takeoff Qty.	UOM	Short	Over
Framing Materials				
1st Floor Bands, Decking, Sill Plate				
2 X 10 X 16' #2 SYP	16	ea		
2 X 8 X 16' #2 TP	22	ea		
3/4" T&G EDGE GOLD FLOOR DECKING	73	ea		
ADVANTECH ADHESIVE CAN	8	ea		
ADVANTECH APPLICATOR GUN CLEANER	1	ea		
<hr/>				
1st Floor Exterior Walls and Headers				
1 3/4" X 9 1/4" LVL - 2 @ 14'	28	lf		
1 3/4" X 9 1/4" LVL - 2 @ 16'	32	lf		
1 3/4" X 9 1/4" LVL - 2 @ 4'	8	lf		
1 3/4" X 9 1/4" LVL - 2 @ 8'	16	lf		
1 3/4" X 9 1/4" LVL - 3 @ 11'	33	lf		
1 3/4" X 9 1/4" LVL - 3 @ 13'	39	lf		
1 3/4" X 9 1/4" LVL - 4 @ 4'	16	lf		
1 3/4" X 9 1/4" LVL - 4 @ 5'	20	lf		
2 X 10 X 10' #2 SYP	18	ea		
2 X 4 X 105" PRE-CUT 9' STUD	200	ea		
2 X 4 X 12' #2 SPF	32	ea		
2 X 4 X 14' #2 SPF	45	ea		
2 X 6 X 105" PRE-CUT 9' STUD	26	ea		
2 X 6 X 14' #2 SPF	6	ea		
<hr/>				
1st Floor Exterior Walls and Headers - BALLOON WALL				
2 X 4 X 12' #2 SPF	2	ea		
2 X 6 X 14' #2 SPF	4	ea		
2 X 6 X 18' #2 SPF	17	ea		
<hr/>				
1st Floor Floor Joist, Blocking				
2 X 10 X 12' #2 SYP	44	ea		
2 X 10 X 16' #2 SYP	107	ea		
<hr/>				
1st Floor Girders				
2 X 10 X 10' #2 SYP	9	ea		
2 X 10 X 14' #2 SYP	3	ea		
2 X 10 X 16' #2 SYP	9	ea		

!!!! - - PLEASE RETURN THIS FORM WITH YOUR INVOICE - - !!!!

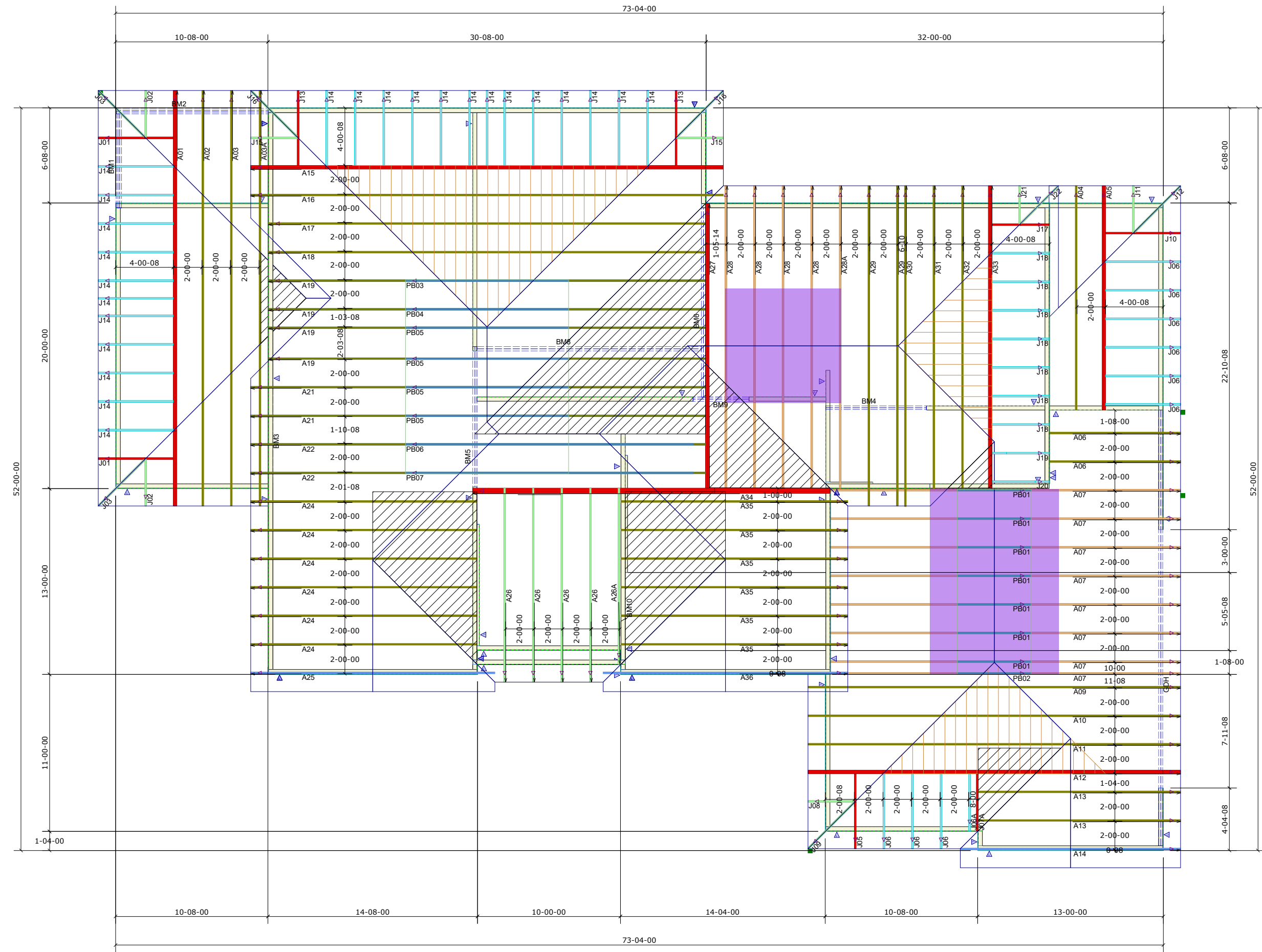
CUT SHEET

Description	Takeoff Qty.	UOM	Short	Over
Framing Materials				
2nd Flr. Wall Sheathing				
7/16" X 4'X 8' OSB - APA APPROVED	56	ea		
Covered Porch				
2 X 10 X 12' #2 SYP	3	ea		
2 X 10 X 8' #2 SYP	3	ea		
2 X 4 X 14' #2 SPF	9	ea		
Framing Labor, Punchout, Misc.				
1" PLASTIC CAP 2000 COUNT BOX	2000	ea		
2 1/2" GAL. CONCRETE NAILS 5# BX	1	ea		
HOUSE WRAP 9' X 150' ROLL	4	ea		
HOUSE WRAP TAPE 165'	6	roll		
Gable Sheathing, Studs, Barge Rafters				
2 X 4 X 10' #2 SPF	1	ea		
2 X 4 X 12' #2 SPF	5	ea		
2 X 6 X 10' #2 SPF	1	ea		
2 X 6 X 12' #2 SPF	5	ea		
2 X 6 X 16' #2 SPF	6	ea		
7/16" X 4'X 8' OSB - APA APPROVED	8	ea		
Garage Walls and Door Header				
1 3/4" X 18" LVL - 2 @ 31'	62	lf		
2 X 4 X 10' #2 SPF	67	ea		
2 X 4 X 12' #2 TP	4	ea		
2 X 4 X 14' #2 SPF	10	ea		
2 X 4 X 14' #2 TP	5	ea		
UPDATE LVL DESC. W/ BM LENGTH	1	NOTE		
HVAC				
2 X 4 X 16' #2 SPF	3	ea		
3/4" T&G EDGE GOLD FLOOR DECKING - ATTIC PLATFORM	2	ea		
Insul.-Vault Cing&Gbls-KneeWall-Dormer/Attic HtdWalls W/Air Barrier				
7/16" X 4'X 8' OSB - APA APPROVED	18	ea		
interior Trlm Baseboard & Misc.				
2 X 6 X 12' #2 SPF (GARAGE DOOR TOP BUCK)	2	ea		

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE
200 EMMETT ROAD
DUNN, NORTH CAROLINA 28334
PHONE: 910-892-8400



1st Level Roof Area	2nd Level Roof Area
1904.25	0

PROJECT: BUIE RESIDENCE
CUSTOMER: AMERICA'S HOMEPLACE
MODEL: SOUTHAMPTON ELEVA
QUOTE #: 2100347
PRINT DATE: 4/1/2021
DRAWN BY: Charles Carr
SCALE: N.T.S

TOP LIVE LOAD: 20.0 lb/ft²
TOP DEAD LOAD: 10.0 lb/ft²
BOTTOM DEAD LOAD: 10.0 lb/ft²
WIND SPEED: 115 mph

GENERAL NOTES:
- DO NOT CUT OR MODIFY TRUSSES
- TRUSSES ARE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED
- REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
- PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLAN RECOMMENDS TRUSSES TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.