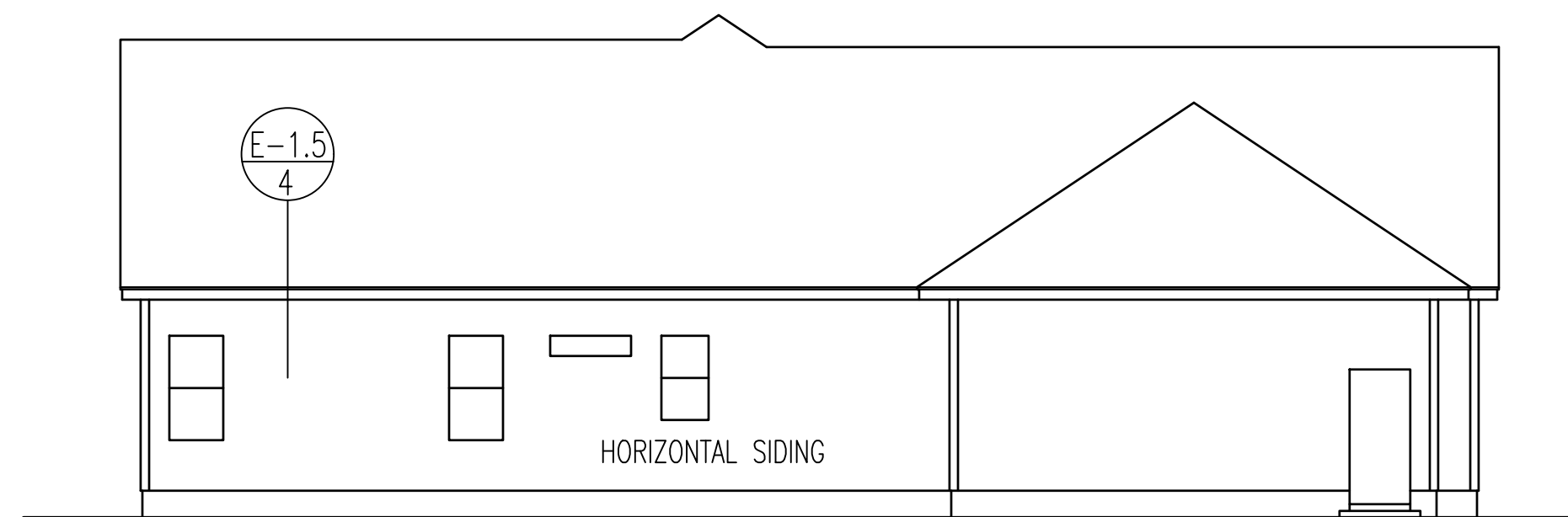
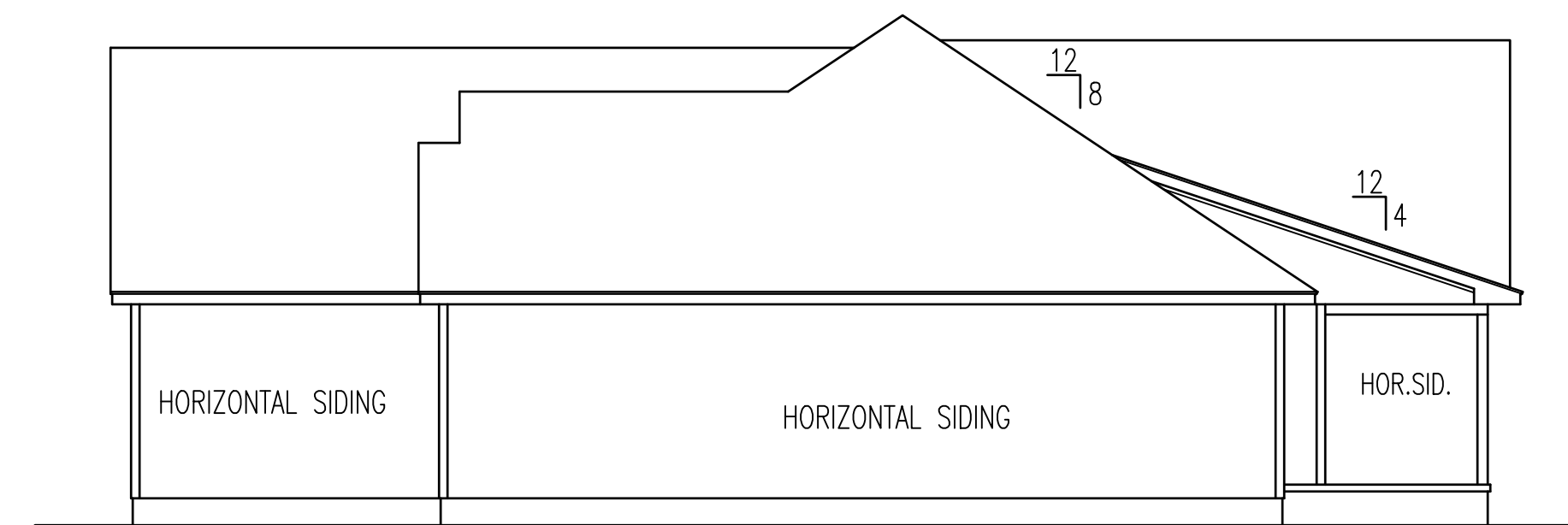




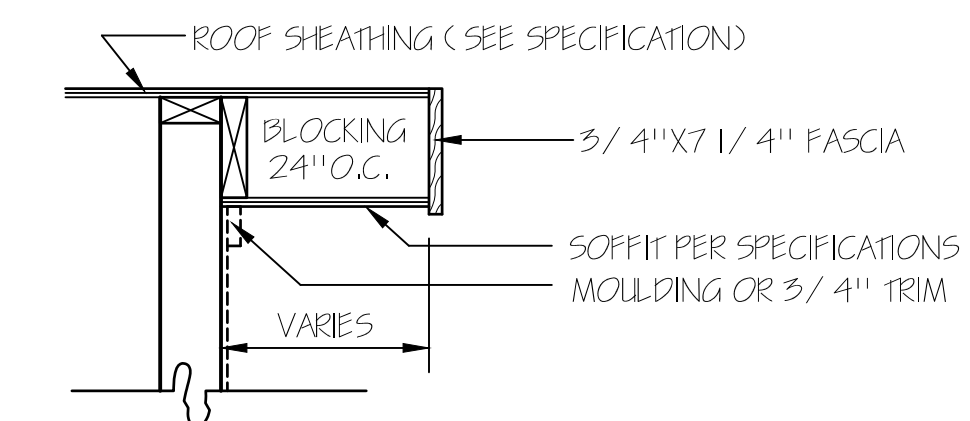
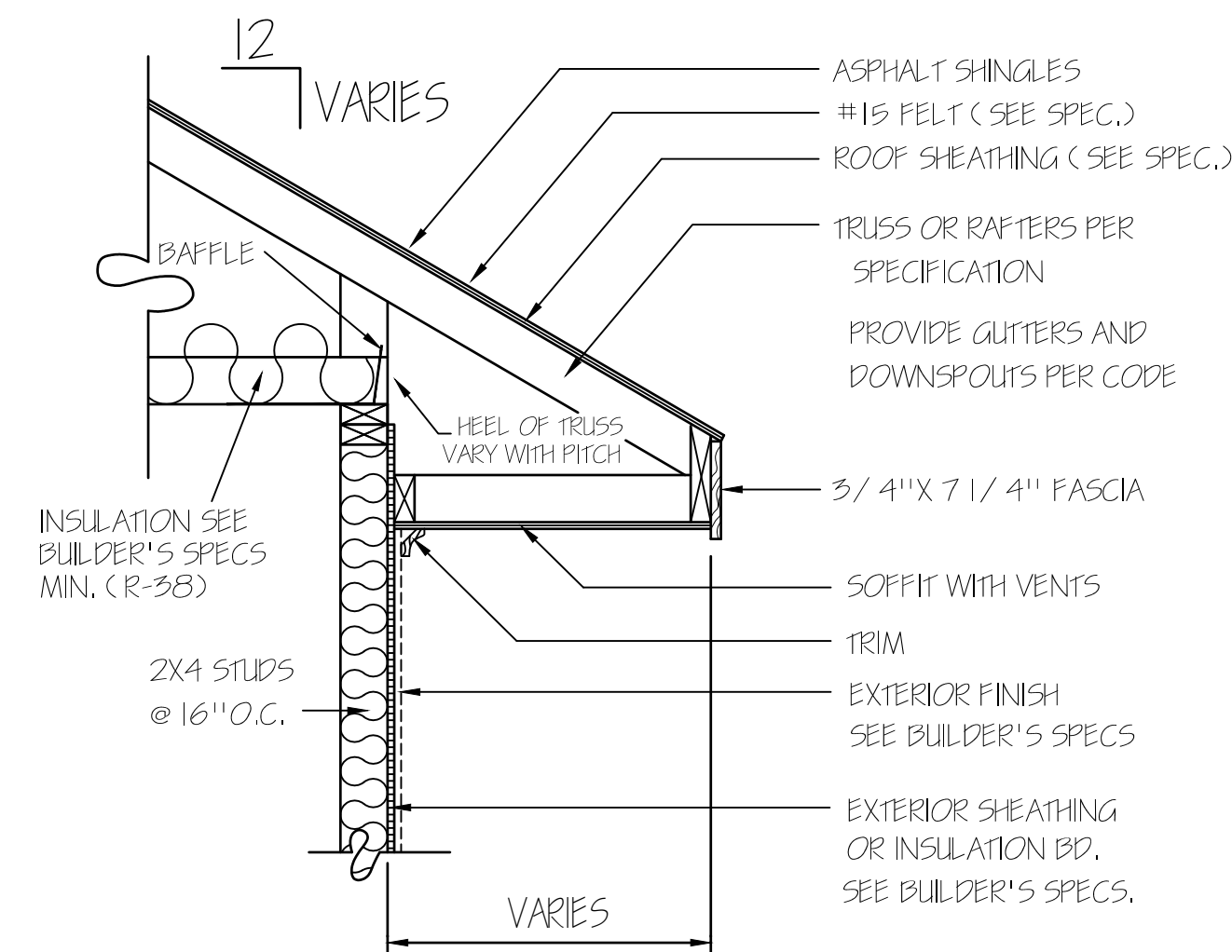
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



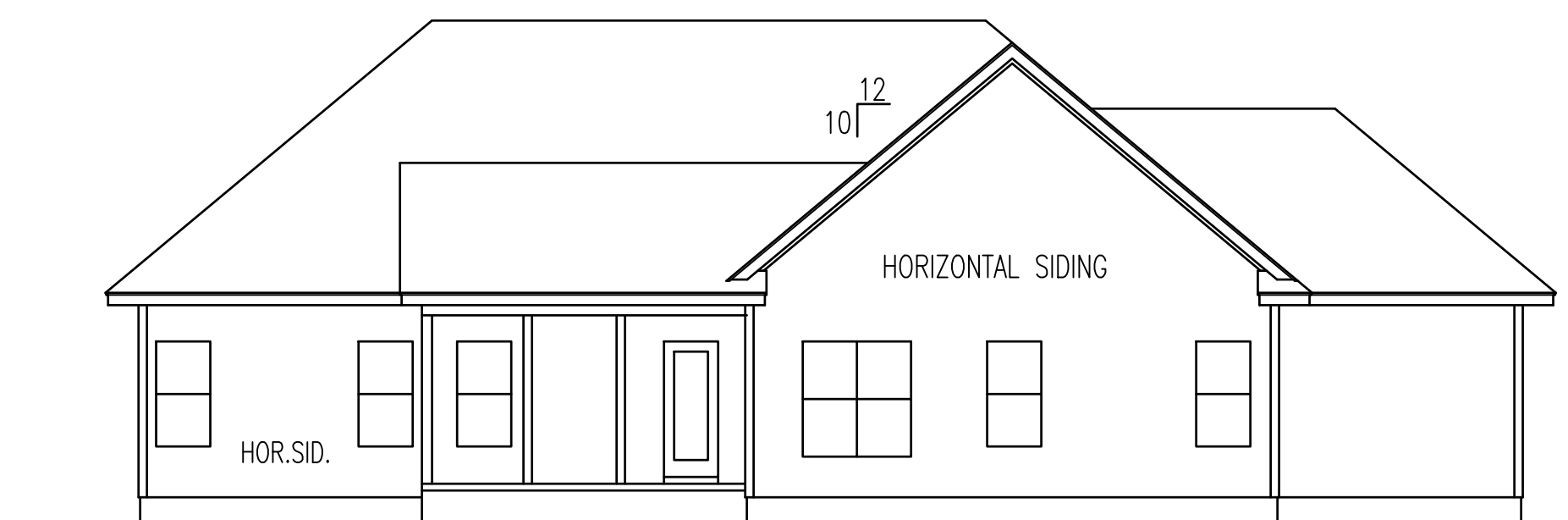
LEFT ELEVATION



RIGHT ELEVATION



RAKE DETAIL FOR
GABLE ENDS



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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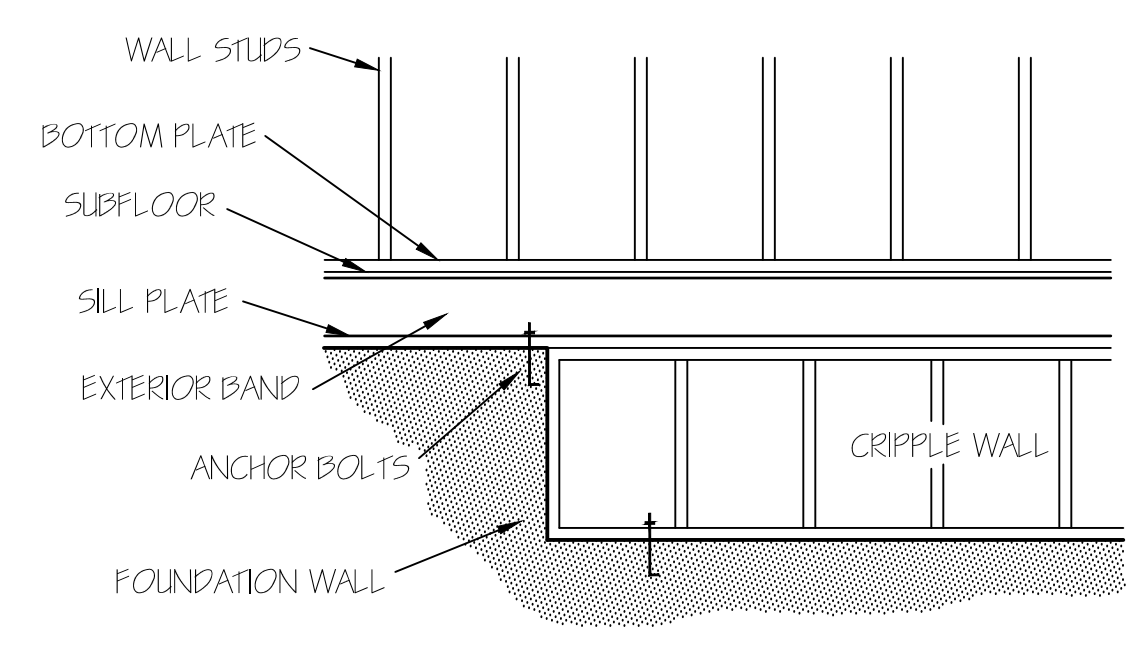
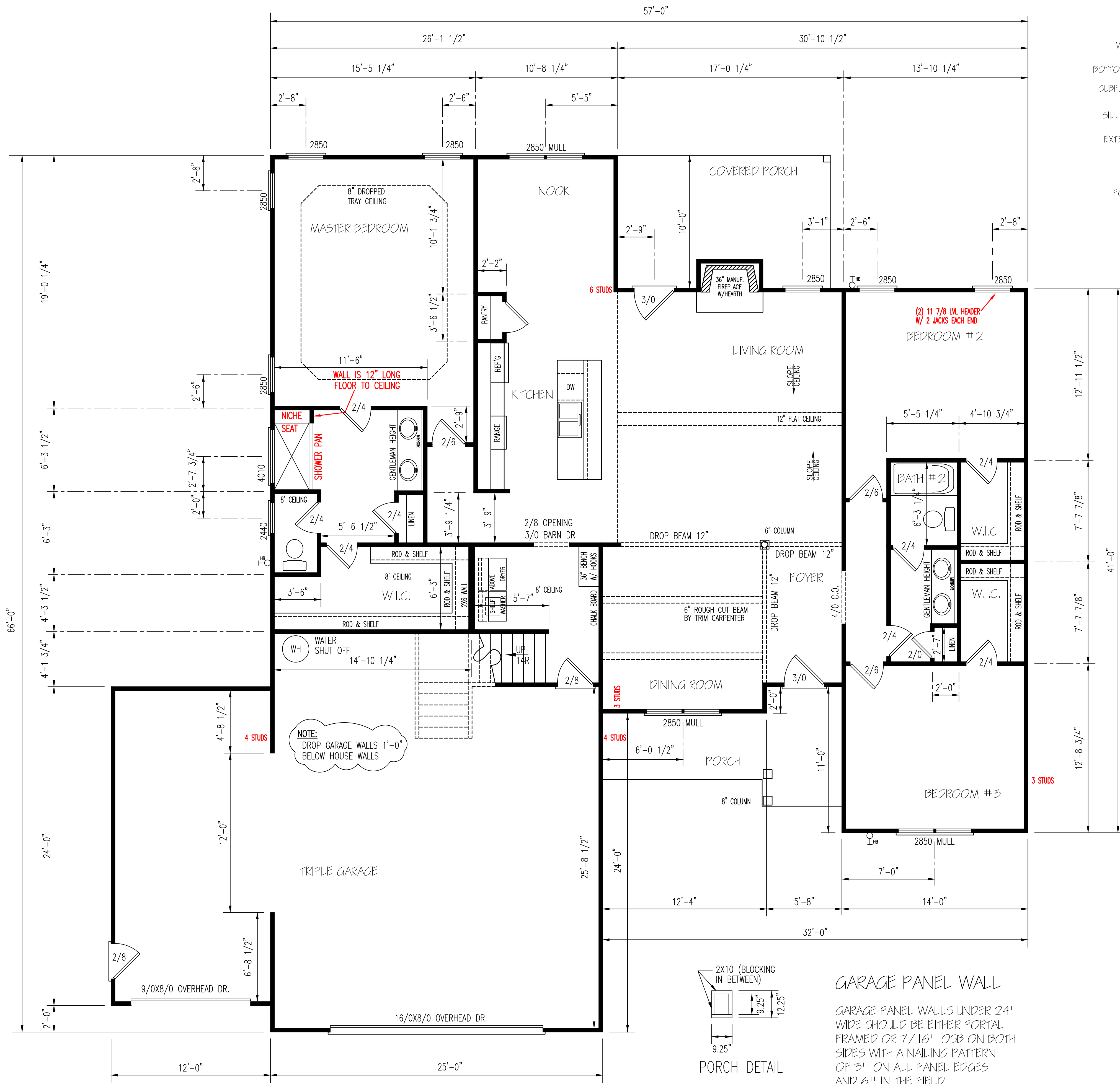
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

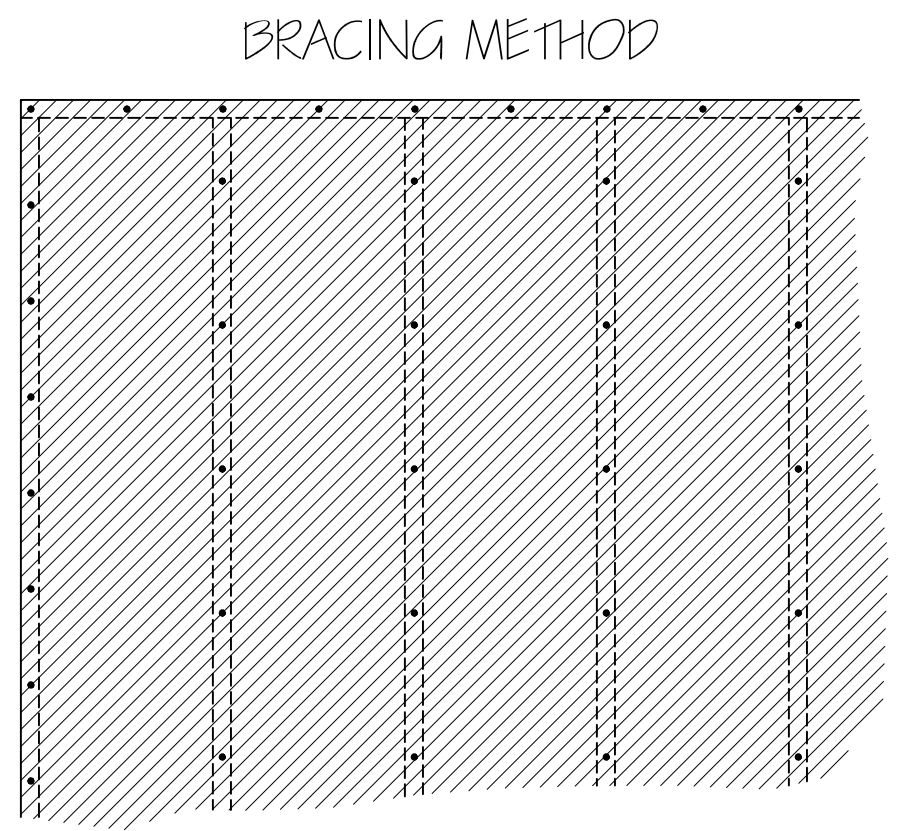
PLAN NUMBER
RG25-A07

OPTION #1

1	GARAGE	L	F
	DATE:	11/5/20	



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDS ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE RB-02.3(1). OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.

HERO PACKAGE

ENERGY TABLE
 UFACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 38
 FLOORS 19

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

HEATED AREA

1ST FL	2066	SQ FT
2ND FL	455	SQ FT
TOTAL	2521	SQ FT

OTHER AREAS

GARAGE	734	SQ FT
F.PORCH	113	SQ FT
R.PORCH	109	SQ FT

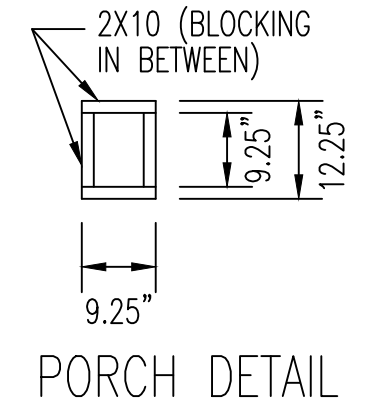
CLEAR SPAN FOR HEADER	EXTERIOR WALLS (2) 2X10 HEADERS	
	NUMBER OF STUDS JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

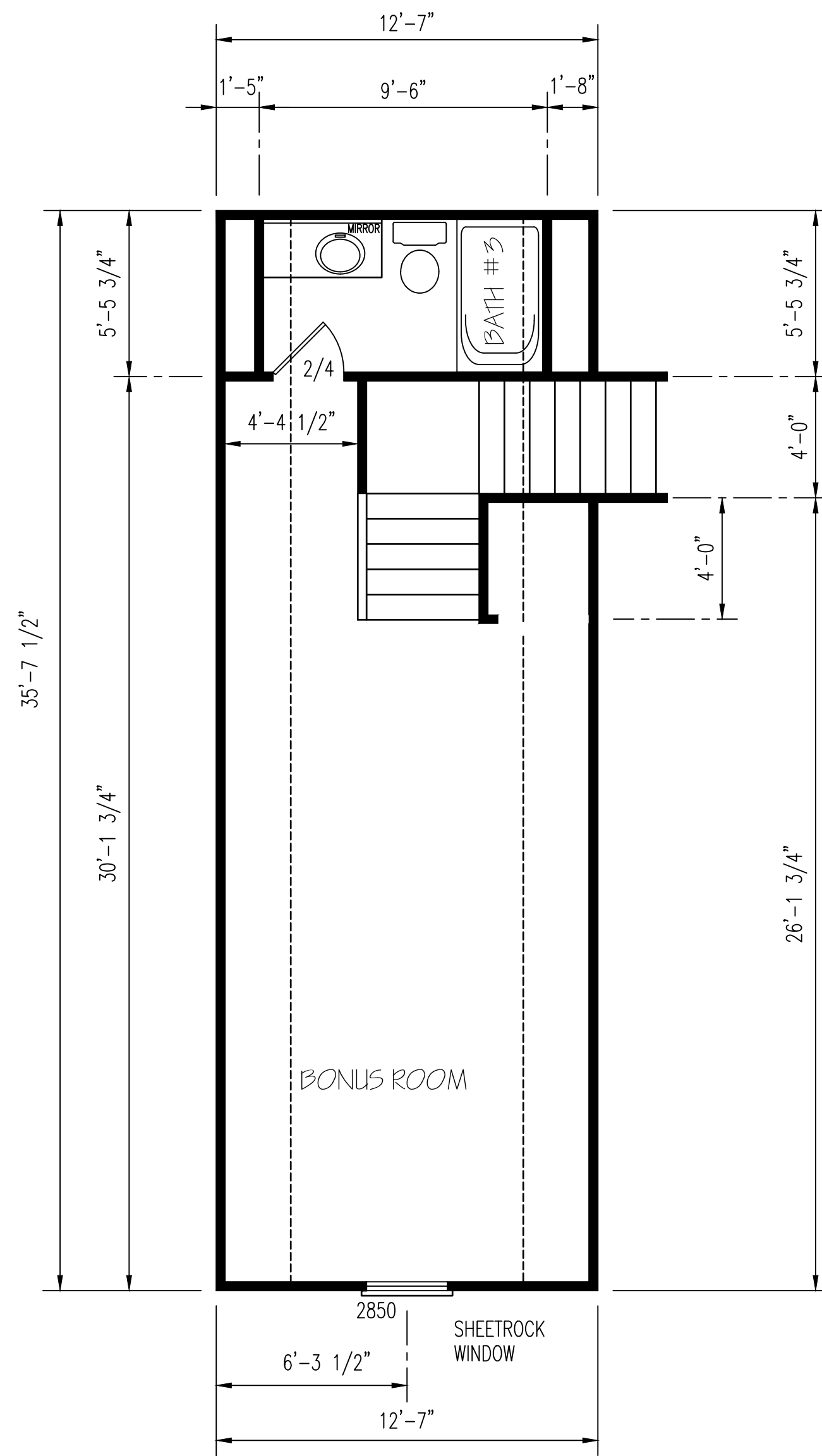
UNLESS NOTED OTHER WISE

NOTE:
 CEILINGS ARE 9'-0" UNLESS NOTED.
 SET WINDOWS @ 7'-4" UNLESS NOTED.

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.



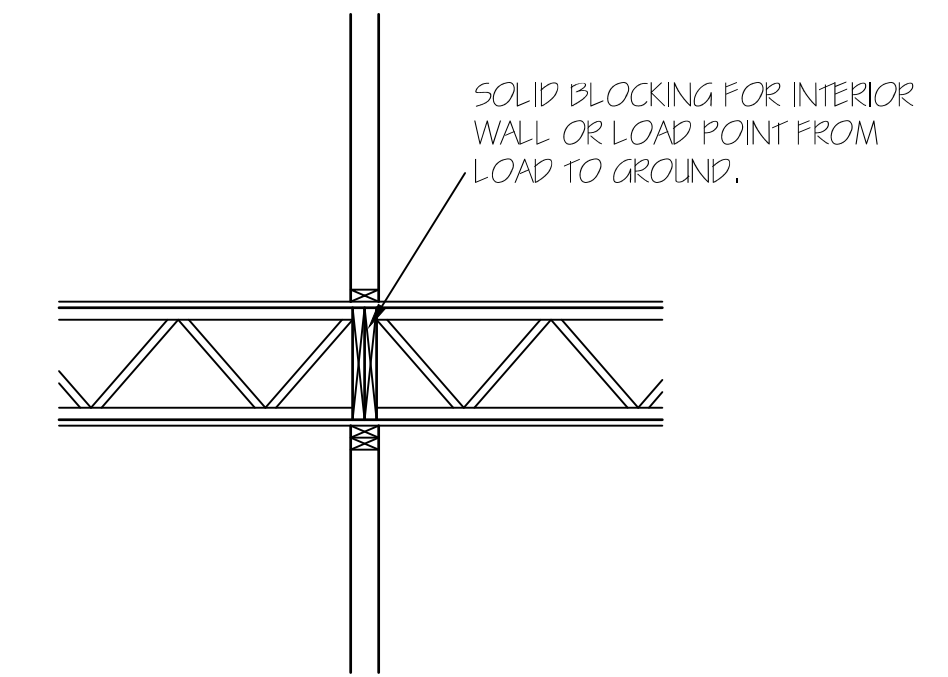
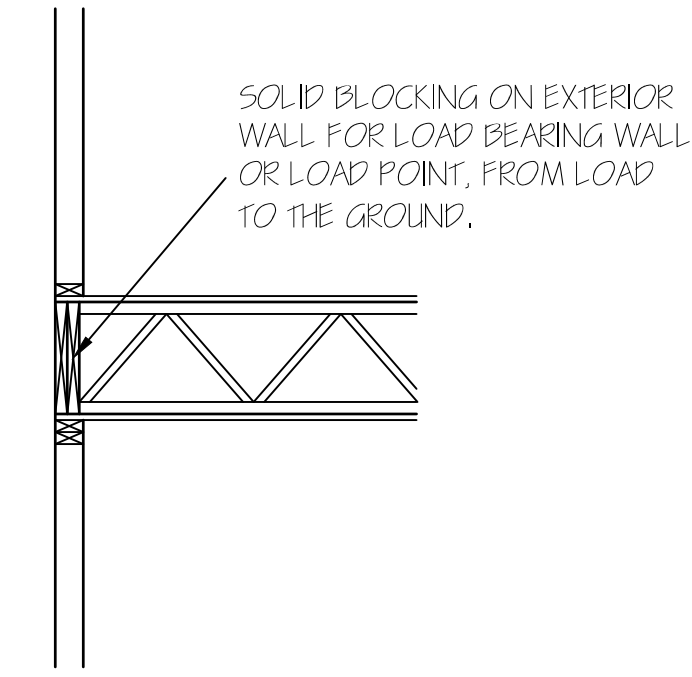


EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

UNLESS NOTED OTHER WISE

HERO PACKAGE

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

T M DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

NAME: RIVER OAK III

LOT: 46 SOUTH CREEK

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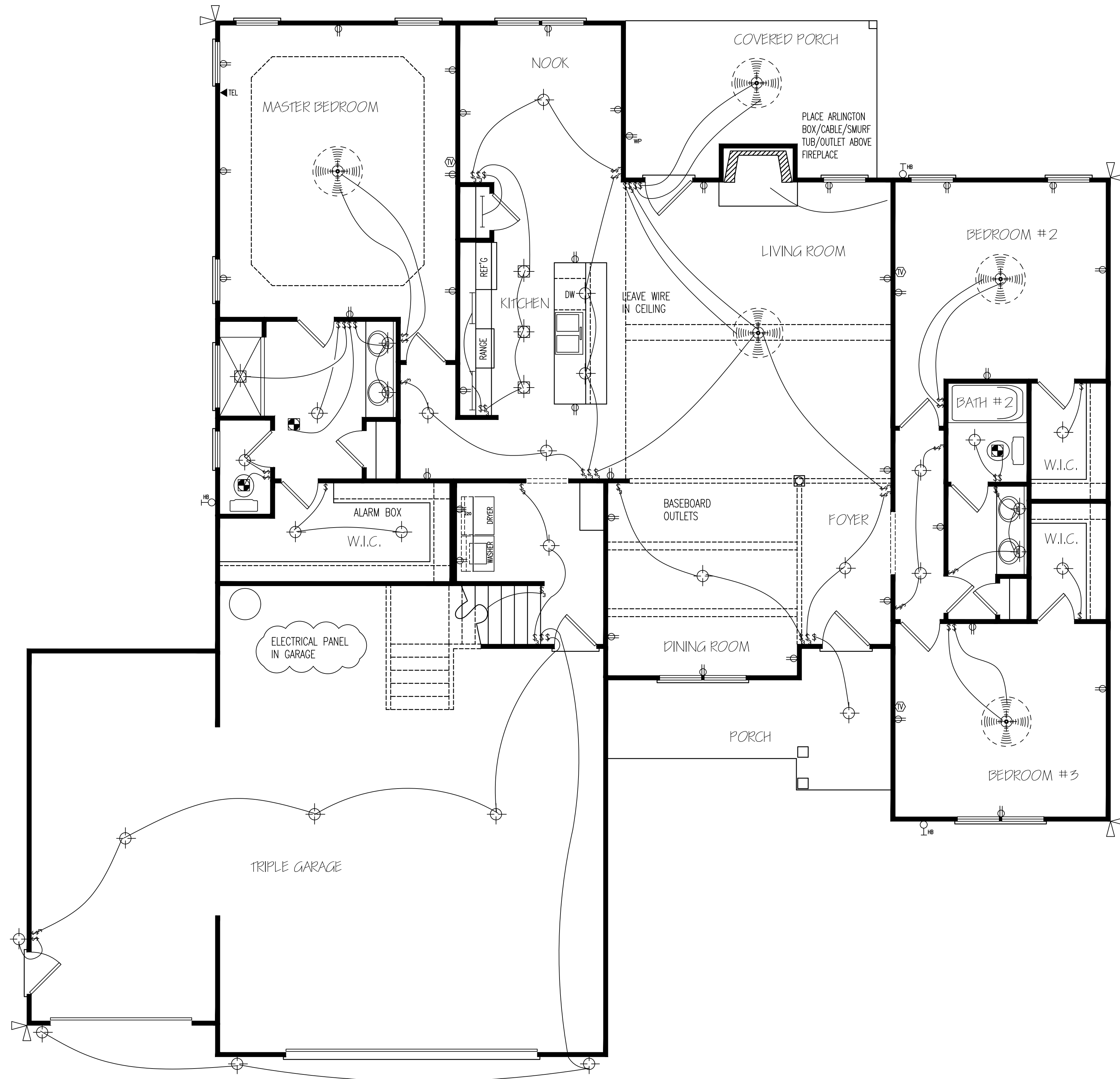
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I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
RG25-A07
OPTION #1

2_B GARAGE L F
DATE: 11/5/20



HERO PACKAGE

FIRST FLOOR ELECTRICAL LAYOUT

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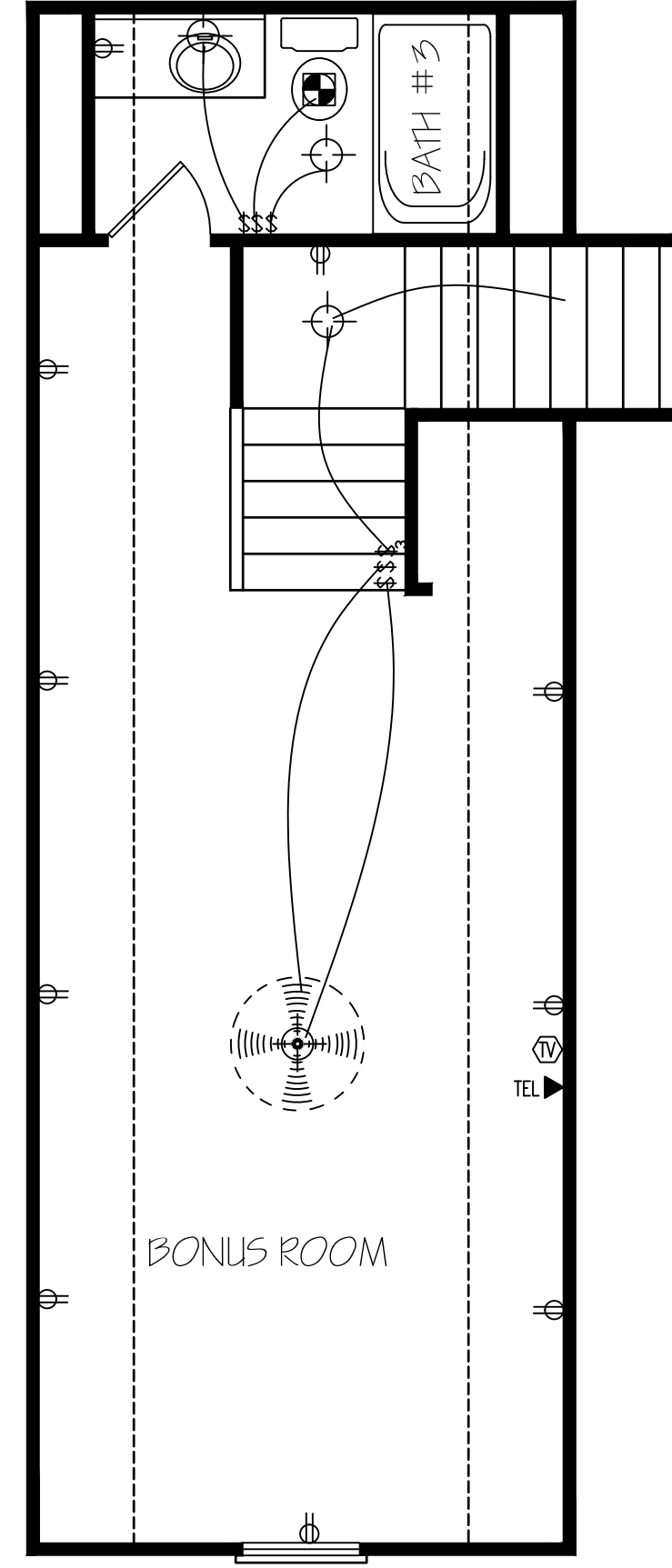
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PLAN NUMBER
 RG25-A07
 OPTION #1

E-1	GARAGE	L	F
	DATE:	11/5/20	



HERO PACKAGE

SECOND FLOOR
ELECTRICAL LAYOUT

EXCLUSIVE RESIDENCE DESIGN FOR:

WATERMARK HOMES

NAME: RIVER OAK III

LOT: 46 SOUTH CREEK

T M DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

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PLAN NUMBER
RG25-A07

OPTION #1

E-2	GARAGE	L	F
	DATE:	11/5/20	



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

THIS IS A TRUSS LAYOUT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the discretion of the building designer. The individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for verifying and permitting the design of the truss support structure including headers, beams, walls, and columns in the overall building design. The building designer is responsible for providing the building designer with the truss delivery package or online @ boundary.com.

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: **Randy Wilson**

LOAD CHART FOR JACK STUDS

BASED ON TABLES SP1602.01 & 02

NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/BEAM

REACTION (UP TO)	NO. OF STUDS FOR 2" O.C. SPACING	REACTION (UP TO)	NO. OF STUDS FOR 2" O.C. SPACING
1700	1	2950	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		

Dimension Notes

- All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.
- All interior wall dimensions are to face of frame wall unless noted otherwise.
- All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

Roof Area = 4663.54 sq. ft.
Ridge Line = 122.39 ft.
Hip Line = 81.64 ft.
Horiz. OH = 228.83 ft.
Raked OH = 157.79 ft.
Decking = 160 sheets

▲ = Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do Not Erect Trusses Backwards

All Walls Shown Are Considered Load Bearing

WALL SCHEDULE

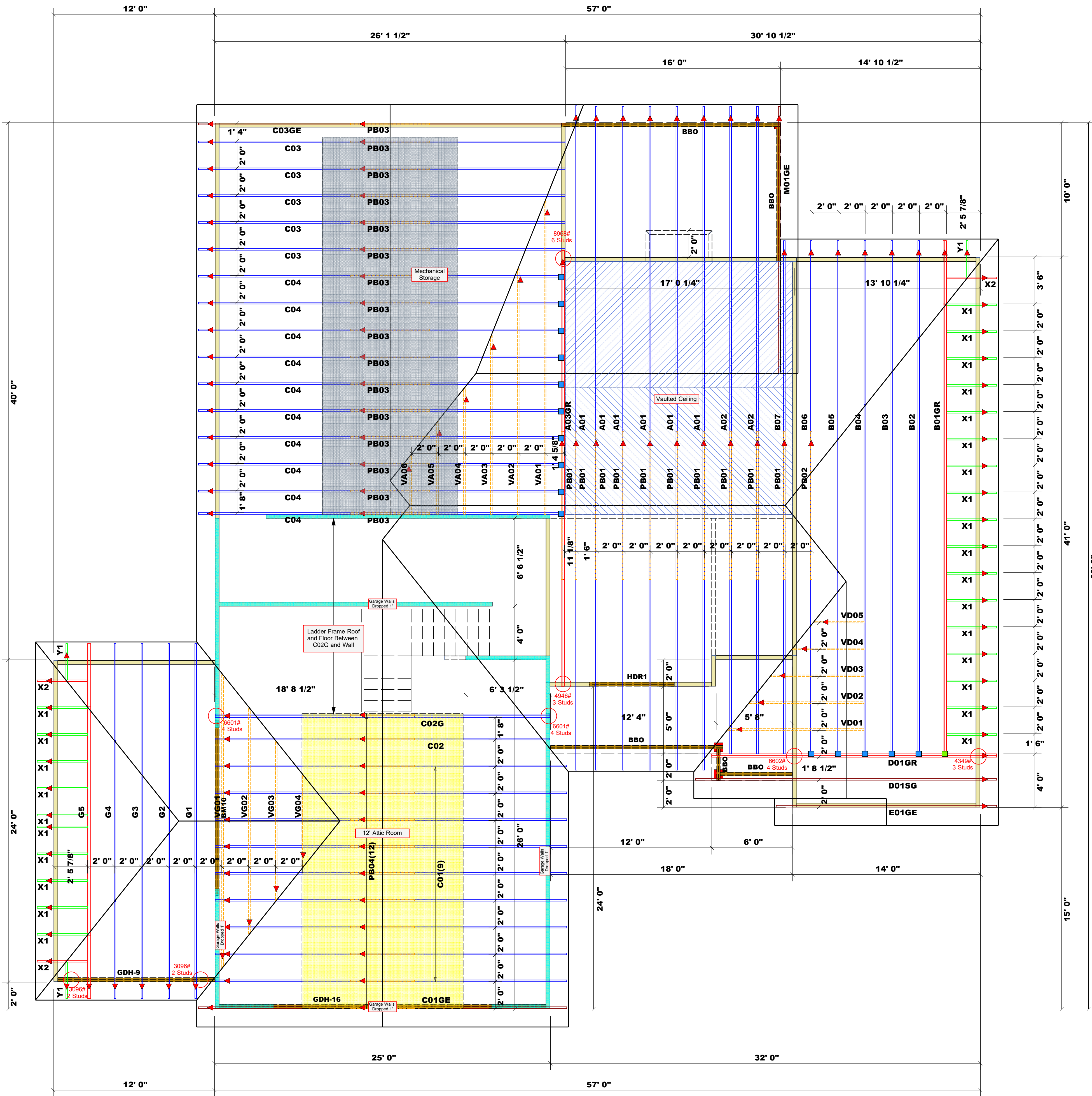
	1st Floor Brg. Wall
	Gar. Walls Dropped
	Non-Bearing Walls

Connector Information				Nail Information		
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
	THD26-2	USP	1	Varies	16d/3-1/2"	10d/3"
	HUS26	USP	15	Varies	16d/3-1/2"	16d/3-1/2"

Beam Schedule

PlotID	Length	Product	Plies	Net Qty
HDR1	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
GDH-16	25' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2
GDH-9	12' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2

For all Beams Labeled BBO Assume (2)2x10 SP#2 or Better U.N.O.



ROOF TRUSS PLACEMENT PLAN
24" O.C. SPACING (TYP. U.N.O.)
SCALE: 1/4" = 1'-0"

BUILDER	Watermark Homes, Inc.	COUNTY	Hammett County
JOB NAME	Lot 46 South Creek	ADDRESS	Lot 46 South Creek
PLAN	River Oak w/ 3rd Car	MODEL	Roof
SEAL DATE	Plan Date: 11/15/20	DATE REV.	11/13/20
QUOTE #	NA	DRAWN BY	Anthony Williams
JOB #	J1120-5330	SALESMAN	Anthony Williams