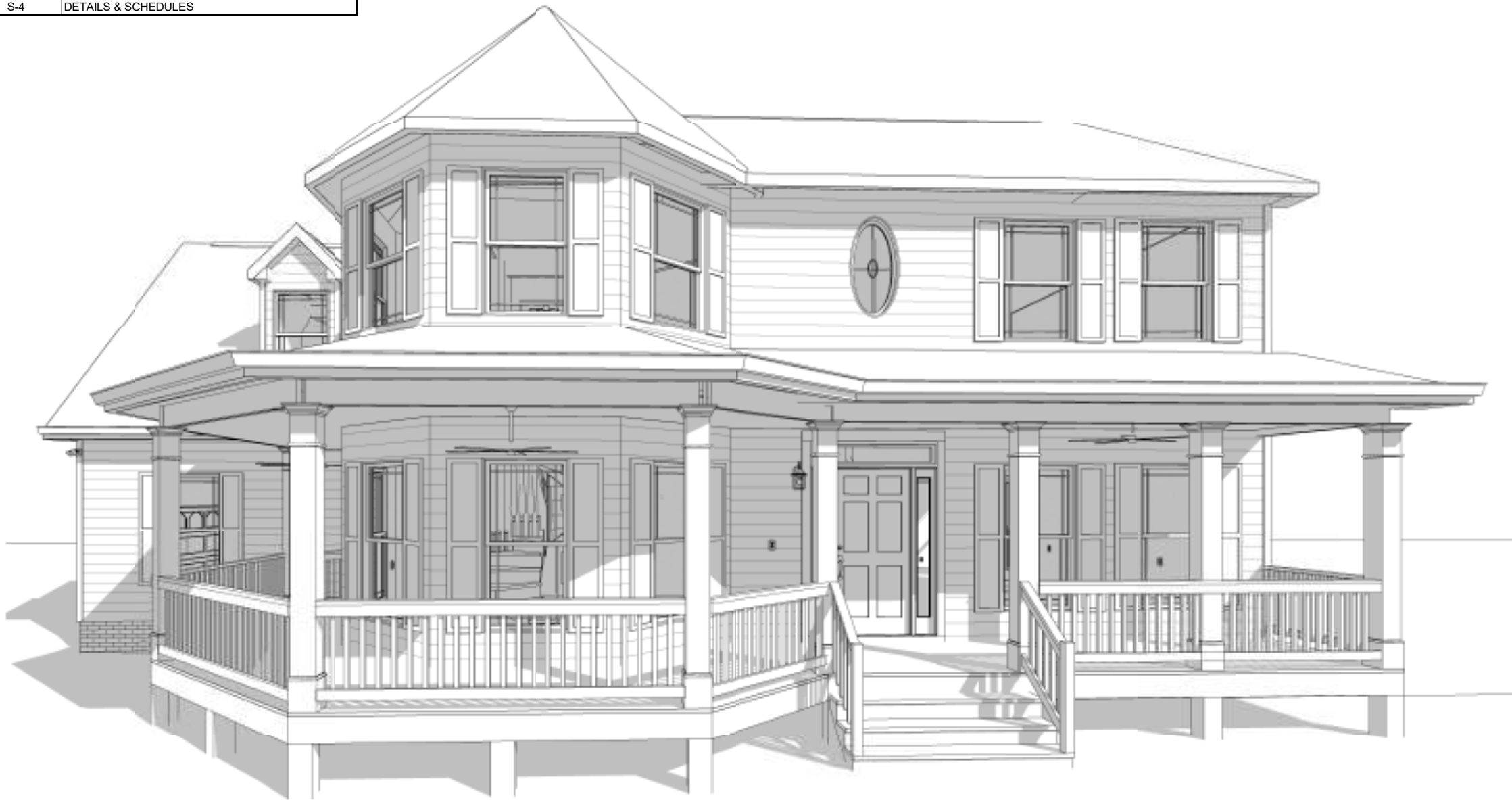


SHEET LIST - CONSTRUCTION

Sheet Number	Sheet Name
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATIONS
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	Foundation Details
F-2	FIRST FLOOR PLAN
F-3	SECOND FLOOR PLAN
H-1	FIRST FLOOR ELECTRICAL & HVAC PLAN
H-2	SECOND FLOOR ELECTRICAL PLAN
S-1	DETAILS & SECTIONS
S-3	FRAMING DETAILS
S-4	DETAILS & SCHEDULES



1 FRONT VIEW

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS & MIN. (1) JACK STUD & (1) KING STUD ON EACH SIDE UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE-68"
DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- THERMA-PLY BEHIND TUBS & SHOWERS REQ'D.
- INSULATED & SEALED DISAPPEARING STAIR REQ'D.
- 16" GAUGE STRAPPING & 2" WASHERS REQ'D. @ GARAGE DOOR PORTAL WALLS
- MIN. R15 WALL, R19 FLOOR, & R38 ATTIC INSULATION VALUES REQUIRED
- ARCHITECTURAL & ENGINEERED PLANS SHALL COMPLY WITH 2018 NC RESIDENTIAL CODE

FOUNDATION NOTES

- TYPICAL FOUNDATION WALL: 4" BRICK w/ 4" BLOCK ON (2) 8" BASE BLOCK ON TOP OF 16" X 8" D. POURED CONCRETE FOOTING
- ADD **DOUBLE** FLOOR JOIST UNDER PARALLEL WALLS ABOVE AS NOTED ON PLAN
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE. VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- ALL INTERIOR PIER TO BE FILLED WHEN OVER 4 BLOCK
- NOTCH SILL PLATE AROUND DROPPED BEAMS
- FILL ALL CELLS SOLID UNDER BEAM POCKETS
- POLY REQ'D. IN CRAWL
- (2) #4 REBAR REQUIRED IF SOIL BEARING IS LESS THAN 2000 PSI

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

Revision Schedule	
Revision Number	Revision Description
1	PRELIMINARY
2	Final Review
	2/23/21
	03/23/21

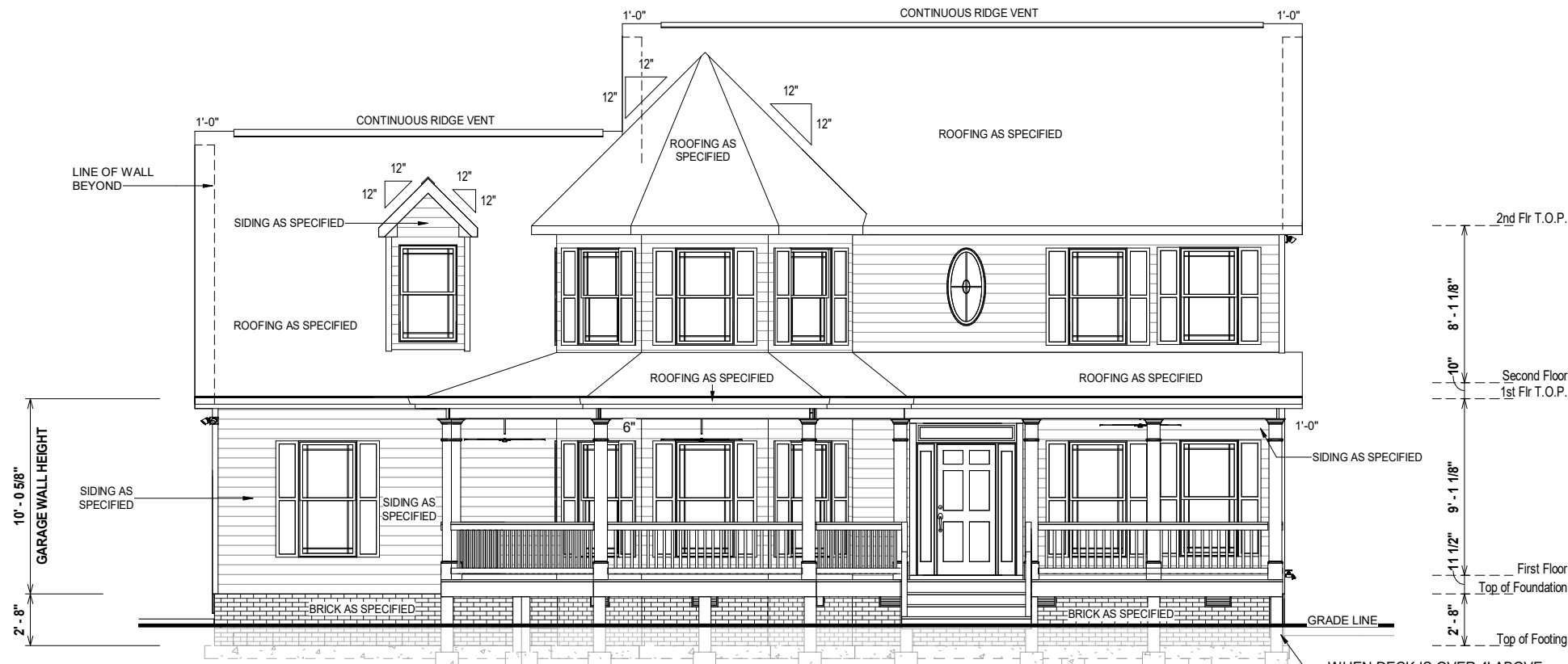
AREAS:	
FIRST FLOOR HEATED	1,173 SF
SECOND FLOOR HEATED	1,507 SF
COVERED PORCH	2,680 SF
GARAGE	357 SF
TOTAL UNDER ROOF	562 SF
STD STOOP	909 SF
	3,589 SF
	28 SF

THE **HILL IV MOD FARMHOUSE**
 FOR: **WALDON, CHRIS AND SHAUNA**
 190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
 OFFICE: HILLSBOROUGH, NC
 SOLD BY: DORIAN

JOB# **54-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **CRAWL SPACE**
 DRAWN BY: EDU A-GUIMET
 CHECKED BY: S. THOMPSON
 PRINT DATE: 3/23/2021 7:46:08 PM



PROPERTY OF: [Logo]
 SHEET NUMBER: **C-0**
 COVER SHEET



2 FRONT ELEVATION
1/8" = 1'-0"



1 REAR ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE FASCIA BOARD
- FINAL GRADE TO BE DETERMINED ON SITE: FOUNDATION DRAWN AS REPRESENTATION ONLY
- FOOTINGS TO BE LOCATED BELOW FROST LINE: (SEE LOCAL CODES)
- RAILINGS SHOWN ON ELEVATIONS ARE FOR ILLUSTRATION ONLY: ACTUAL RAIL DETAIL WILL VARY PER LOCATION

7:12 O.W.H. = 8 3/16"
4:12 PORCH O.W.H. = 4"
 (ALL ADJOINING EAVES TO LINE UP)

Revision Number	Revision Description	Revision Date
1	PRELIMINARY	2/23/21

AREAS:	1,173 SF	1,507 SF	357 SF	562 SF	909 SF	3,589 SF	28 SF
FIRST FLOOR HEATED							
SECOND FLOOR HEATED							
COVERED PORCH							
GARAGE							
TOTAL UNDER ROOF							
STD STOOP							

THE **HILL IV MOD FARMHOUSE**
 FOR: **WALDON, CHRIS AND SHAUNA**
 190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
 OFFICE: HILLSBOROUGH, NC
 SOLD BY: DORIAN

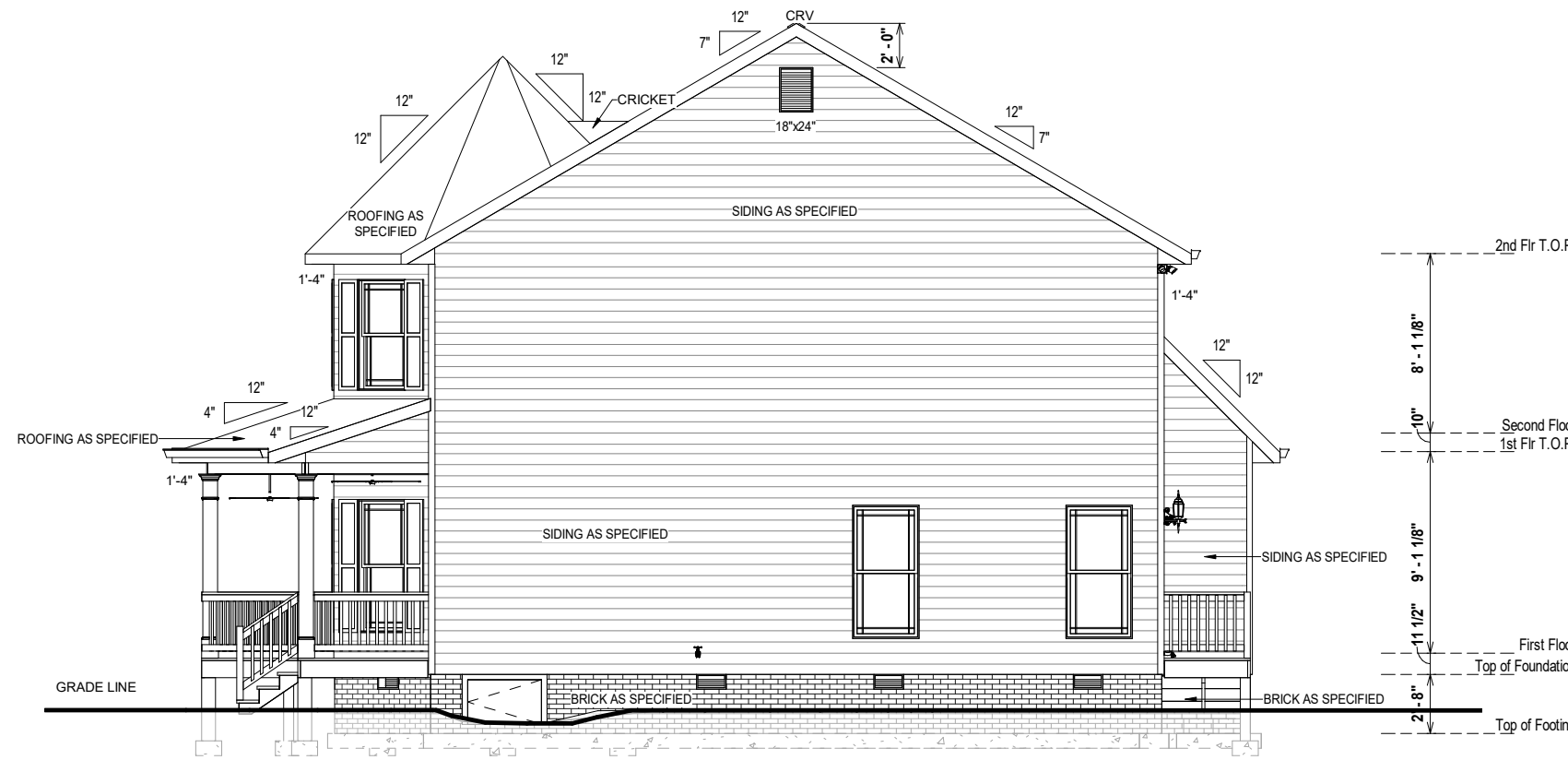
JOB# **54-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **CRAWL SPACE**
 DRAWN BY: EDU A-GUIMET
 CHECKED BY: S. THOMPSON
 PRINT DATE: 3/23/2021 7:46:06 PM

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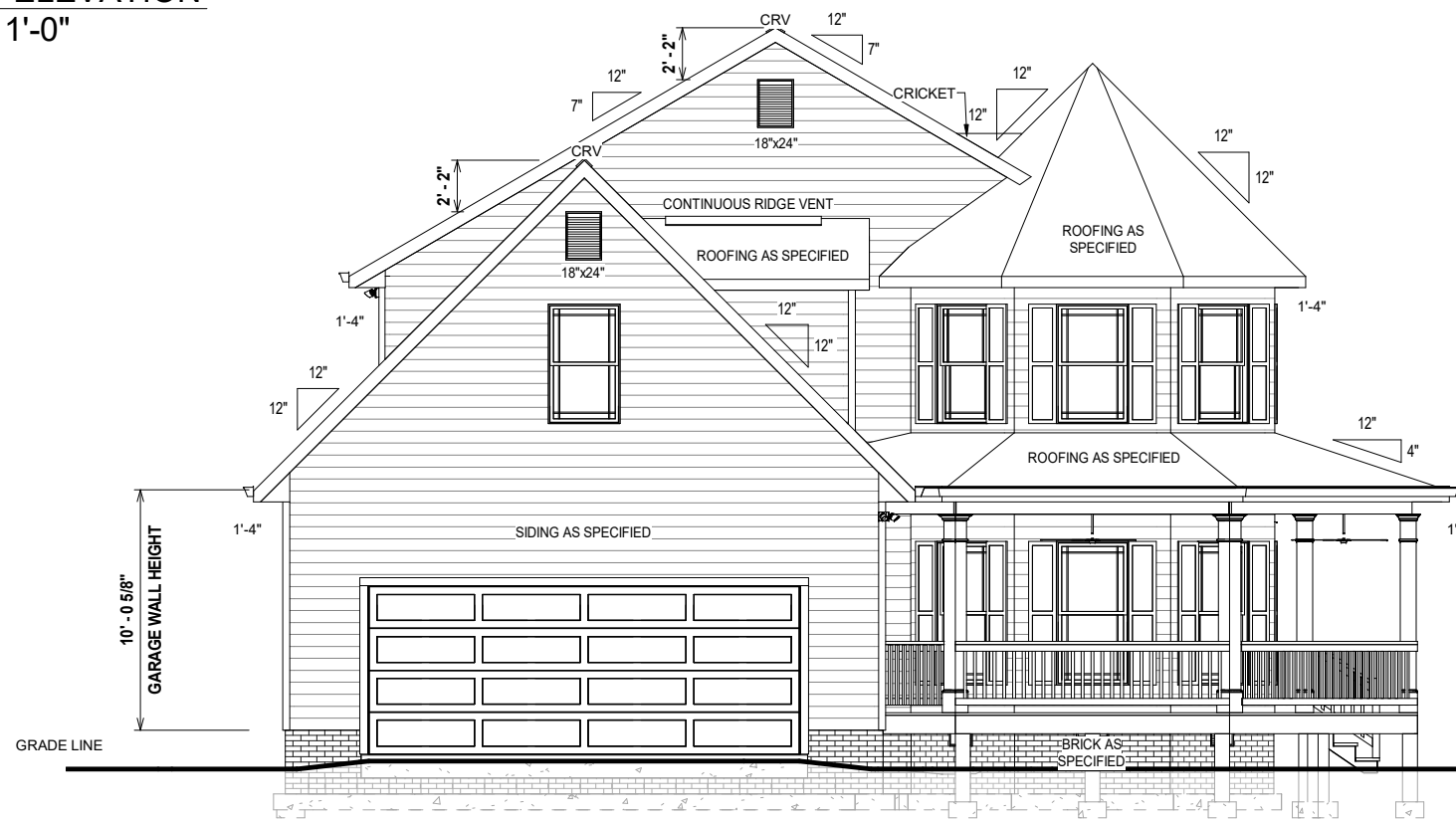
SHEET NUMBER: **E-1**

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FRONT & REAR ELEVATIONS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
PERMIT CONSTRUCTION PLANS



1 RIGHT ELEVATION
1/8" = 1'-0"

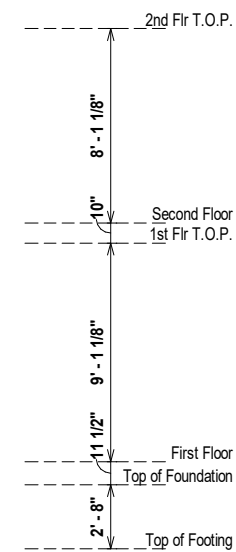


2 LEFT ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

- MIN 9'-1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE FASCIA BOARD
- FINAL GRADE TO BE DETERMINED ON SITE: FOUNDATION DRAWN AS REPRESENTATION ONLY
- FOOTINGS TO BE LOCATED BELOW FROST LINE: (SEE LOCAL CODES)
- RAILINGS SHOWN ON ELEVATIONS ARE FOR ILLUSTRATION ONLY: ACTUAL RAIL DETAIL WILL VARY PER LOCATION

7:12 O.W.H. = 8 3/16"
4:12 PORCH O.W.H.= 4"
 (ALL ADJOINING EAVES TO LINE UP)



OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

Revision Number	Revision Description	Revision Date
1	PRELIMINARY	2/23/21

AREAS:	1,173 SF	1,507 SF	357 SF	562 SF	909 SF	3,589 SF	28 SF
FIRST FLOOR HEATED							
SECOND FLOOR HEATED							
COVERED PORCH							
GARAGE							
TOTAL UNDER ROOF							
STD STOOP							

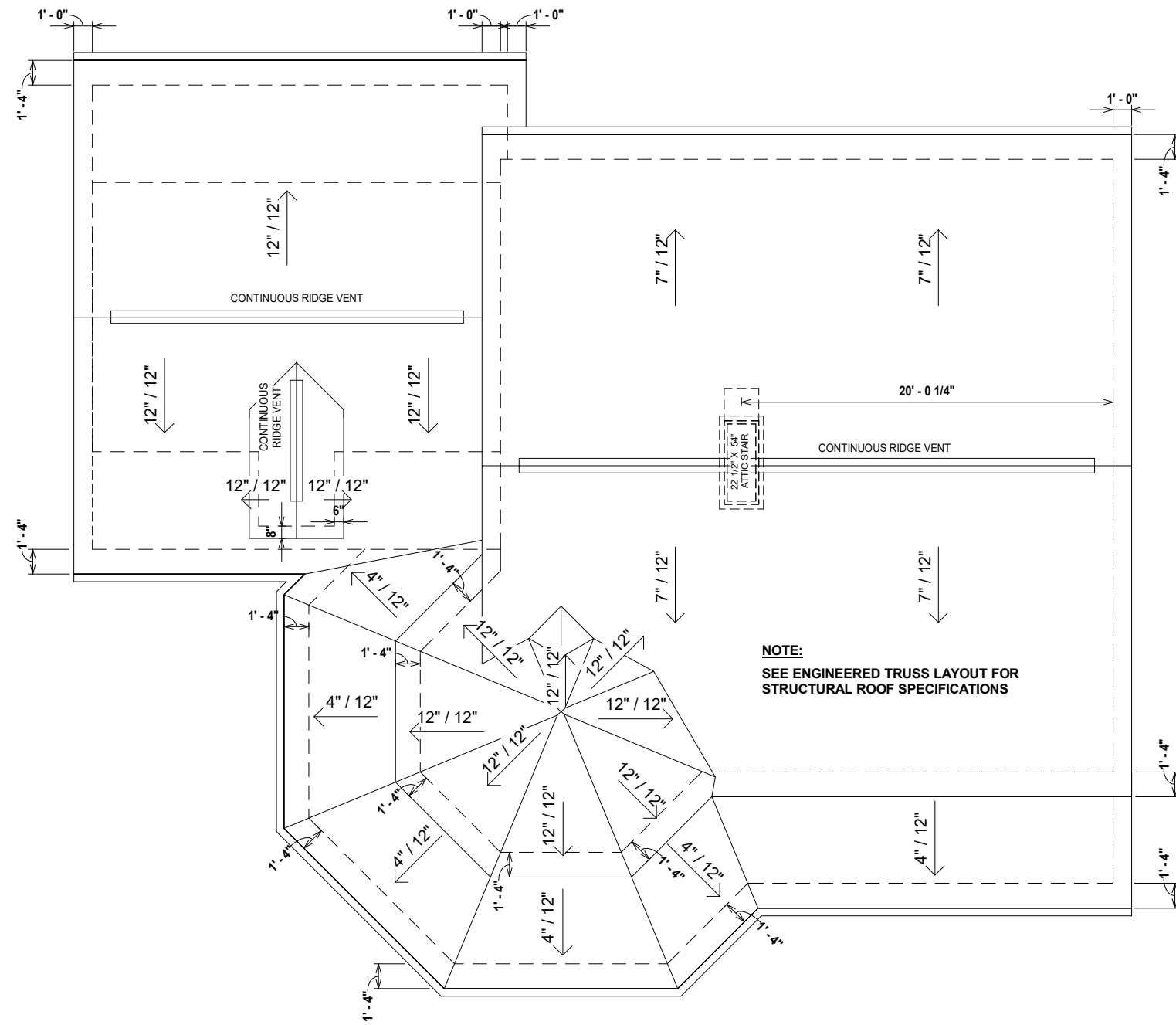
THE **HILL IV MOD FARMHOUSE**
 FOR: **WALDON, CHRIS AND SHAUNA**
 190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
 OFFICE: HILLSBOROUGH, NC
 SOLD BY: DORIAN

JOB# **54-21-001**
2X4 EXTERIOR WALLS
 FOUNDATION TYPE: **CRAWL SPACE**

DRAWN BY: EDU A-GUIMET
 CHECKED BY: S. THOMPSON
 PRINT DATE: 3/23/2021 7:46:07 PM



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 SHEET NUMBER: **E-2**
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LEFT & RIGHT ELEVATIONS



1 ROOF OVERVIEW
1/8" = 1'-0"

7:12 O.W.H. = 8 3/16"
4:12 PORCH O.W.H. = 4"
(ALL ADJOINING EAVES TO LINE UP)

ATTIC VENTILATION:

THE TOTAL NET FREE VENTILATION SHALL NOT BE LESS THAN 1/150 THE AREA OF ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50%, BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3'-0" ABOVE THE SOFFIT VENTILATION INTAKE.

2416 SQ.FT. OF TOTAL ATTIC/150

16.11 SQ.FT. OF NET FREE VENTILATION REQUIRED

2 54.11 ATTIC VENTILATION CALCULATION
3/4" = 1'-0"

Revision Number	Revision Description	Revision Date
1	PRELIMINARY	2/23/21

AREAS:	1,173 SF	1,507 SF	357 SF	562 SF	909 SF	3,589 SF	28 SF
FIRST FLOOR HEATED							
SECOND FLOOR HEATED							
COVERED PORCH							
GARAGE							
TOTAL UNDER ROOF							
STD STOOP							

THE HILL IV MOD FARMHOUSE
FOR: WALDON, CHRIS AND SHAUNA
190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
OFFICE: HILLSBOROUGH, NC
SOLD BY: DORIAN

JOB# 54-21-001
2x4 EXTERIOR WALLS
FOUNDATION TYPE: CRAWL SPACE
DRAWN BY: EDU A-GUIMET
CHECKED BY: S. THOMPSON
PRINT DATE: 3/23/2021 7:46:07 PM

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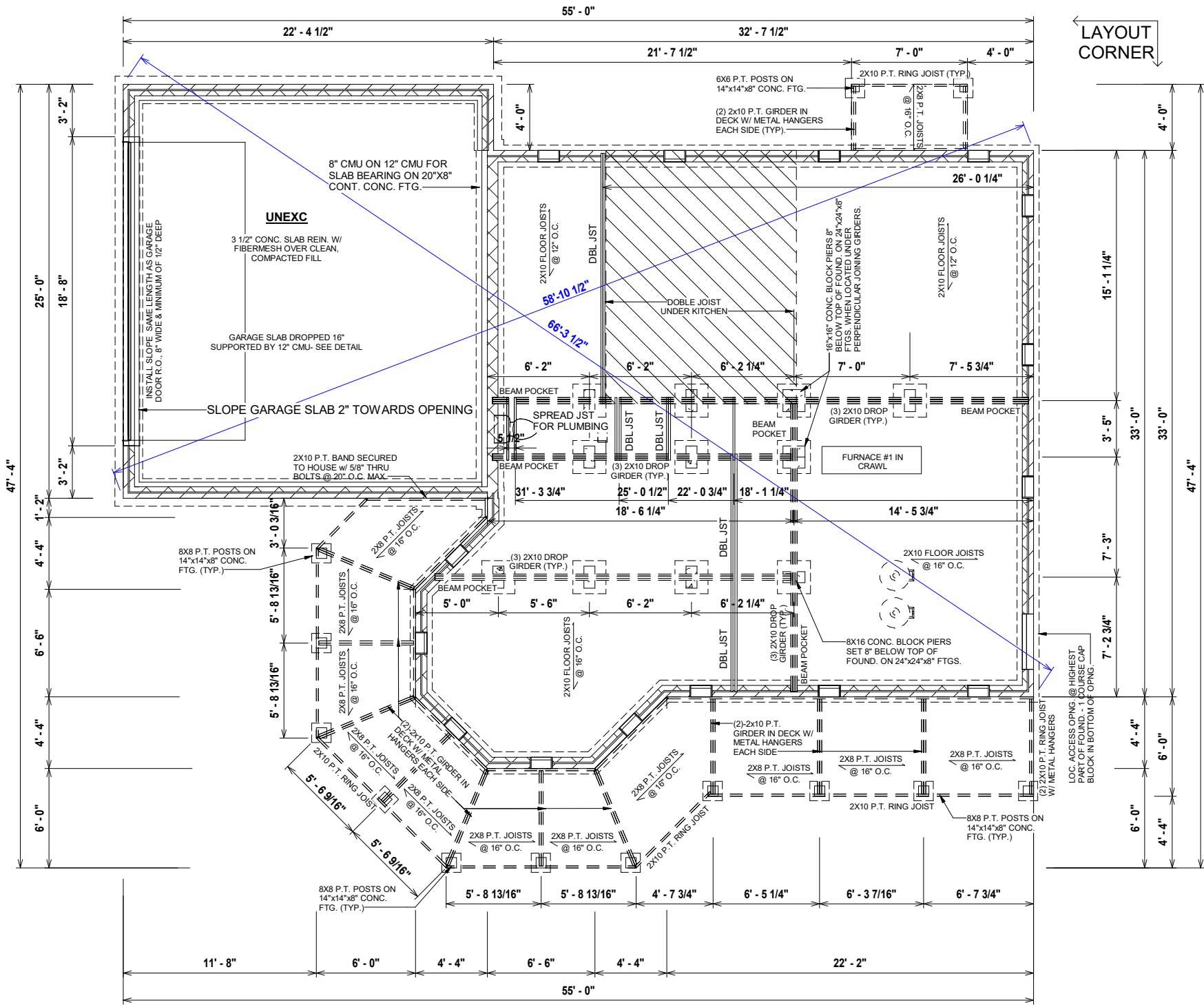
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OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" SCALE: As indicated



1 FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATION NOTES

- TYPICAL FOUNDATION WALL: 4" BRICK w/ 4" BLOCK ON (2) 8" BASE BLOCK ON TOP OF 16" X 8" D. POURED CONCRETE FOOTING
- ADD **DOUBLE** FLOOR JOIST UNDER PARALLEL WALLS ABOVE AS NOTED ON PLAN
- ADD LIGHT AND SWITCH UNDER FLOOR NEAR ACCESS
- CRAWL SPACE VENT & ACCESS DIMENSIONS ARE APPROXIMATE, VENTS & ACCESSES SHOULD BE LOCATED WITHIN CONCRETE BLOCKS, DO NOT LOCATE UNDER BEAMS OR ANY OTHER STRUCTURAL LOCATIONS
- VENTS SHOULD BE INSTALLED PER LOCAL CODE
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- ALL INTERIOR PIER TO BE FILLED WHEN OVER 4 BLOCK
- NOTCH SILL PLATE AROUND DROPPED BEAMS
- FILL ALL CELLS SOLID UNDER BEAM POCKETS
- POLY REQ'D. IN CRAWL
- (2) #4 REBAR REQUIRED IF SOIL BEARING IS LESS THAN 2000 PSI

FOUNDATION VENTILATION:

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET UNDER FLOOR SPACE AND ONE SUCH OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING

EXCEPTION:
THE TOTAL AREA OF VENTILATION MAY BE REDUCED TO 1/1500 OF THE UNDER FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS VENTILATION.

1173 SQ.FT. OF TOTAL CRAWL SPACE/150
7.82 SQ.FT. OF NET FREE VENTILATION REQUIRED

2 54.12 CRAWL VENTILATION CALCULATION
3/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

Revision Schedule	
Revision Number	Revision Description
1	PRELIMINARY
	2/23/21

AREAS:	
FIRST FLOOR HEATED	1,173 SF
SECOND FLOOR HEATED	1,507 SF
COVERED PORCH	2,680 SF
GARAGE	357 SF
TOTAL UNDER ROOF	562 SF
STD STOOP	909 SF
	3,589 SF
	28 SF

THE **HILL IV MOD FARMHOUSE**
FOR: **WALDON, CHRIS AND SHAUNA**
190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
OFFICE: HILLSBOROUGH, NC
SOLD BY: DORIAN

JOB# **54-21-001**
FOUNDATION TYPE: **CRAWL SPACE**
2x4 EXTERIOR WALLS

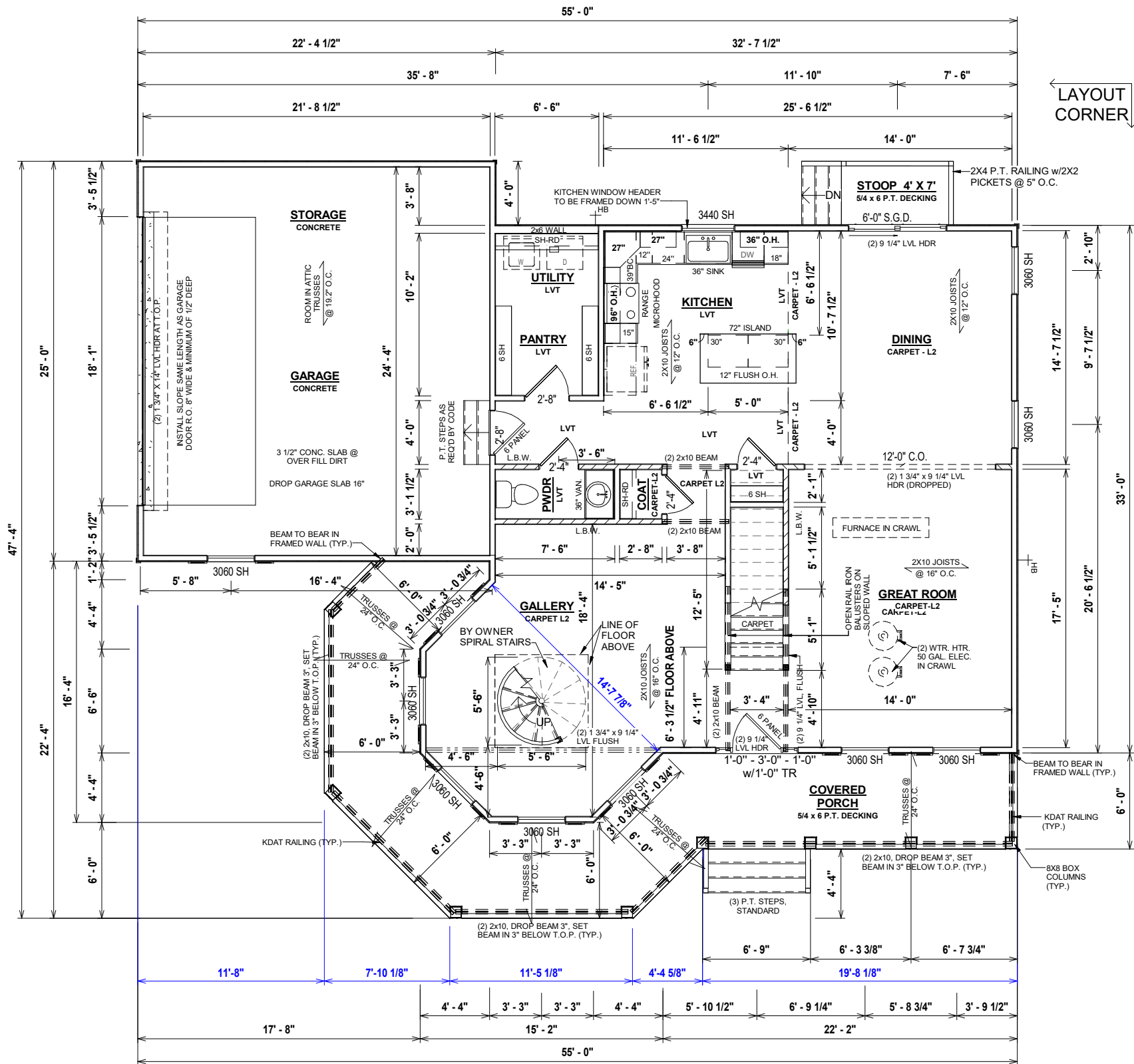
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SHEET NUMBER: **F-1**

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FOUNDATION PLAN



1 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS & MIN. (1) JACK STUD & (1) KING STUD ON EACH SIDE UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:
SINGLE-68"
DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP, & DECK HANDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- THERMA-PLY BEHIND TUBS & SHOWERS REQ'D.
- INSULATED & SEALED DISAPPEARING STAIR REQ'D.
- 16" GAUGE STRAPPING & 2" WASHERS REQ'D. @ GARAGE DOOR PORTAL WALLS.
- MIN. R15 WALL, R19 FLOOR, & R38 ATTIC INSULATION VALUES REQUIRED
- ARCHITECTURAL & ENGINEERED PLANS SHALL COMPLY WITH 2018 NC RESIDENTIAL CODE

SPECIAL NOTES

- PAINT - UPGRADE TO SATIN PAINT (OR EGGLESHELL)

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

Revision Schedule	
Revision Number	Revision Description
1	PRELIMINARY

AREAS:	
FIRST FLOOR HEATED	1,173 SF
SECOND FLOOR HEATED	1,507 SF
COVERED PORCH	2,680 SF
GARAGE	357 SF
TOTAL UNDER ROOF	562 SF
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	3,589 SF
	28 SF

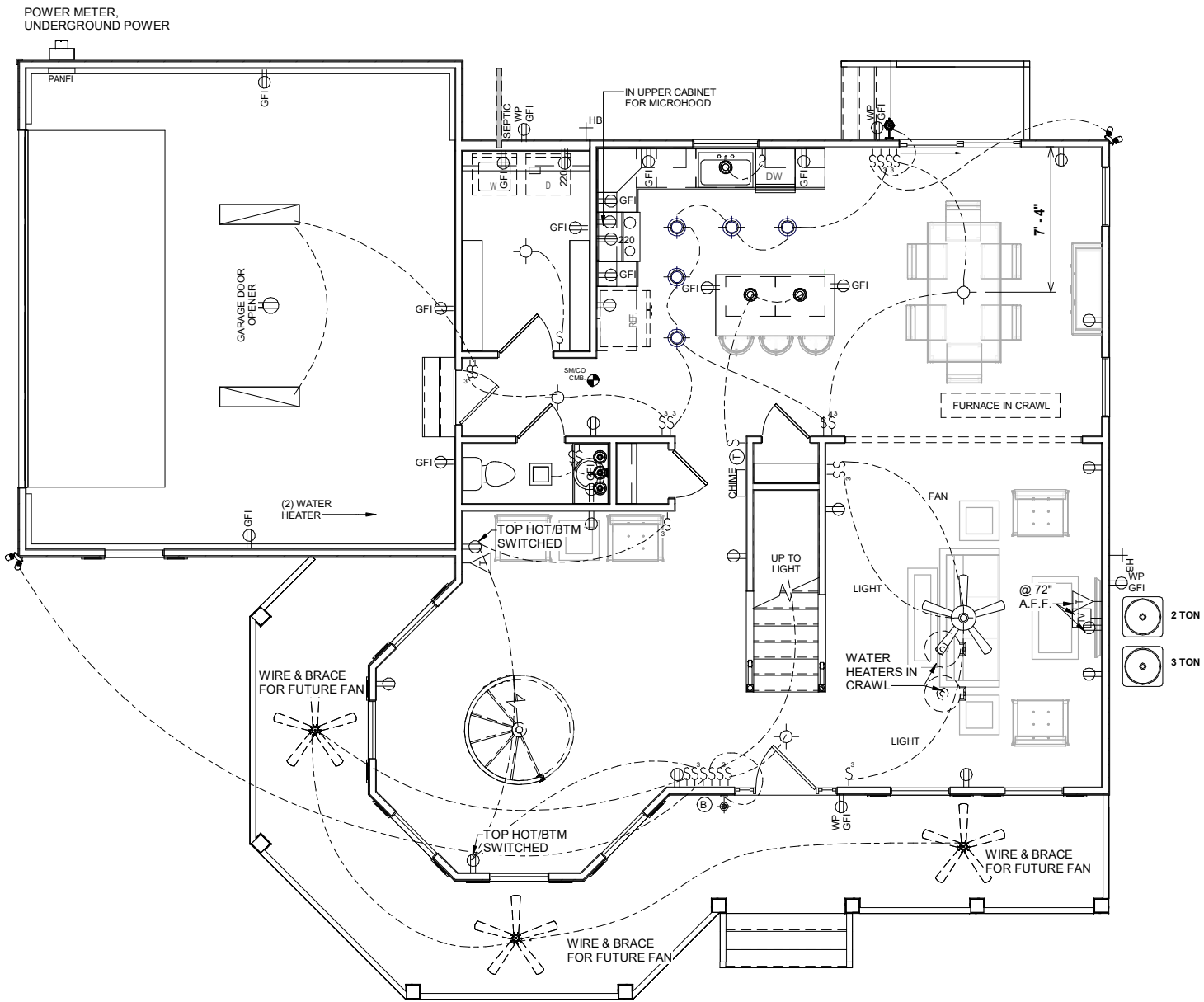
THE **HILL IV MOD FARMHOUSE**
FOR: **WALDON, CHRIS AND SHAUNA**
190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
OFFICE: HILLSBOROUGH, NC
SOLD BY: DORIAN

JOB# **54-21-001**
2X4 EXTERIOR WALLS
FOUNDATION TYPE: **CRAWL SPACE**

DRAWN BY: EDU A-GUIMET
CHECKED BY: S. THOMPSON
PRINT DATE: 3/23/2021 7:46:09 PM



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SHEET NUMBER: **F-2**
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FIRST FLOOR PLAN



1 FIRST FLOOR ELECTRICAL & HVAC PLAN
1/8" = 1'-0"

HVAC NOTES:

- FURN. NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10'-0" AWAY MIN. FROM DRYER VENT
- HVAC, THERMOSTAT, RETURN AIR, AND SUPPLIES TO BE DESIGNED & LOCATED BY MECHANICAL CONTRACTOR

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT. CODE SECT. 210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE
- SERVICE DISCONNECT REQUIRED

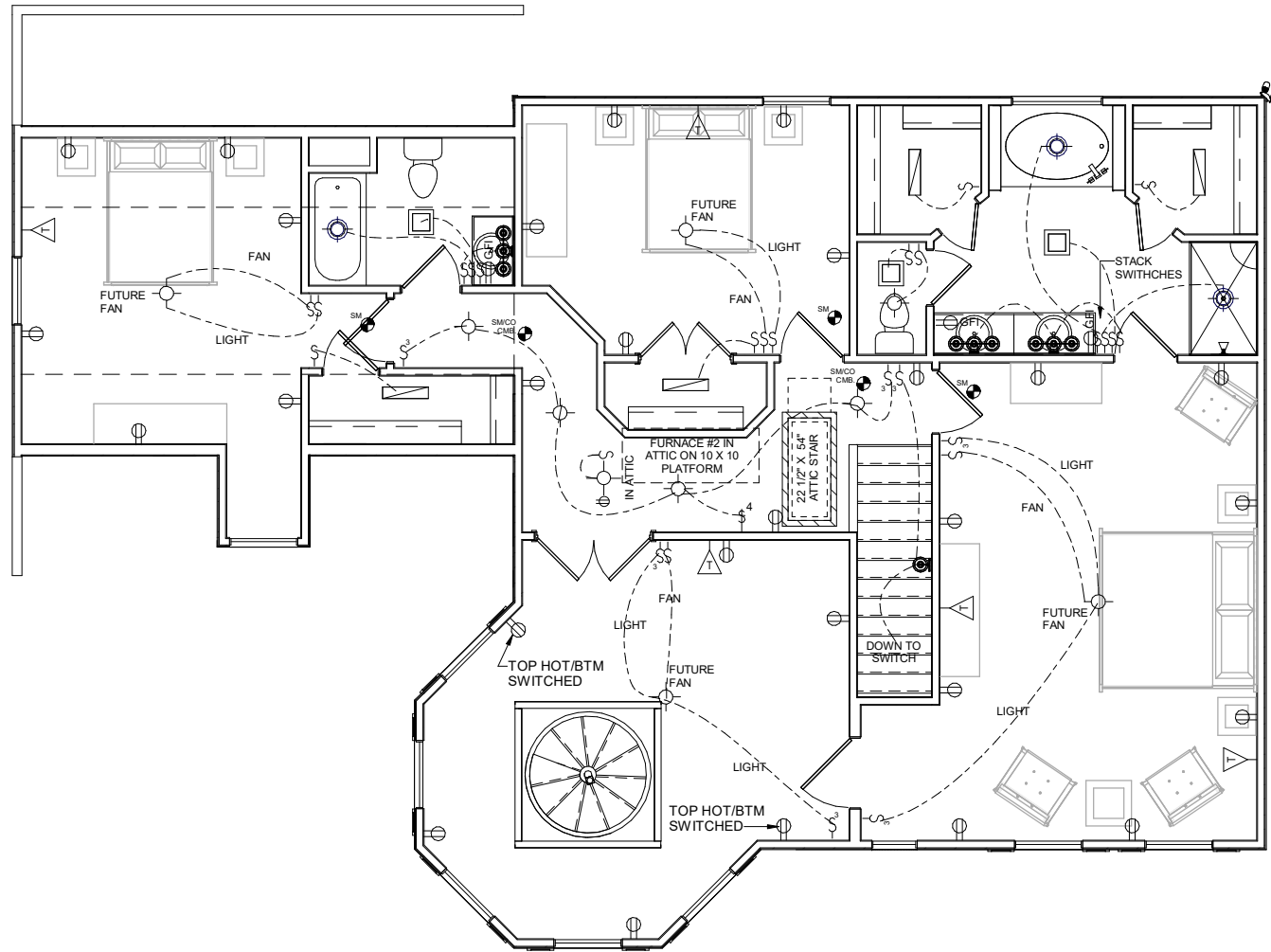
HVAC SYMBOLS (TYPICAL)	
	SUPPLY - CEILING
	SUPPLY - FLOOR
	SUPPLY - WALL
	RETURN AIR - CEILING
	RETURN AIR - FLOOR
	RETURN AIR - WALL

- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE. ACTUAL WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (Attic/Crawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

Revision Schedule	Revision Number	Revision Description	Revision Date
	1	PRELIMINARY	2/23/21
AREAS:	FIRST FLOOR HEATED	1,173 SF	
	SECOND FLOOR HEATED	1,507 SF	
	COVERED PORCH	2,680 SF	
	GARAGE	357 SF	
	TOTAL UNDER ROOF	562 SF	909 SF
STD STOOP	3,589 SF		28 SF
THE HILL IV MOD FARMHOUSE	FOR: WALDON, CHRIS AND SHAUNA		
	190 Fred Burns Rd Holly Springs, NC 27540 Wake Co		
JOB#	54-21-001	FOUNDATION TYPE: CRAWL SPACE	
	2x4 EXTERIOR WALLS		
DRAWN BY:	EDU A-GUIMET	CHECKED BY:	S. THOMPSON
PRINT DATE:	3/23/2021	7:46:10 PM	
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SHEET NUMBER:	H-1	© COPYRIGHT - 2021	
FIRST FLOOR ELECTRICAL & HVAC PLAN		HILLSBOROUGH, NC	

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
PERMIT CONSTRUCTION PLANS



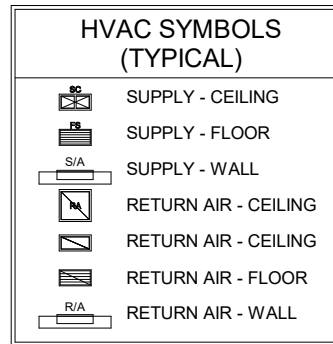
1 SECOND FLOOR ELECTRICAL & HVAC PLAN
1/8" = 1'-0"

HVAC NOTES:

- FURN. NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10'-0" AWAY MIN. FROM DRYER VENT
- HVAC, THERMOSTAT, RETURN AIR, AND SUPPLIES TO BE DESIGNED & LOCATED BY MECHANICAL CONTRACTOR

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT. CODE SECT. 210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE
- SERVICE DISCONNECT REQUIRED



- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE. ACTUAL WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

Revision Number	Revision Description	Revision Date
1	PRELIMINARY	2/23/21

AREAS:	FIRST FLOOR HEATED	SECOND FLOOR HEATED	COVERED PORCH	TOTAL UNDER ROOF	STD STOOP
	1,173 SF	1,507 SF	357 SF	909 SF	28 SF
		2,680 SF	562 SF	3,589 SF	

THE **HILL IV MOD FARMHOUSE**
 FOR: **WALDON, CHRIS AND SHAUNA**
 190 Fred Burns Rd Holly Springs, NC 27540 Wake Co
 OFFICE: HILLSBOROUGH, NC
 SOLD BY: DORIAN

JOB# **54-21-001**
2x4 EXTERIOR WALLS
 FOUNDATION TYPE: **CRAWL SPACE**
 DRAWN BY: EDU A-GUIMET
 CHECKED BY: S. THOMPSON
 PRINT DATE: 3/23/2021 7:46:10 PM

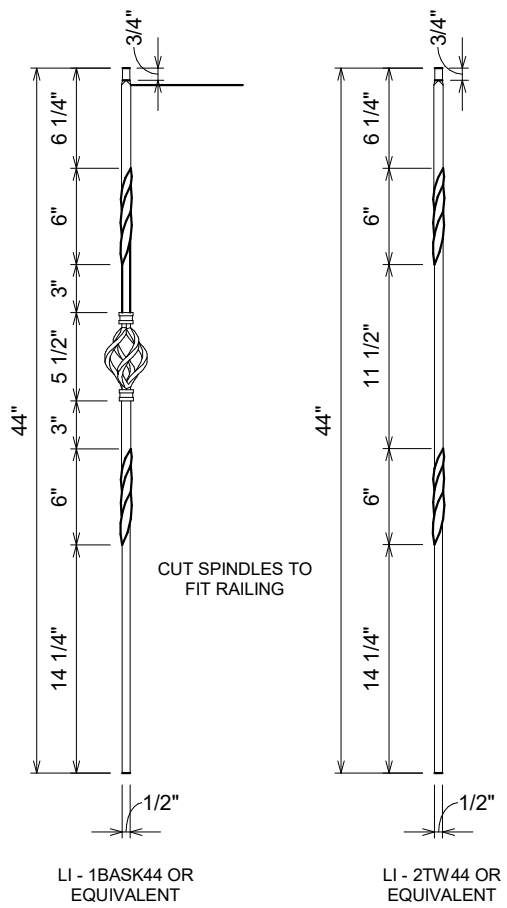
PROPERTY OF:

SHEET NUMBER: **H-2**

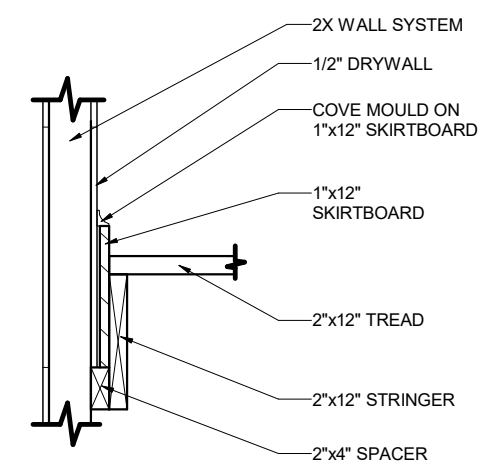
© COPYRIGHT - 2021 **SECOND FLOOR ELECTRICAL PLAN**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

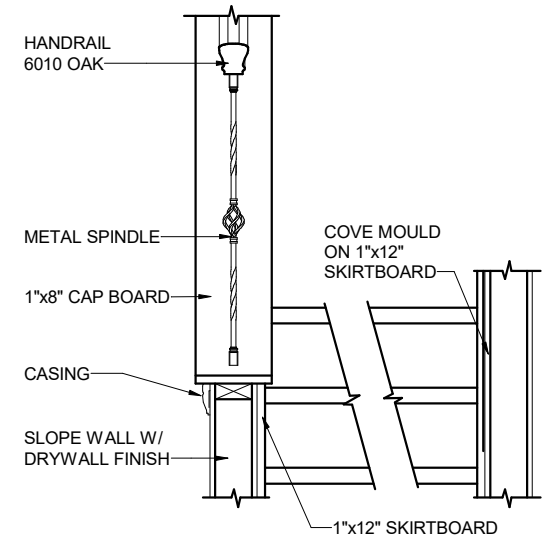
PERMIT CONSTRUCTION PLANS



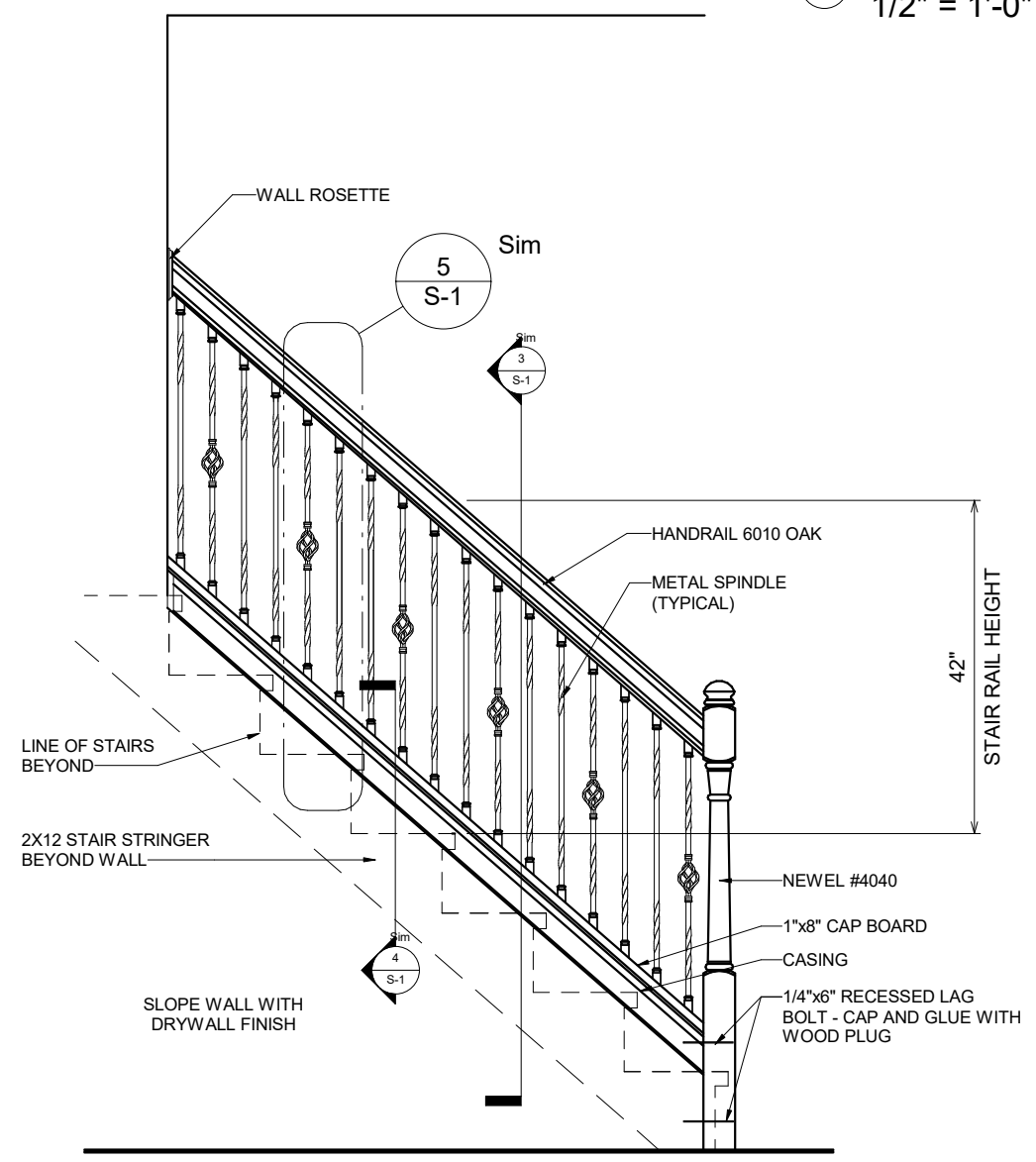
5 STAIR SPINDLE DETAIL
1" = 1'-0"



4 STAIR SECTION THRU STRINGER
3/4" = 1'-0"



3 STAIR TRIM @ SLOPED WALL
1/2" = 1'-0"



2 STAIR SLOPED WALL AT RAILING
1/2" = 1'-0"

Revision Number	Revision Description	Revision Date
1	PRELIMINARY	2/23/21

AREAS:	1,173 SF	1,507 SF	2,680 SF	357 SF	562 SF	909 SF	3,589 SF	28 SF
FIRST FLOOR HEATED								
SECOND FLOOR HEATED								
COVERED PORCH								
GARAGE								
TOTAL UNDER ROOF								
STD STOOP								

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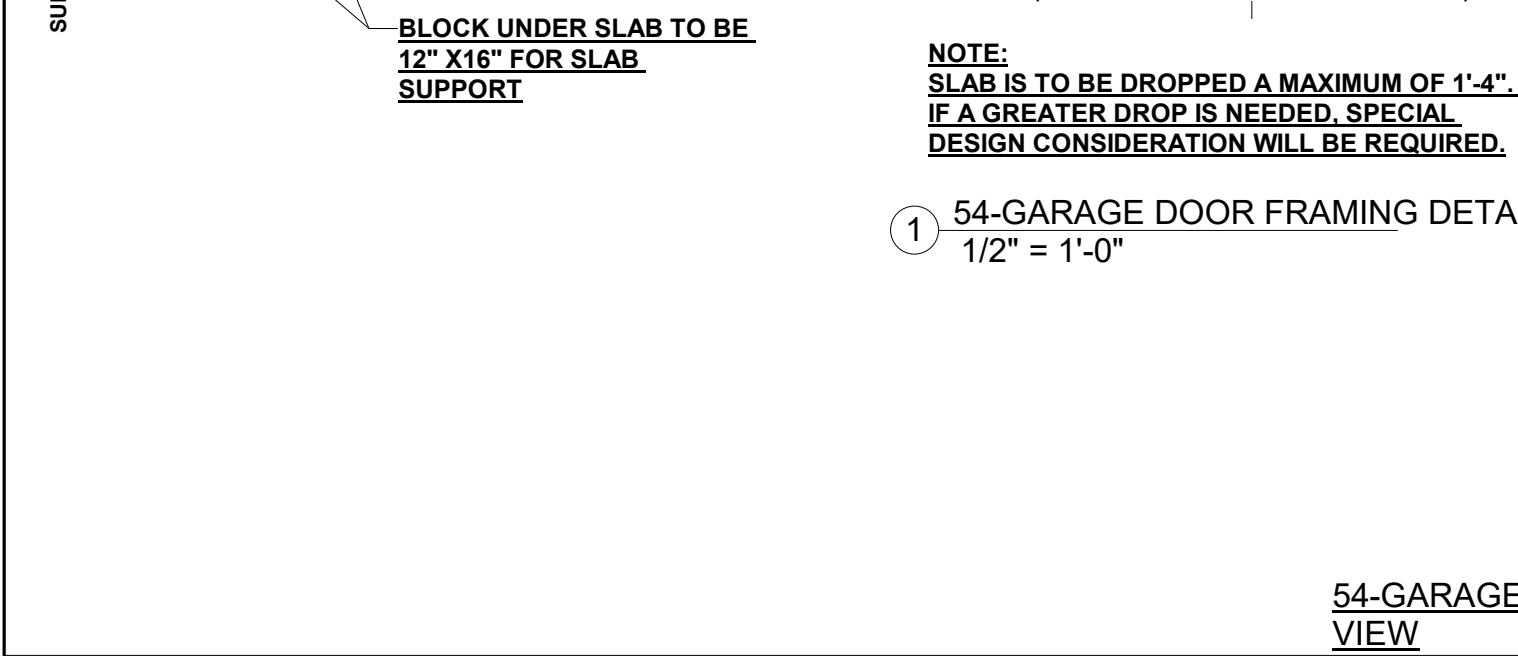
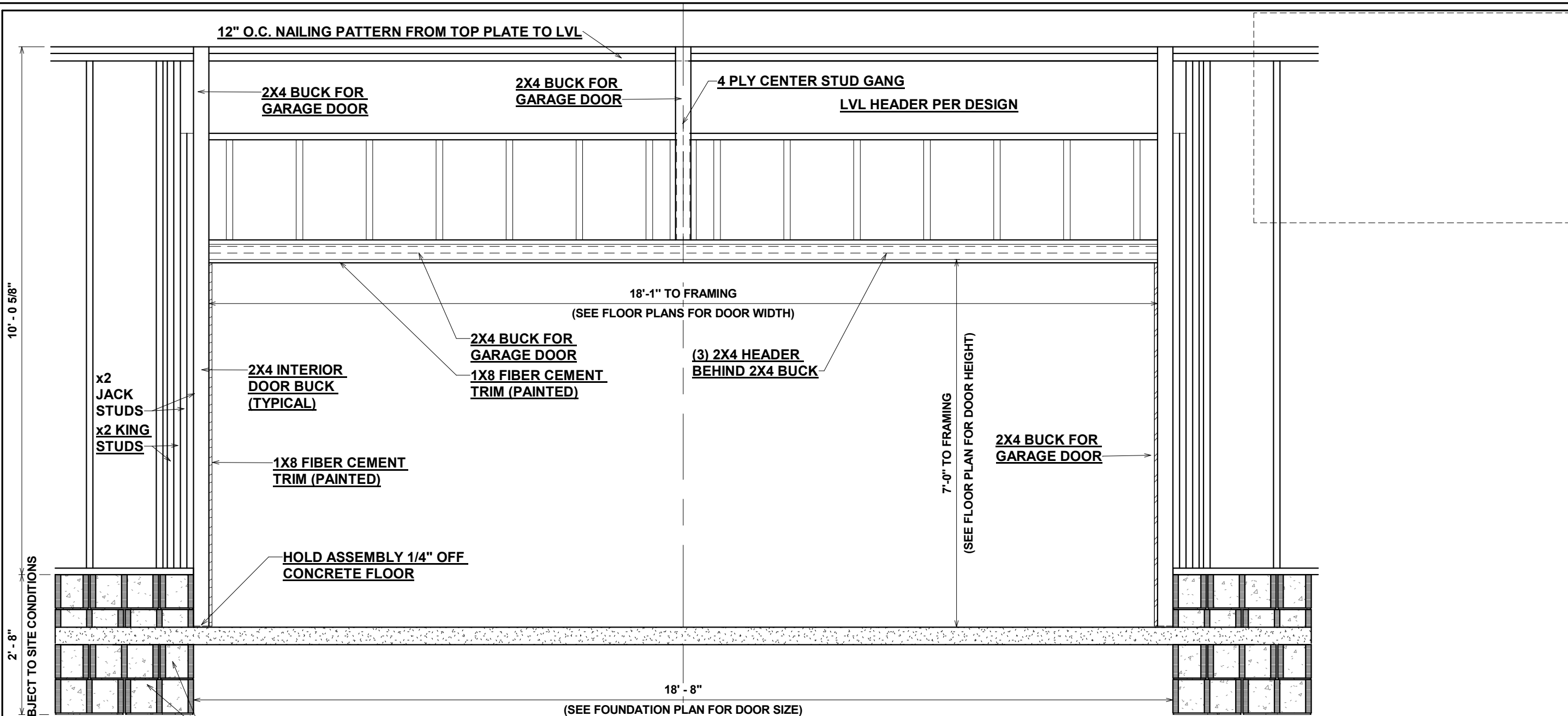
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SHEET NUMBER: **S-1**

DETAILS & SECTIONS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
PERMIT CONSTRUCTION PLANS



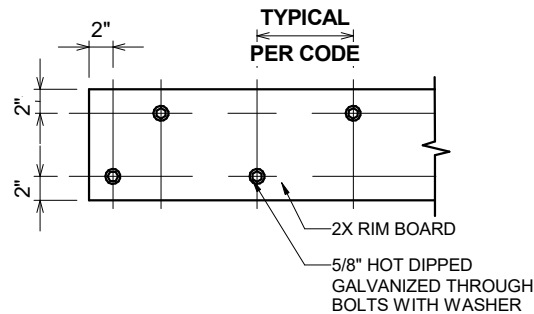
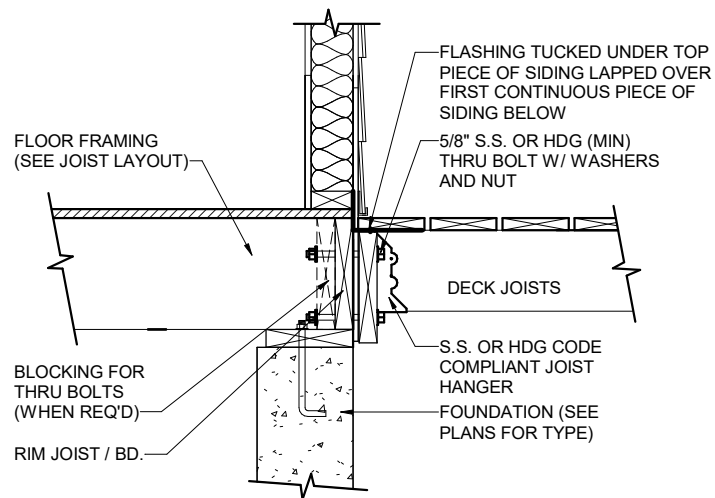
NOTE:
 SLAB IS TO BE DROPPED A MAXIMUM OF 1'-4".
 IF A GREATER DROP IS NEEDED, SPECIAL
 DESIGN CONSIDERATION WILL BE REQUIRED.

1 54-GARAGE DOOR FRAMING DETAIL
 1/2" = 1'-0"

54-GARAGE DOOR FRAMING ENLARGED VIEW

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
PERMIT CONSTRUCTION PLANS

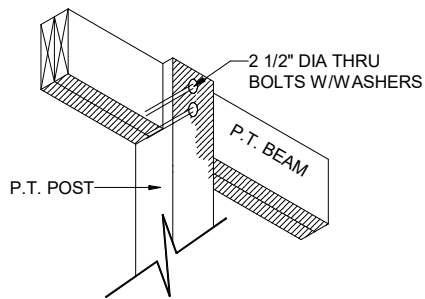
REVISION SCHEDULE Revision Number Revision Description Revision Date							
AREAS: FIRST FLOOR HEATED 1,173 SF SECOND FLOOR HEATED 1,507 SF COVERED PORCH 2,680 SF GARAGE 357 SF TOTAL UNDER ROOF 562 SF STD STOOP 909 SF 3,589 SF		HILL IV MOD FARMHOUSE FOR: WALDON, CHRIS AND SHAUNA 190 Fred Burns Rd Holly Springs, NC 27540 Wake Co		OFFICE: HILLSBOROUGH, NC SOLD BY: DORIAN		JOB# 54-21-001 2X4 EXTERIOR WALLS FOUNDATION TYPE: CRAWL SPACE	
DRAWN BY: EDU A-GUIMET CHECKED BY: S. THOMPSON PRINT DATE: 3/23/2021 7:46:11 PM		PROPERTY OF:		SHEET NUMBER: S-2		© COPYRIGHT - 2021 GARAGE DOOR DETAILS	



FASTENERS	8' MAX. JOIST SPAN	8' MAX. JOIST SPAN
5/8" HOT DIPPED GALV BOLTS W/NUT AND WASHER	1 @ 3'-0" O.C.	1 @ 1'-8" O.C.
AND	AND	AND
12D COMMON HOT DIPPED GALN NAILS	2 @ 8" O.C.	3 @ 6" O.C.

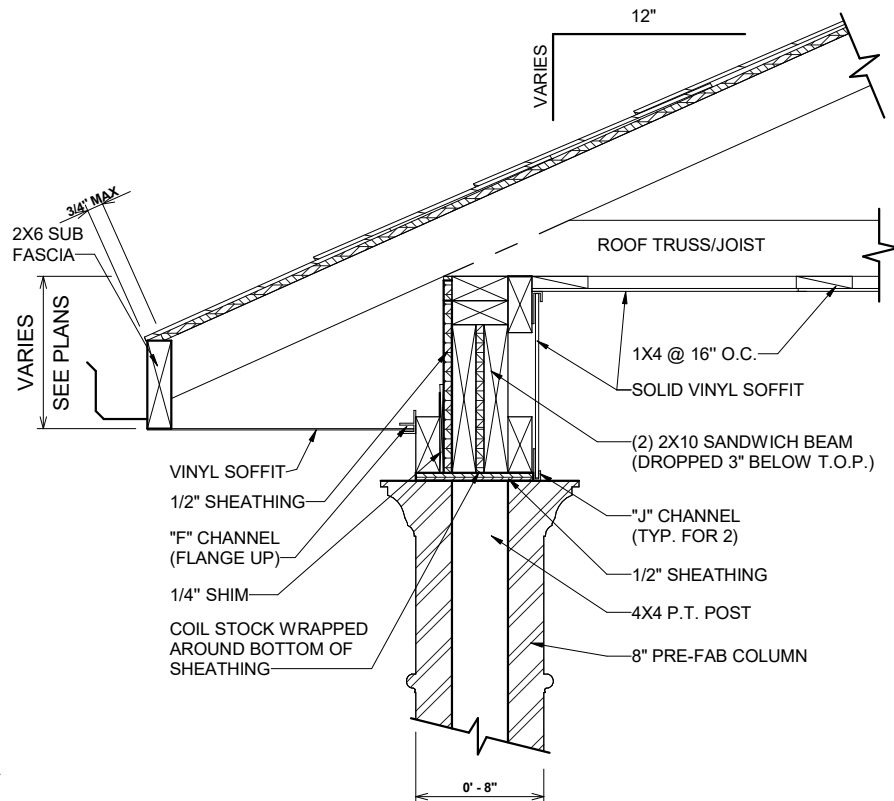
54.6 DECK LEDGER BOARD FASTENER SPACING AND CLEARANCES

3 3/4" = 1'-0"



700.8 DECK - POST TO BEAM (2) 2X CONNECTION

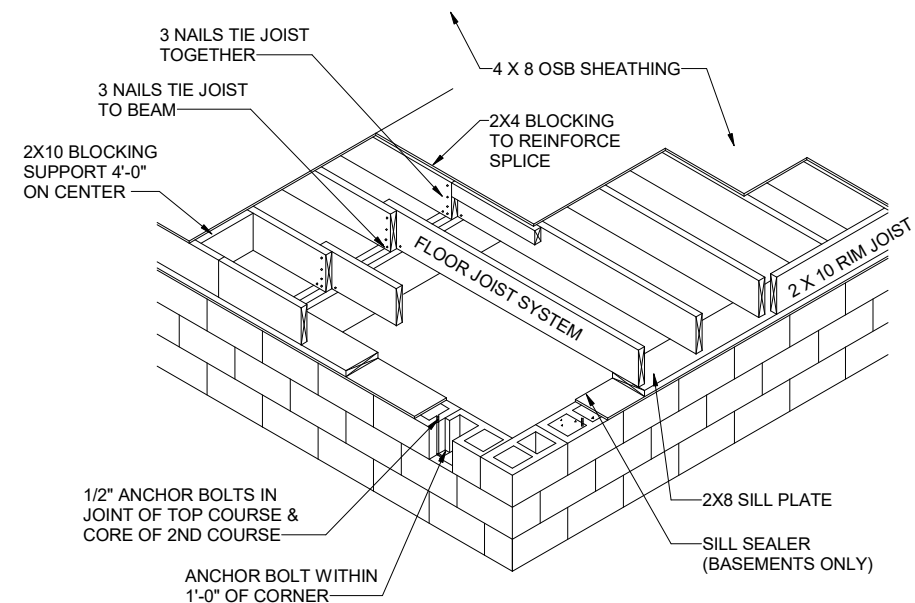
1/8" = 1'-0"



6 54.7b 8" COLUMN PORCH BEAM EVE SOFFIT DETAIL
1" = 1'-0"

54.3 DECK - 2x10 LEDGER CONNECTION

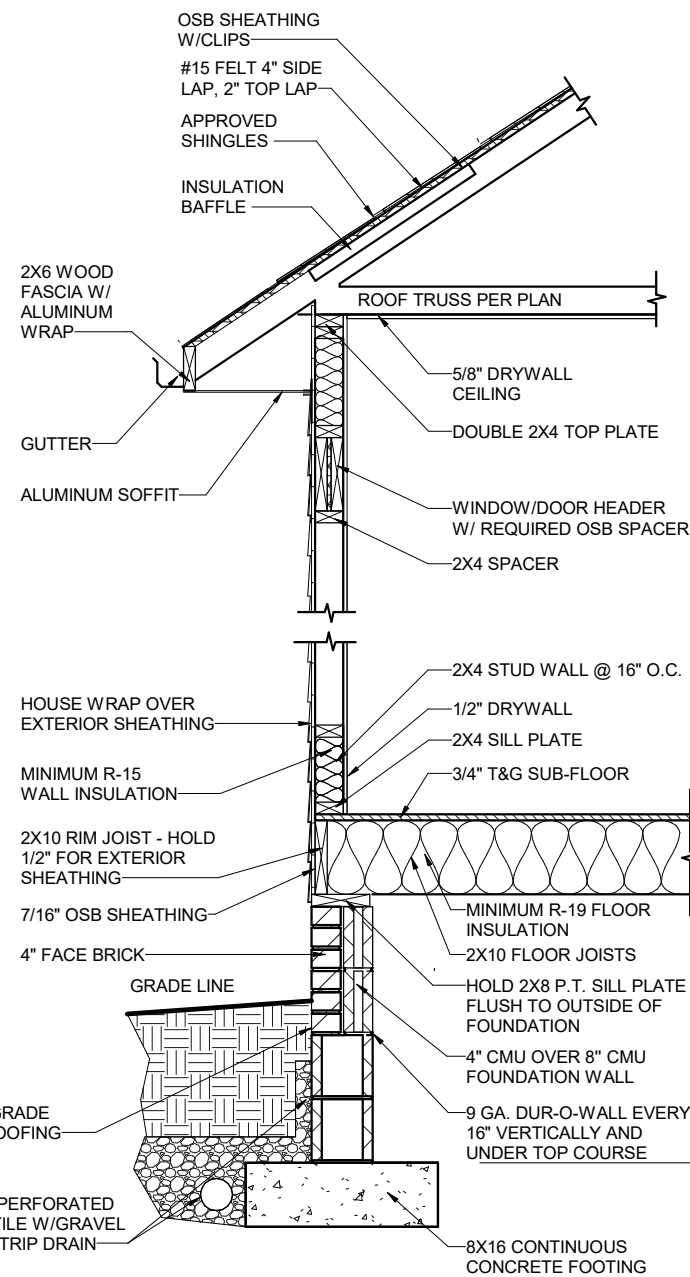
3/4" = 1'-0"



- GENERAL NOTES:**
- 1.) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
 - 2.) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

680.1 Floor Framing Detail

1/4" = 1'-0"



54.2 1 STORY WALL SECTION -SIDING ON BRICK

1/2" = 1'-0" OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

PERMIT CONSTRUCTION PLANS

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SECOND FLOOR HEATED								
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S-3
FRAMING DETAILS

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

SINGLE WINDOW UNITS

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 3/4"	32" X 60 1/4"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 3/4" X 35 1/2"	36 1/4" X 36"
3-0 X 4-0	35 3/4" X 47 1/2"	36 1/4" X 48"
3-0 X 5-0	35 3/4" X 59 3/4"	36 1/4" X 60 1/4"
3-0 X 5-2	35 3/4" X 61 1/2"	36 1/4" X 62"
3-0 X 6-0	35 3/4" X 71 1/2"	36 1/4" X 72"
3-0 X 6-2	35 3/4" X 73 1/2"	36 1/4" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

INSWING UNITS

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 96"

OUTSWING UNITS

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

CENTER HINGED/ FRENCH DOOR...

6-0 X 6-8 CENTER HINGED(INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

SLIDING GLASS DOORS

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

*** FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT***

TWIN/TRIPLE WINDOW UNITS

2-8 X 5-0 TWIN	63 1/8" X 59 3/4"	64 1/8" X 60 1/4"
2-8 X 6-0 TWIN	63 1/8" X 71 1/2"	64 1/8" X 72"
3-0 X 5-0 TWIN	71 5/8" X 59 3/4"	72 5/8" X 60"
3-0 X 6-0 TWIN	71 5/8" X 71 1/2"	72 5/8" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 3/4"	109" X 60 1/4"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	109" X 72"
1-8 / 3-0 / 1-8 X 6-0	75" X 71 1/2"	76 1/2" X 72"
2-0 / 3-0 / 2-0 X 6-0	83" X 71 1/2"	84 1/2" X 72"

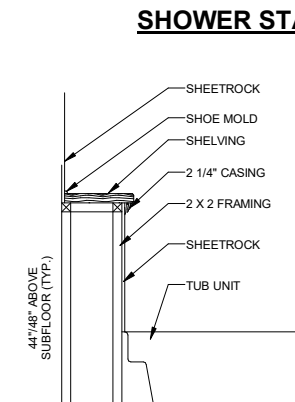
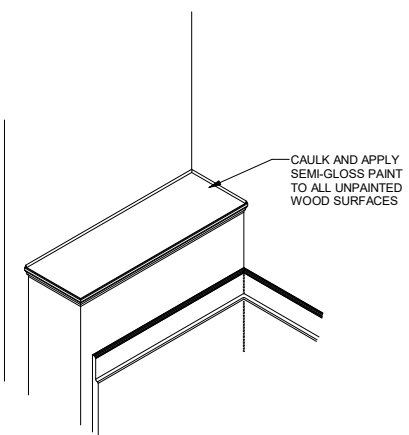
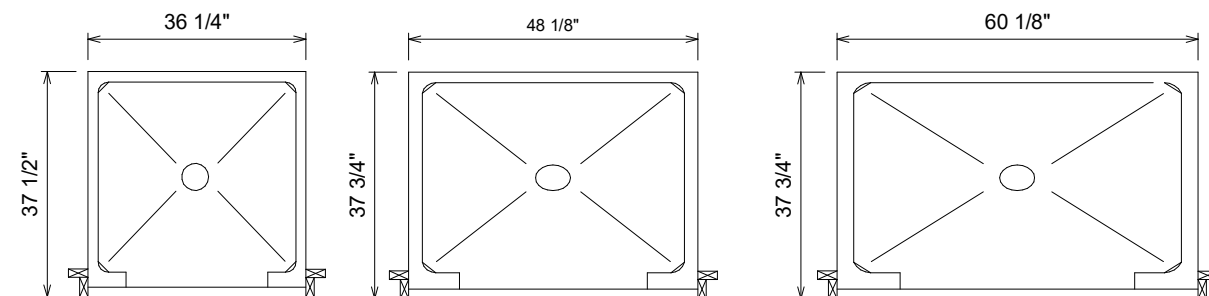
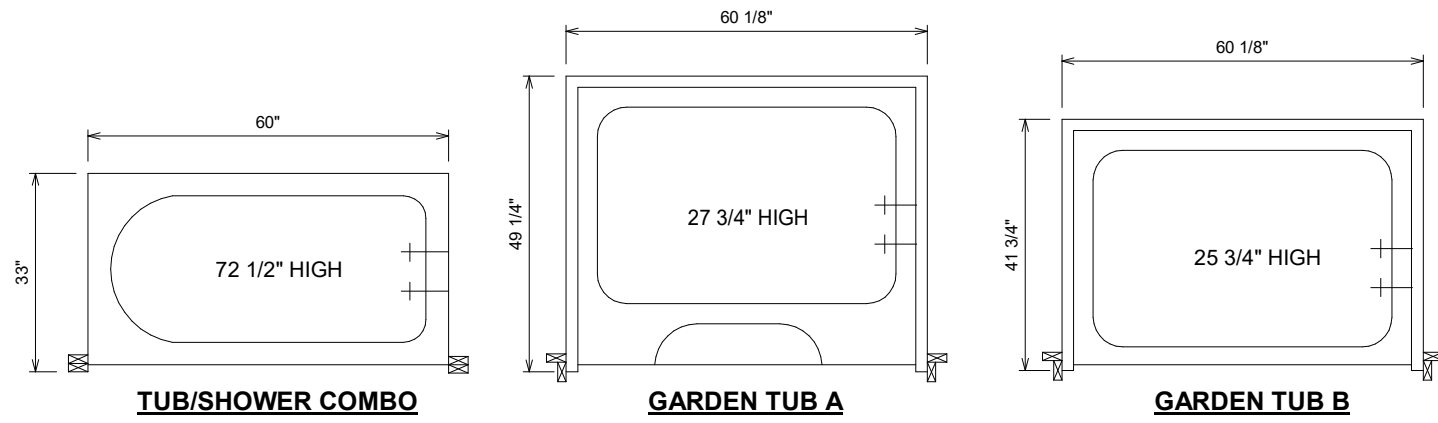
TRANSOM WINDOW UNITS

12" TRANSOM	CALL SIZE + 12 1/8" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14 1/8" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16 1/4" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20 1/8" TO HGT. OF WINDOW
3-0 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20 1/4" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16 1/8" TO HGT. OF WINDOW
3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18 1/4" TO HGT. OF WINDOW

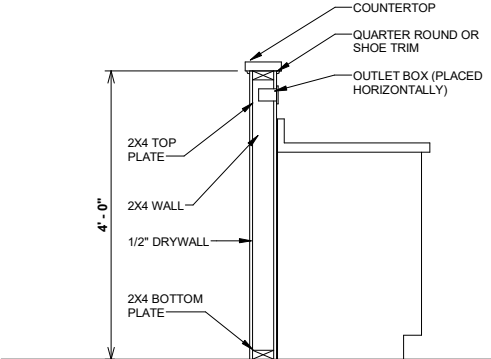
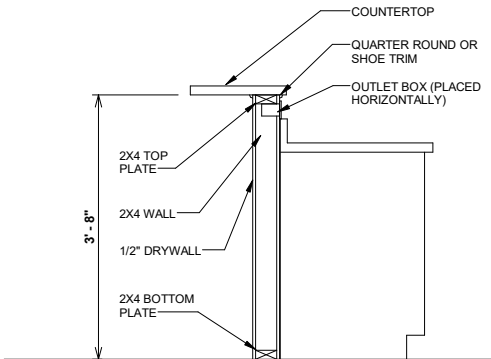
SPECIALTY WINDOWS

4-0 X 5-0 EYEBROW	48" X 60 1/4"
3-0 X 4-2 PALLADIAN	36 1/4" X 50"
3-0 X 5-0 PALLADIAN	36 1/4" X 60 1/4"
3-0 X 6-0 PALLADIAN	36 1/4" X 72"

1. TRANSOM SAMPLE: 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING



2 58.11a BATHROOM KNEE WALL
3/8" = 1'-0"



3 58.11b KITCHEN KNEE WALL AT COUNTER
3/8" = 1'-0"

Revision Number	Revision Description	Revision Date

AREAS:	1,173 SF	552 SF	367 SF	1,507 SF	28 SF
FIRST FLOOR HEATED					
GARAGE COVERED					
PORCH					
SECOND FLOOR					
HEATED					
TOTAL UNDER ROOF	3,589 SF				

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 PRINT DATE: **3/23/2021 7:46:11 PM**



SHEET NUMBER: **S-4**
DETAILS & SCHEDULES

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL REVIEW DESIGN PLANS