


I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED FROM INFORMATION TAKEN FROM THE REFERENCES AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; AND THAT THE SURVEY SHOWN HEREON MEETS OR EXCEEDS THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, AS SET FORTH IN 21 NCAC 56, 1600.


CHRISTOPHER W. HODGES
12/03/2020
DATE



FOR THIS FIRM
BOUNDARY ZONE, INC.
FIRM NUMBER: C-3534

GENERAL NOTES:

1. NO MONUMENTATION FOUND WITHIN 2000 FEET OF THE SUBJECT PROPERTY.
2. ALL DISTANCES ARE HORIZONTAL GROUND, IN US SURVEY FEET.
3. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
4. THE BOUNDARY SURVEY SHOWN HEREON IS NOT FOR RECORDATION.
5. UTILITIES SHOWN ARE FOR REPRESENTATION ONLY AND ARE NOT TO BE USED FOR PROPERTY LINE LOCATION.

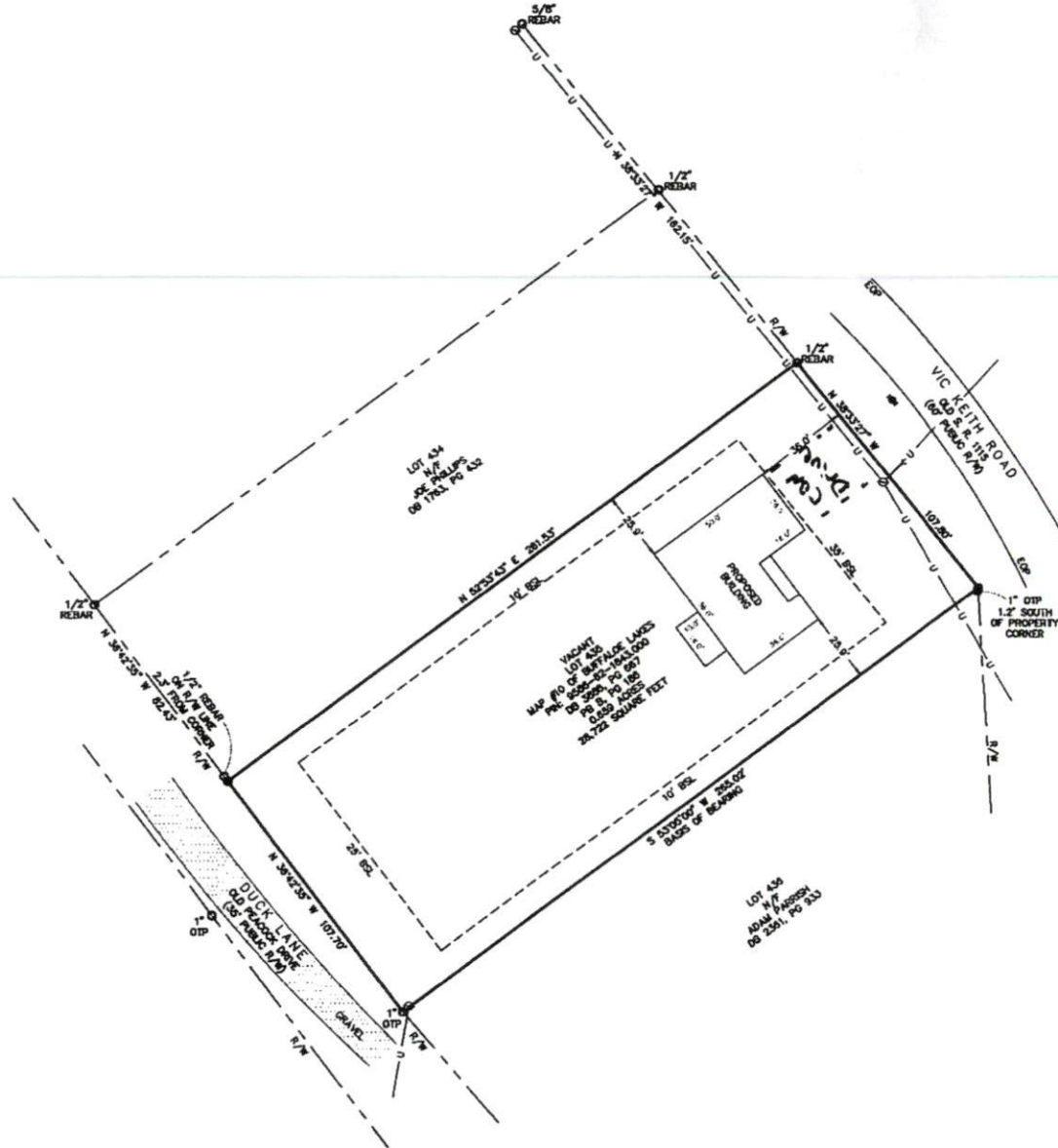
DESCRIPTION: ADDING NEW HOME TO PROPERTY
RECORDED: DB 3006, PG 567 / PB 5, PG 100
ADDRESS: 232 VIC KEITH ROAD, SANFORD, NC 27332
COUNTY/STATE: HARNETT/NC DATE: 11/20/2020
SCALE OF DRAWING: 1"=30' DRAWN BY: JHM
ZONED: RA-20R REVIEWED BY: CHM
PARCEL ID NUMBER: 9588-62-1243.000

SITE DATA	
ZONING	RA-20R
LOT SIZE	24,000
FRONT SETBACK	30'
REAR SETBACK	20'
SIDE SETBACK	10'
REAR LOT LINE	15'
BUILDING HEIGHT	8'
IMPERVIOUS MAX.	N/A

PRELIMINARY PLAT, NOT FOR RECORDATION, CONVEYANCES, OR SALES. THIS PLAN MUST BE APPROVED BY ALL STATE AND LOCAL REVIEWING AUTHORITIES FOR CONFORMANCE WITH SITE ZONING AND CODE OF ORDINANCES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND HARNETT STANDARDS AND SPECIFICATIONS.

NOT FOR RECORDATION



NO.	REVISION	DATE
1	AND PROPOSED BUILDING	11/20/2020



PLOT PLAN SURVEY
BRENDA JACOBS
232 VIC KEITH ROAD, SANFORD, NC 27332
LOT 435 - MAP #10 OF BUFFALO LAKES
HARNETT COUNTY, NORTH CAROLINA - 12/03/2020

LEGEND :		BOUNDARY REFERENCE: DEED BOOK 3294, PAGE 667, PLAT BOOK R, PAGE 116	
○ PROPERTY CORNER	⊙ POWER POLE	—X— FENCE LINE	C.B. CATCH BASIN
○ FOUND (AS NOTED)	⊙ LIGHT POLE	—CD— CONTOUR LINE	TOP OF BANK
● 5/8" REBAR WITH CAP SET	⊙ POWER METER	—RB— IRON REBAR	N/W NOW OR FORMERLY
⊙ COMPUTED POINT	⊙ POWER BOX	—OTP— OPEN TOP PIPE	FTE FINISHED FLOOR ELEVATION
⊙ R/W MONUMENT	⊙ A/C UNIT	—BSL— BUILDING SETBACK LINE	BFE BASEMENT FLOOR ELEVATION
⊙ FIRE HYDRANT	⊙ GAS METER	—OH— OVERHANG	GFE GARAGE FLOOR ELEVATION
⊙ WATER METER	⊙ GAS VALVE	—R/W— RIGHT-OF-WAY	DOM BOOK OF MAPS
⊙ WATER VALVE	⊙ TELEPHONE BOX	—EOP— EDGE OF PAVEMENT	OO DEED BOOK
	⊙ CABLE BOX	—EGR— EDGE OF GRAVEL ROAD	PB PLAT BOOK
	⊙ SIGN	—CNT— CANTILEVER	
	⊙ T— TELEPHONE LINE		
		⊙ H. OVERHANG	
		⊙ HARDWOOD TREE	
		⊙ PINE TREE	

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 372,135 FEET.
THIS PLAT HAS BEEN PREPARED USING A ROBOTIC TOTAL STATION.
THIS FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET, AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

BOUNDARY zone, inc.
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PROJECT R20714-01
SHEET 1 OF 1