


I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED FROM INFORMATION TAKEN FROM THE REFERENCES AS SHOWN HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THE SURVEY SHOWN HEREON MEETS OR EXCEEDS THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, AS SET FORTH IN 21 NCAC 56, 1600.


 CHRISTOPHER W. HODGE
 01/05/2021
 DATE



FOR THE FIRM
 BOUNDARY ZONE, INC.
 FIRM NUMBER: C-3534

- GENERAL NOTES:**
1. NO MONUMENTATION FOUND WITHIN 2000 FEET OF THE SUBJECT PROPERTY.
 2. ALL DISTANCES ARE HORIZONTAL GROUND, IN US SURVEY FEET.
 3. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
 4. THE BOUNDARY SURVEY SHOWN HEREON IS NOT FOR RECORDATION.
 5. UTILITIES SHOWN ARE FOR REPRESENTATION ONLY AND ARE NOT TO BE USED FOR PROPERTY LINE LOCATION.

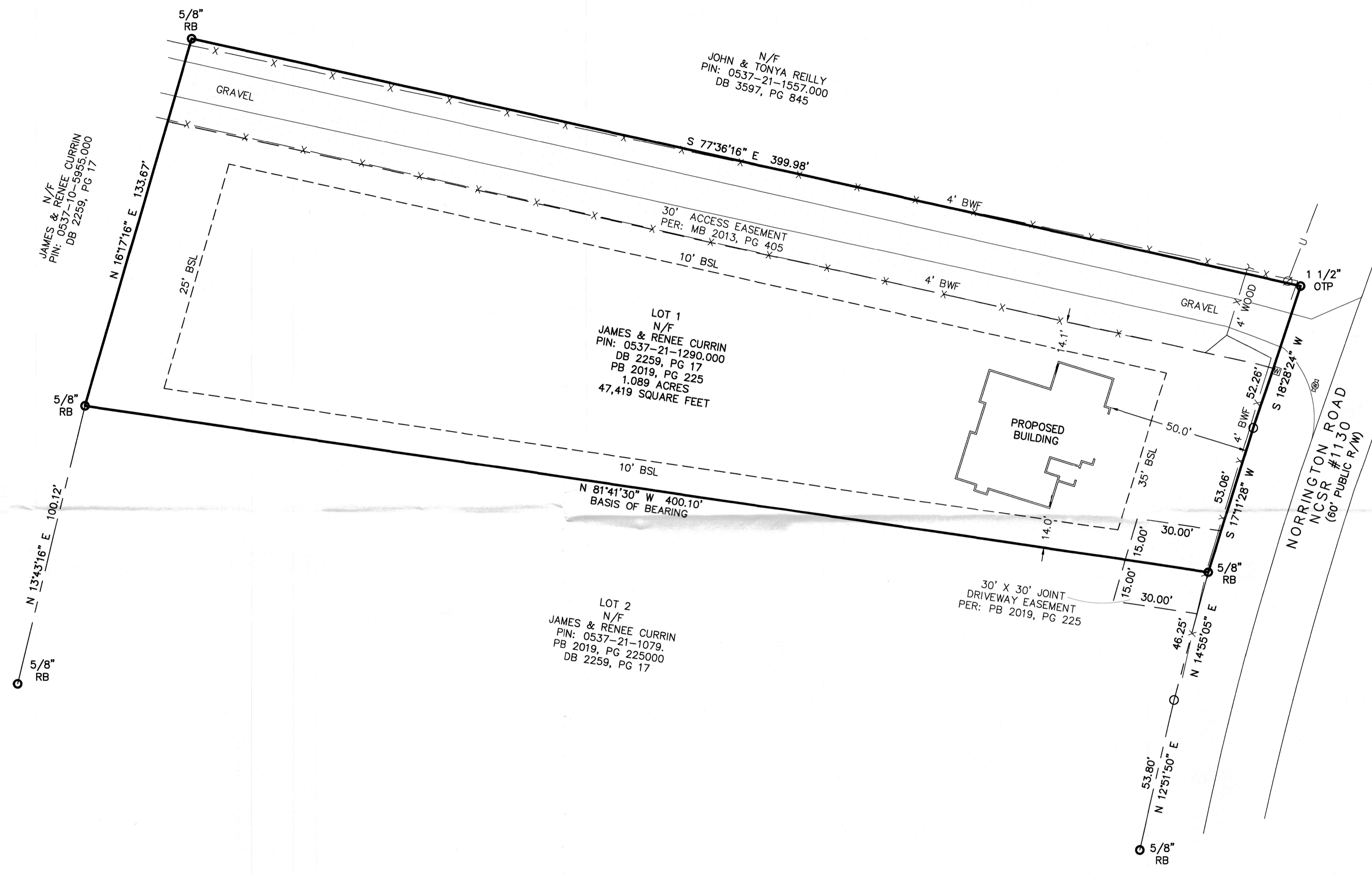

DESCRIPTION: NEW HOME
 RECORDED: DB 2259, PG 17 / PB 2019, PG 225
 ADDRESS: 2796 NORRINGTON RD., LILLINGTON, NC 27546
 COUNTY/STATE: HARNETT/NC DATE: 01/05/2021
 SCALE OF DRAWING: 1"=30' DRAWN BY: JWM
 ZONED: RA-20R REVIEWED BY: CWH
 PARCEL ID NUMBER: 0537-21-1290.000

SITE DATA	
ZONING:	RA-20R
LOT SIZE	N/A
PRIMARY STREET	35'
SIDE STREET	20'
SIDE LOT LINE	10'
REAR LOT LINE	25'
BUILDING HEIGHT	35'
IMPERVIOUS MAX	N/A

PRELIMINARY PLAT, NOT FOR RECORDATION, CONVEYANCES, OR SALES. THIS PLAN MUST BE APPROVED BY ALL STATE AND LOCAL REVIEWING AUTHORITIES FOR CONCURRENCE WITH SITE ZONING AND CODE OF ORDINANCES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR RECORDATION

NORTH
 PER: PB 2019, PG 225
 SCALE: 1"=30'

NO.	REVISION	DATE
1		
2		
3		
4		
5		

GRAPHIC SCALE - IN FEET
 0 30 60

PLOT PLAN SURVEY
 PREPARED FOR: J&R HOMES
 2796 NORRINGTON RD., LILLINGTON, NC 27546
 PIN - 0537-21-1290.000
 LOT 1, MINOR SUBDIVISION FOR JAMES & RENEE CURRIN
 HARNETT COUNTY, NORTH CAROLINA - 01/05/2021

LEGEND :	
○ PROPERTY CORNER FOUND (AS NOTED)	⊗ POWER POLE
● 5/8" REBAR WITH CAP SET	⊠ POWER METER
⊠ R/W MONUMENT	⊡ POWER BOX
○ COMPUTED POINT	⊞ A/C UNIT
⊠ FIRE HYDRANT	⊞ GAS METER
⊠ WATER METER	⊞ GAS VALVE
⊠ WATER VALVE	⊞ TELEPHONE BOX
⊠ POWER POLE	⊞ CABLE BOX
⊠ LIGHT POLE	⊞ SIGN
⊠ MANHOLE	⊞ CLEAN OUT
⊠ CLEAN OUT	⊞ JUNCTION BOX
⊠ JUNCTION BOX	⊞ DRAINAGE INLET
⊠ DRAINAGE INLET	—W— WATER LINE
—W— WATER LINE	—U— OVERHEAD UTILITY LINE
—U— OVERHEAD UTILITY LINE	—S— SEWER LINE
—S— SEWER LINE	—G— GAS LINE
—G— GAS LINE	—C— CABLE LINE
—C— CABLE LINE	—T— TELEPHONE LINE
—T— TELEPHONE LINE	—X— FENCE LINE
—X— FENCE LINE	—920— CONTOUR LINE
—920— CONTOUR LINE	RB IRON REBAR
RB IRON REBAR	OTP OPEN TOP PIPE
OTP OPEN TOP PIPE	BSL BUILDING SETBACK LINE
BSL BUILDING SETBACK LINE	OH OVERHANG
OH OVERHANG	CONC. CONCRETE
CONC. CONCRETE	EOP EDGE OF PAVEMENT
EOP EDGE OF PAVEMENT	CNT. CANTILEVER
CNT. CANTILEVER	O.H. OVERHANG
O.H. OVERHANG	C.B. CATCH BASIN
C.B. CATCH BASIN	TOB TOP OF BANK
TOB TOP OF BANK	N/F NOW OR FORMERLY
N/F NOW OR FORMERLY	FFE FINISHED FLOOR ELEVATION
FFE FINISHED FLOOR ELEVATION	BFE BASEMENT FLOOR ELEVATION
BFE BASEMENT FLOOR ELEVATION	GFE GARAGE FLOOR ELEVATION
GFE GARAGE FLOOR ELEVATION	R/W RIGHT-OF-WAY
R/W RIGHT-OF-WAY	BOM BOOK OF MAPS
BOM BOOK OF MAPS	DB DEED BOOK
DB DEED BOOK	PG PAGE
PG PAGE	⊠ HARDWOOD TREE
⊠ HARDWOOD TREE	⊠ PINE TREE
⊠ PINE TREE	

BOUNDARY REFERENCE: DEED BOOK 2259, PAGE 17, PLAT BOOK 2019, PAGE 225
 FIELDWORK PERFORMED ON 12/30/2020

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 207,814 FEET.

THIS PLAT HAS BEEN PREPARED USING A ROBOTIC TOTAL STATION.

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET, AND ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

BOUNDARY zone, inc. LAND SURVEYING SERVICES & LAND PLANNING SERVICES
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 RALEIGH, NC 27612

CORPORATE OFFICE
 454 SATELLITE BLVD, SUITE 200
 SAWANEE, GA 30024

PROJECT
 R20787-01

SHEET
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