

**CREATIVE RESIDENTIAL  
DESIGNS, LLC**  
5000 NEIMAN COVE  
RALEIGH, N.C. 27612  
919.260.6393  
www.creativeresidentialdesigns.com

PROJECT:

**LOT 1  
MORGAN  
FARM**

**STEPHENSON  
BUILDERS  
INC.**  
1187 NORTH RALEIGH STREET  
ANGIER, NC 27501

DATE:

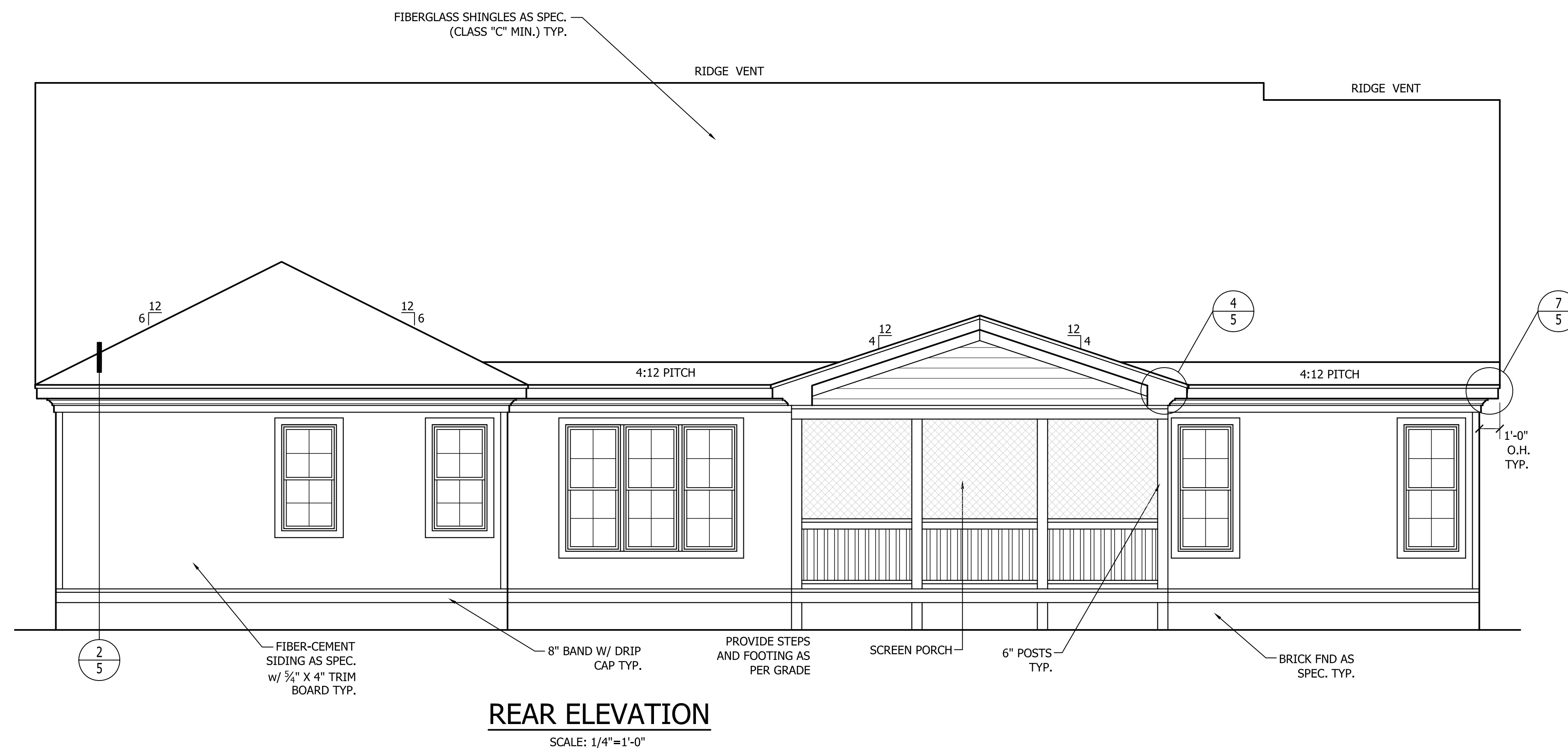
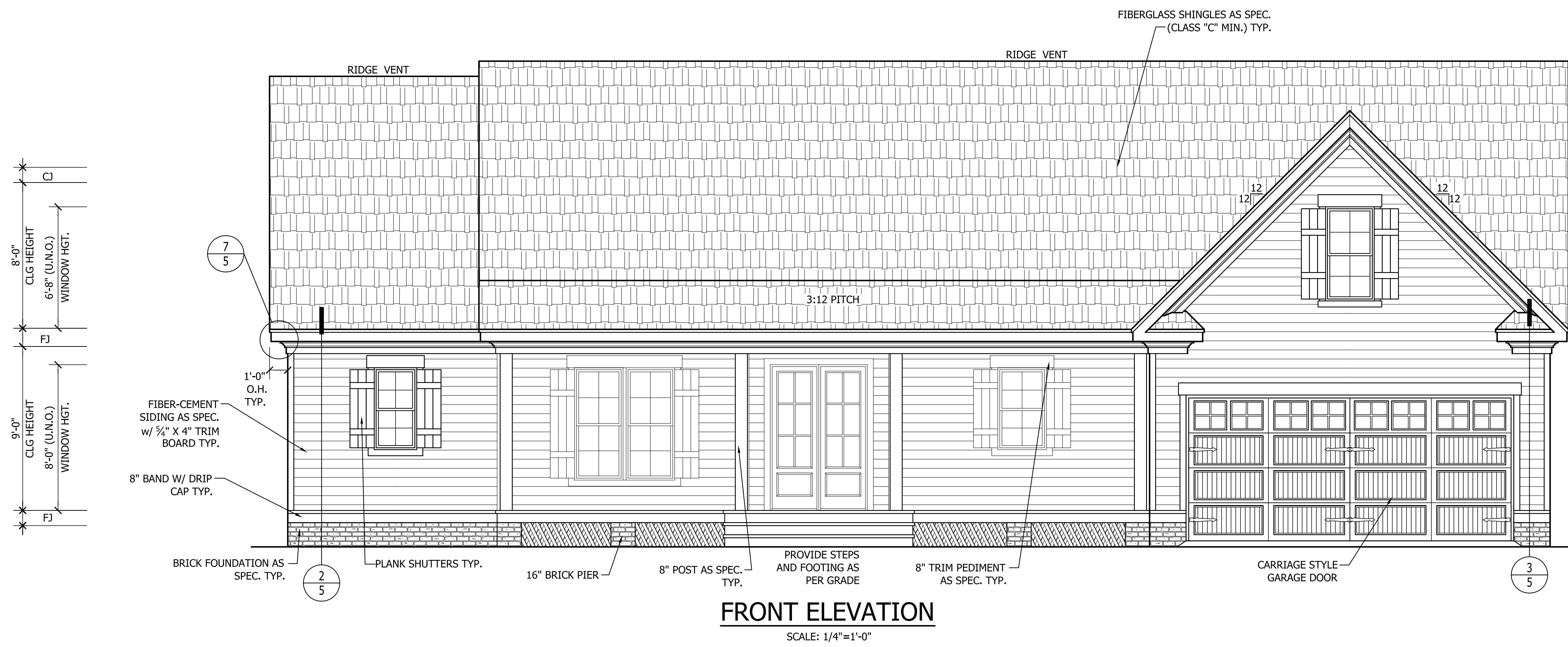
01-12-21 BCR

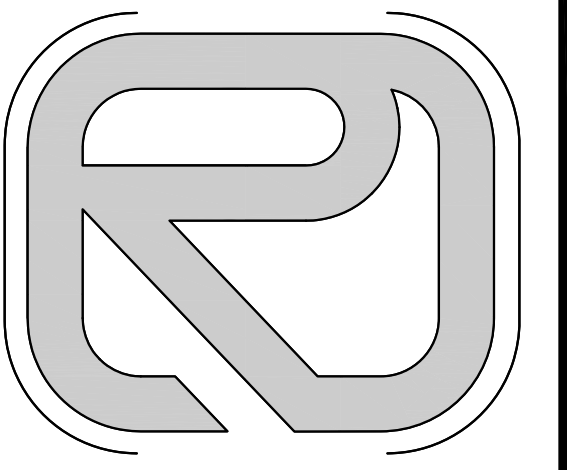
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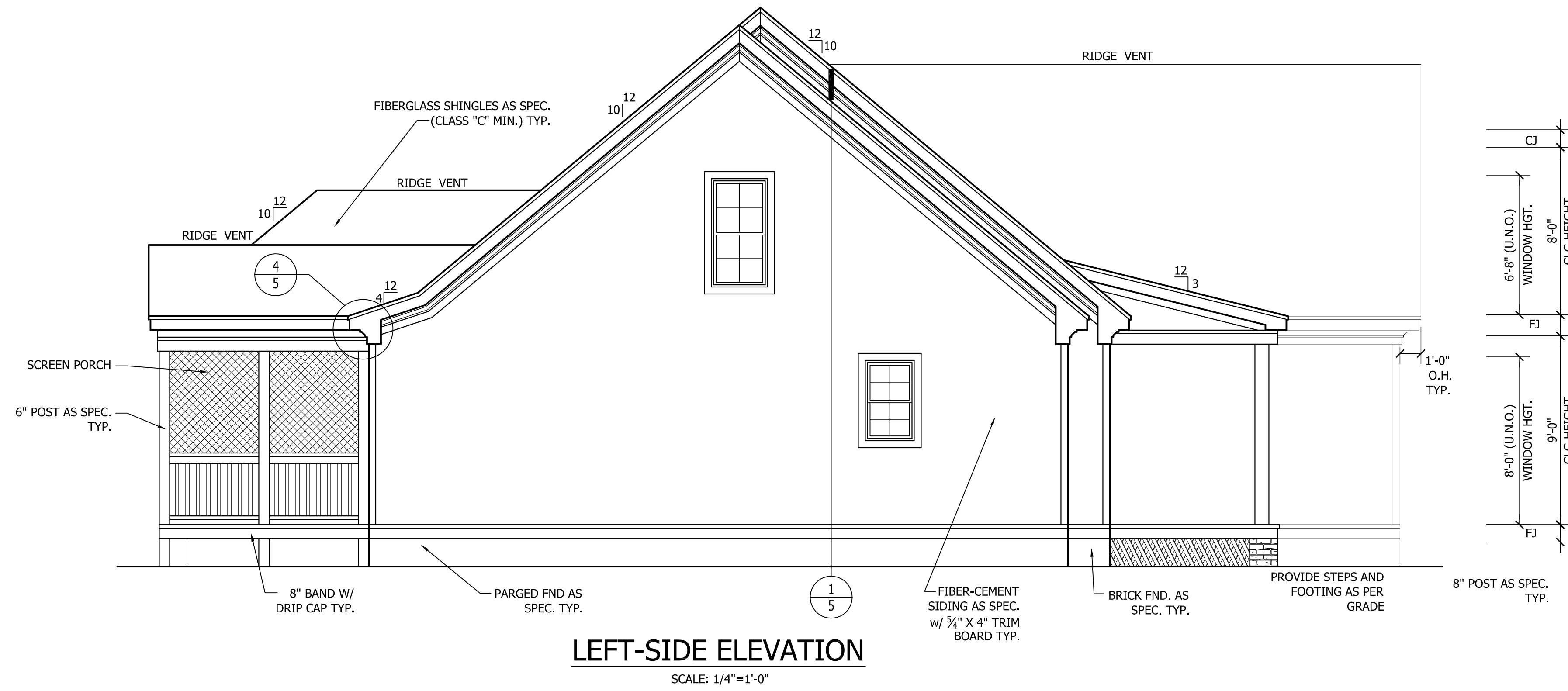
**1**  
OF **5**

PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.  
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



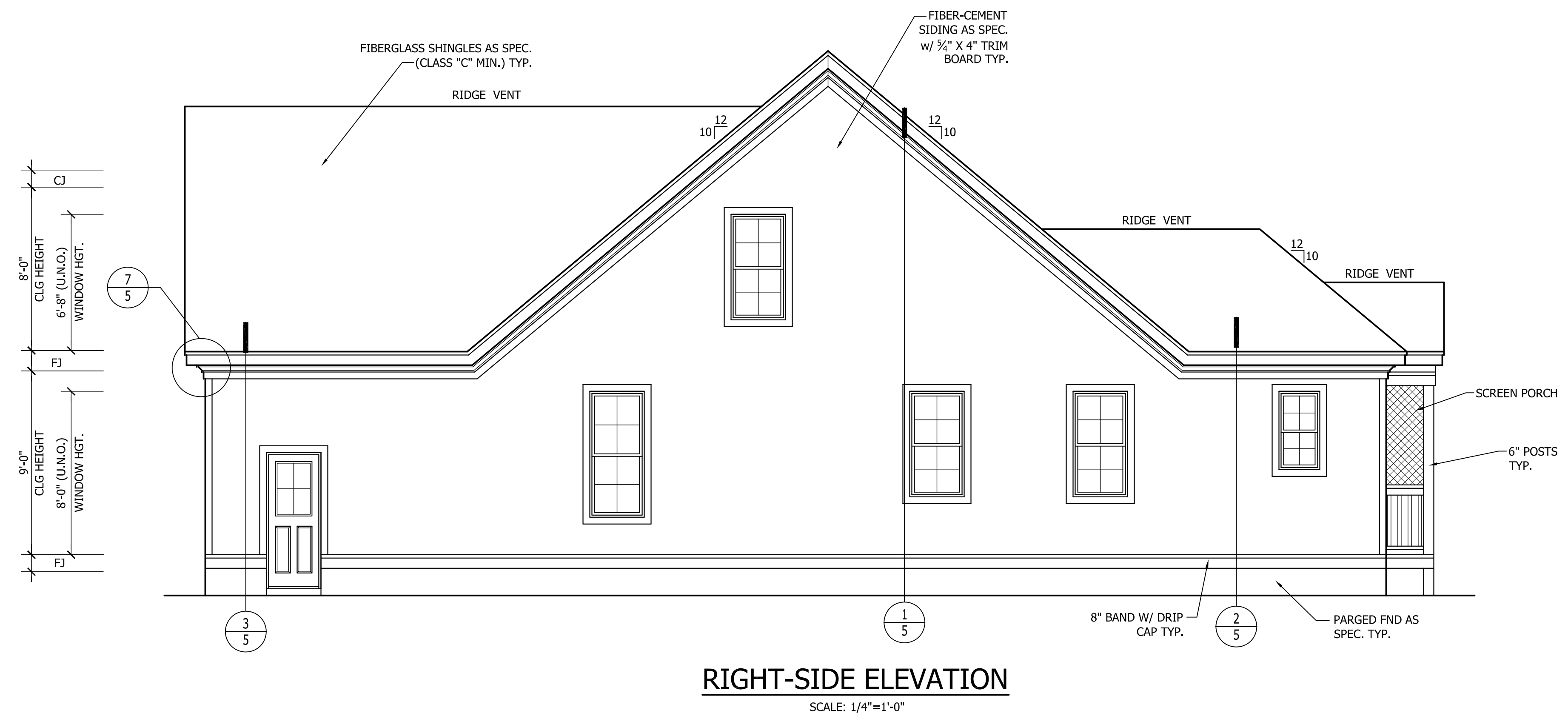


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SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



**LEFT-SIDE ELEVATION**

SCALE: 1/4"=1'-0"



**RIGHT-SIDE ELEVATION**

SCALE: 1/4"=1'-0"

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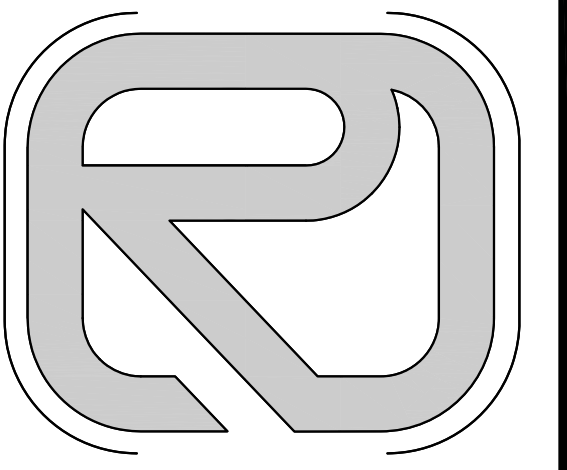
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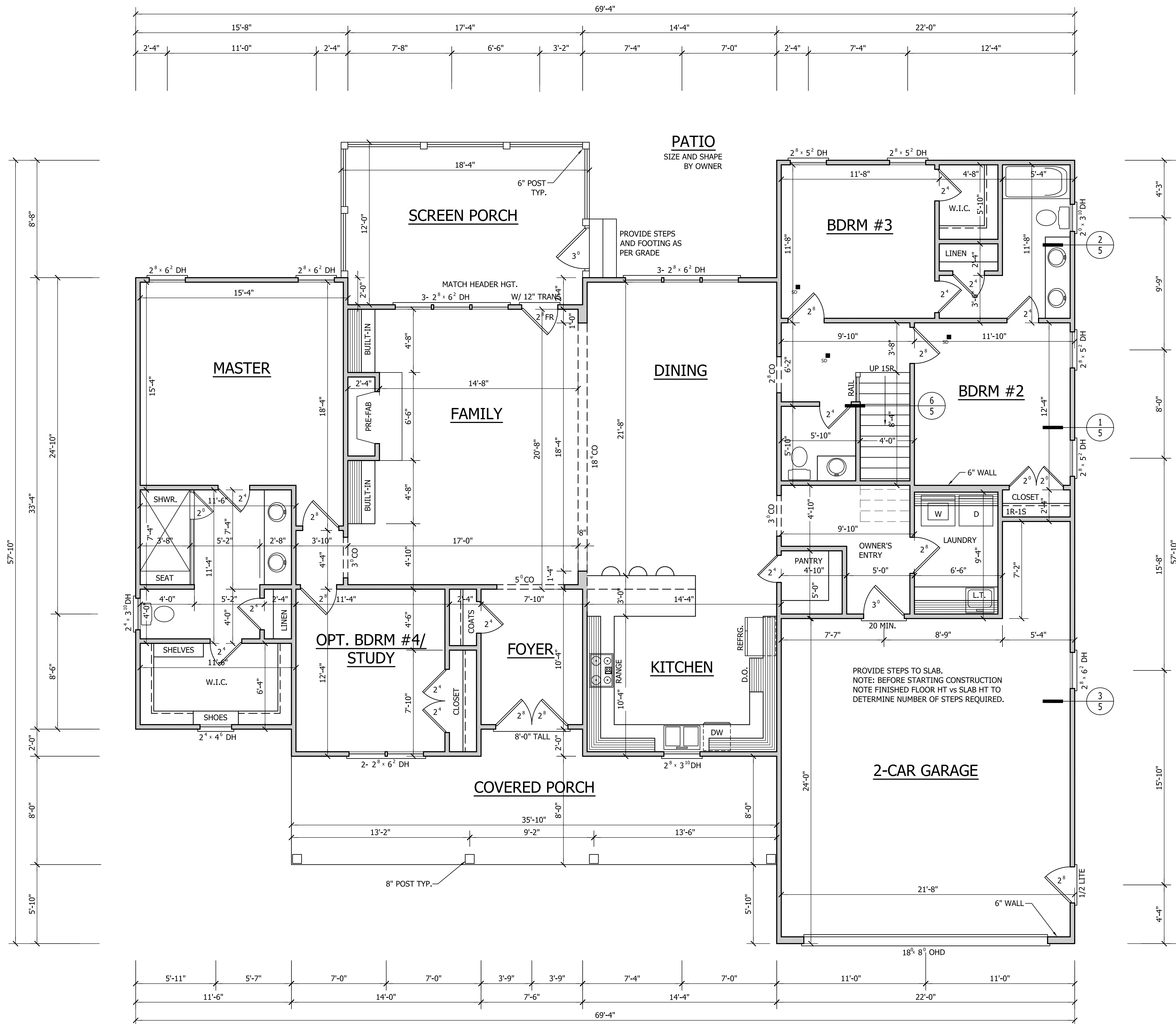
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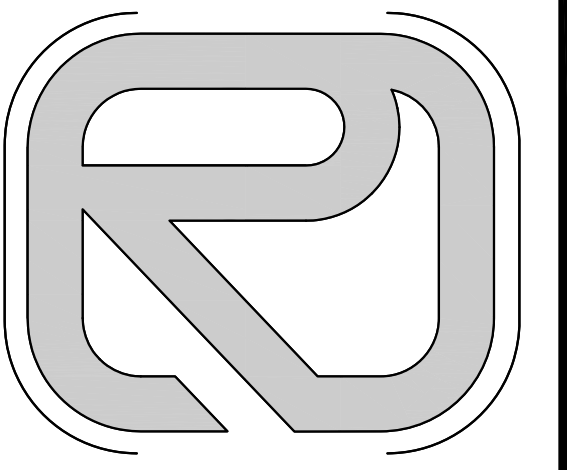
**FIRST FLOOR PLAN**  
9'-0" CEILING HGT.  
SET WINDOWS @ 8'-0" A.F.F.  
SCALE = 1/4" = 1'-0"

**AREA CALCULATIONS**

HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)
BASEMENT: N/A	GARAGE: 563	BASEMENT: N/A
1ST FLOOR: 2309	SCREEN: 218	REC ROOM: N/A
2ND FLOOR: 512	PORCH: 302	ATTIC: N/A
	STOOP: N/A	STORAGE: 1131
	BRICK: N/A	
<b>TOTAL: 2821</b>	<b>TOTAL: 1083</b>	<b>OVERALL DIMENSION</b>
(HEATED)	(UNHEATED)	WIDTH: 69'-4"
		DEPTH: 57'-10"

**NOTES:**

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45 ° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".



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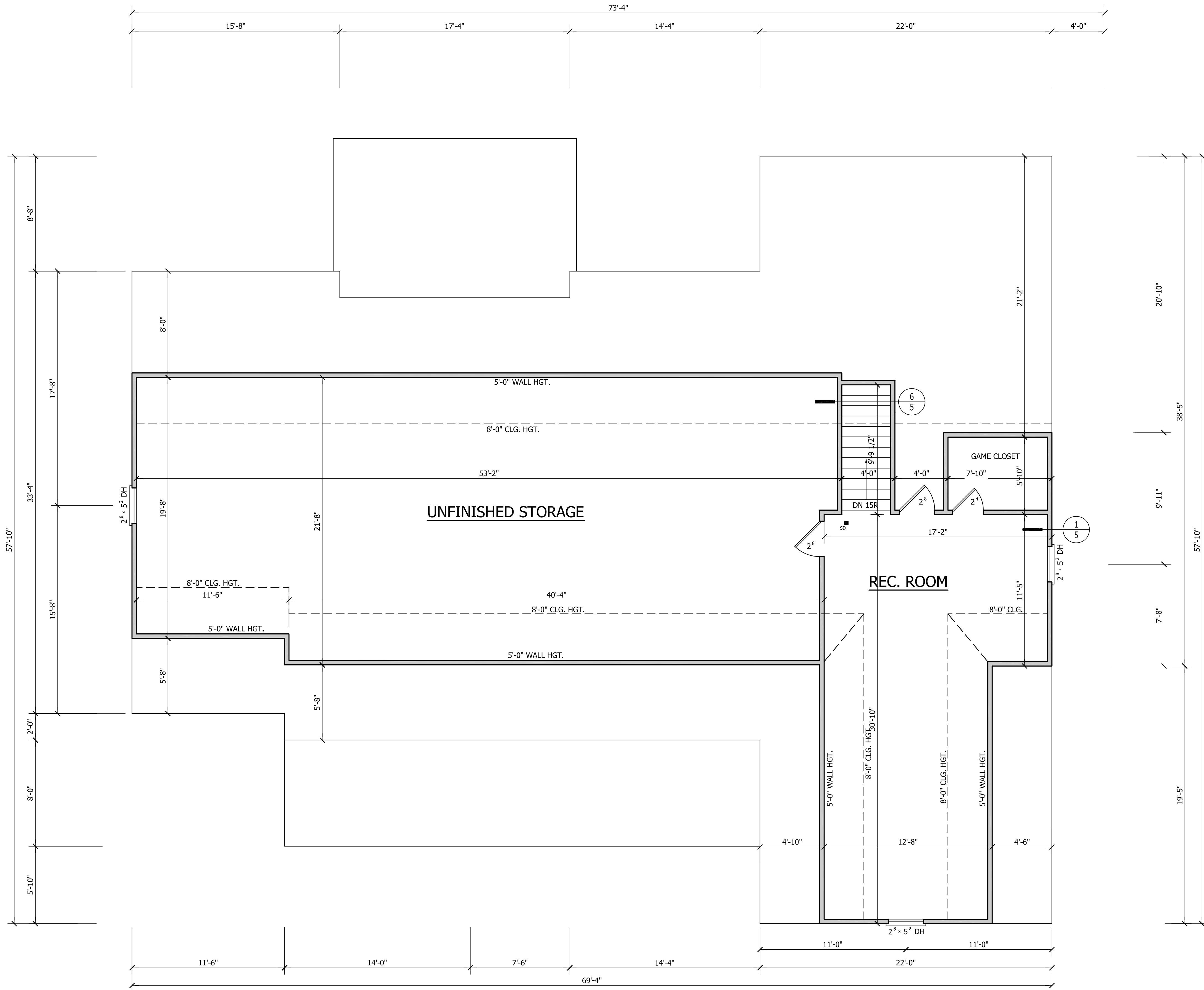
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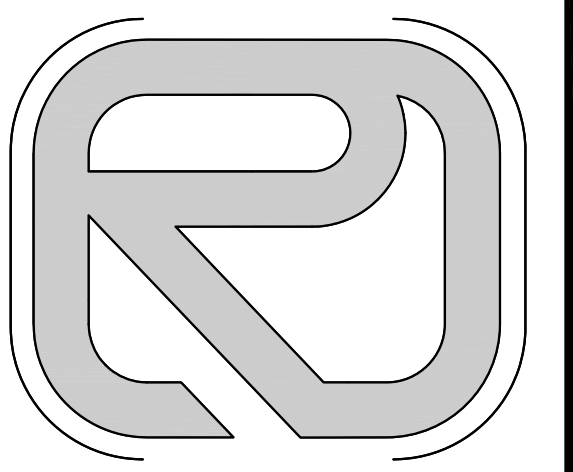
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**SECOND FLOOR PLAN**  
8'-0" CEILING HGT.  
SET WINDOWS @ 6'-8" A.F.F.  
SCALE= 1/4" = 1'-0"

- NOTES:**
- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
  - ALL ANGLED WALLS ARE 45 ° UNLESS NOTED OTHERWISE.
  - FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
  - ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
  - FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
  - VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
  - ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
  - TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
  - ALL WINDOW GLAZINGS TO HAVE 0.35 U-FACTOR MIN.
  - ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
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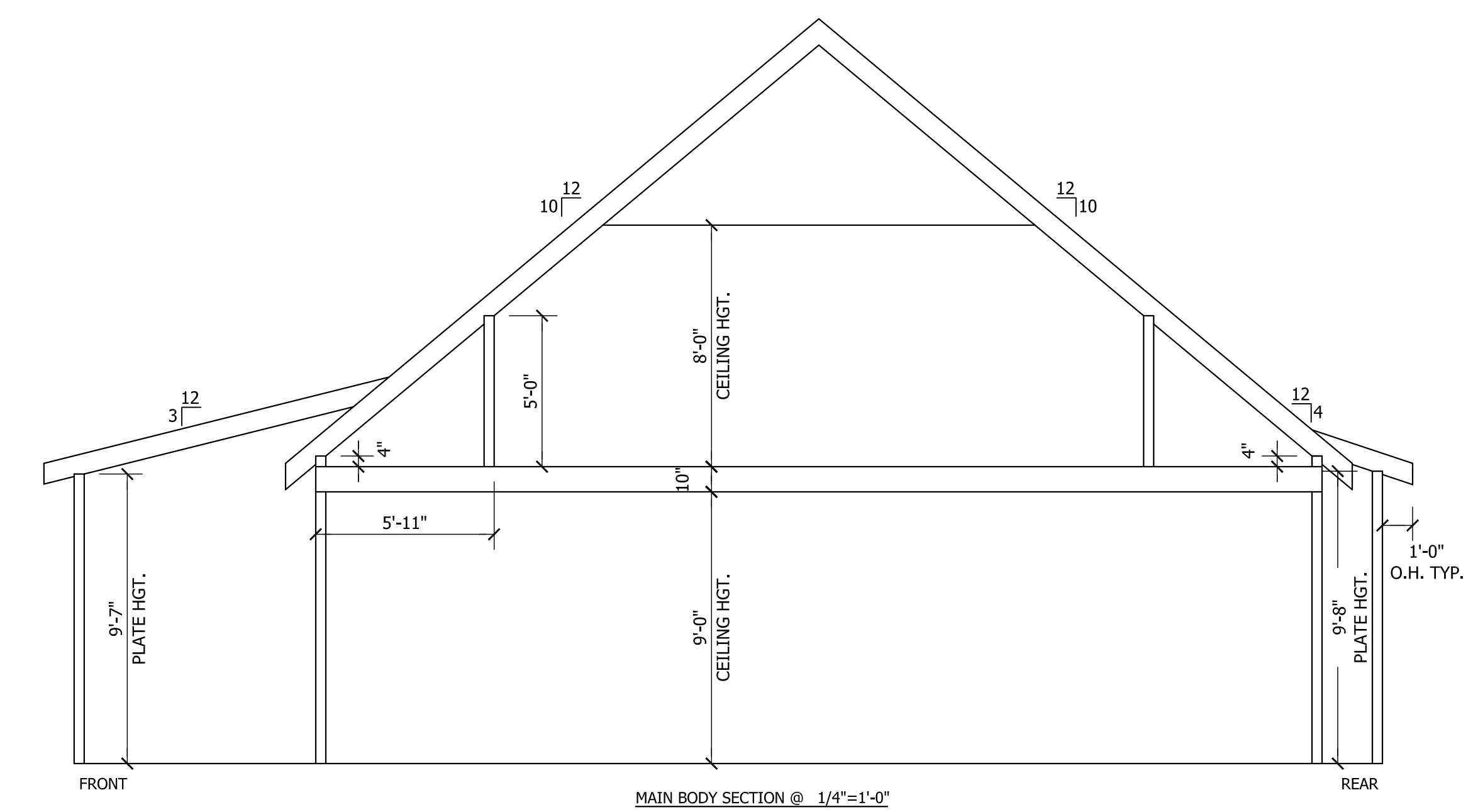
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**AREA CALCULATIONS**

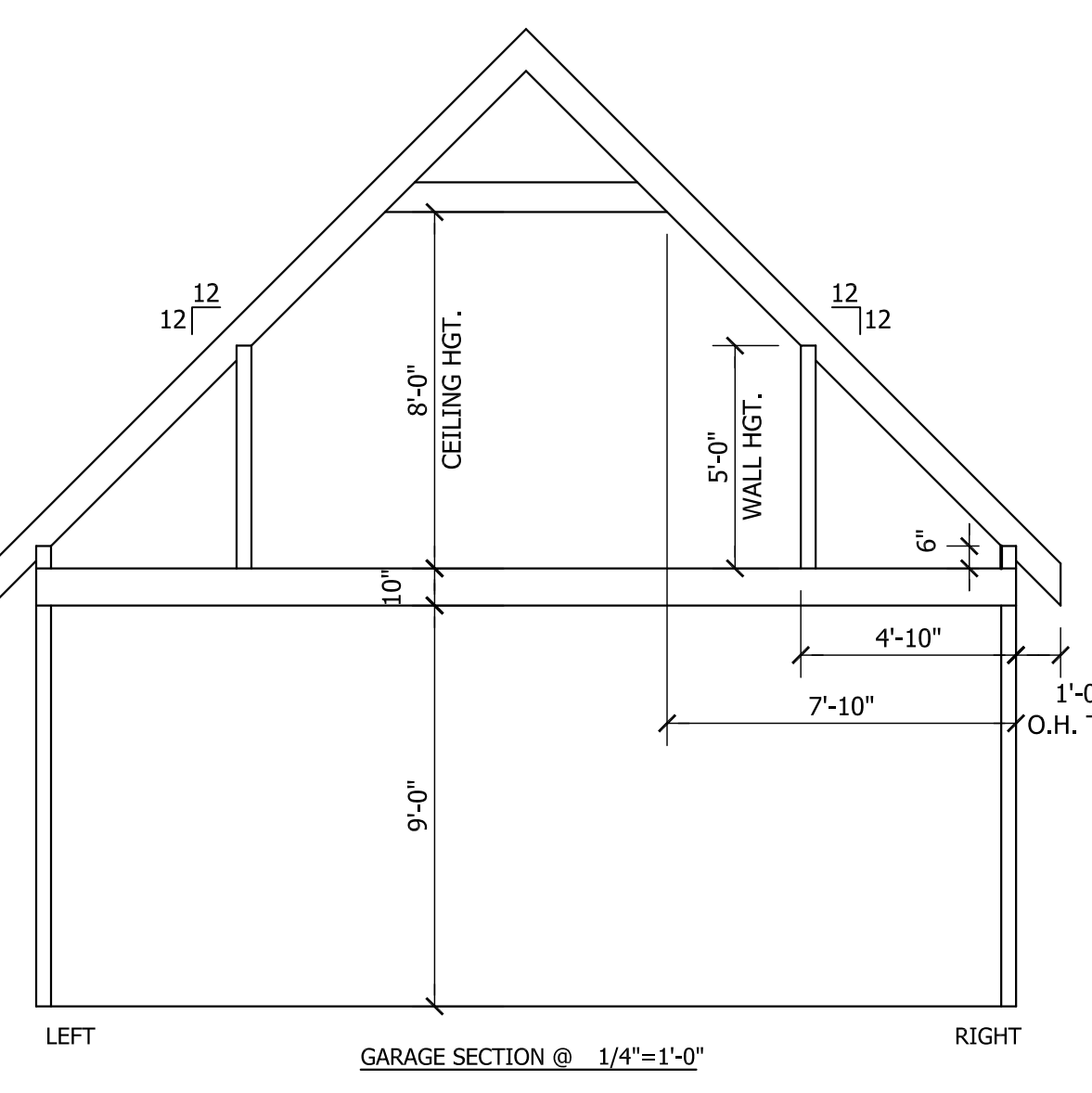
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	BRICK: N/A	OVERALL DIMENSION
<b>TOTAL: 2821 (HEATED)</b>	<b>TOTAL: 1083 (UNHEATED)</b>	WIDTH: 69'-4"
		DEPTH: 57'-10"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 12" OF ALL PLATES SPLICES ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = < 30'-0"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0



**FOUNDATION VENT CALCS.**

2429 SQ. FT.	= 16.19	SQ. FT. VENT REQ'D.
150		
16.19 SQ. FT.	= 29	VENTS TO BE PROVIDED
.56		

NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.  
NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND. VENT THAT ALLOWS 72 SQ. IN. OF NET FREE AREA PER VENT.

- 1 WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ. FT. OF CRAWL SPACE.
- 2 THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.
- 3 BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.

**ROOF VENTILATING REQUIREMENTS**

3383 SQ.FT.	= 22.55	SQ. FT. OF TOTAL ROOF VENTILATION REQ'D
150		
280'-4" (LINEAR FT. OF SOFFIT) X .035 (NET FREE AREA PER FT.)	= 9.81	SQ. FT. OF AVAILABLE SOFFIT VENT
22.55 - 9.81	= 12.74	SQ.FT. REMAINING REQ'D ROOF VENTILATION
12.74 SQ.FT. .125 (NET FREE AREA PER FT.)	= 101.92	LINEAR FT. OF RIDGE VENT REQ'D

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.  
NOTE: - SOFFIT VENT SPECS BASED ON HARDISOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.  
- RIDGE VENT SPECS BASED ON VENTURIVENT PLUS THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT.

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

- 1 PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
- 2 WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING

