

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

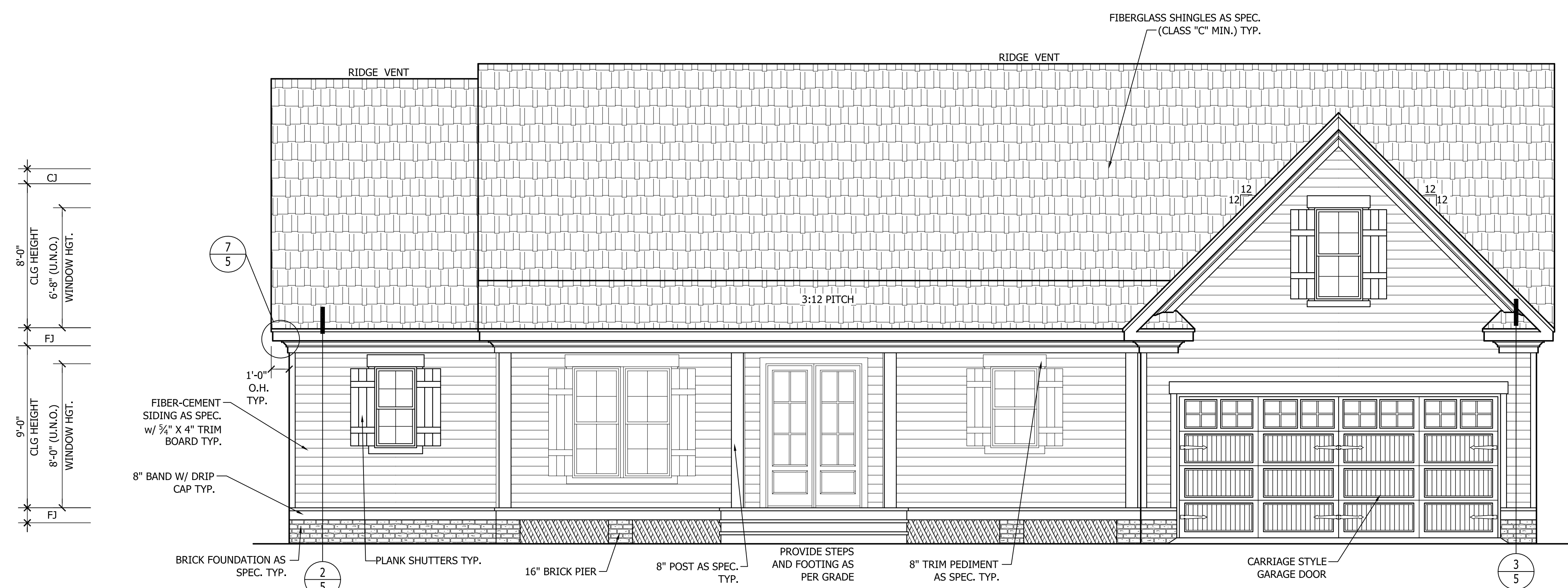
APPROVED
 Limited building only review
 Permit holder responsible for full compliance with the code

02/03/2021

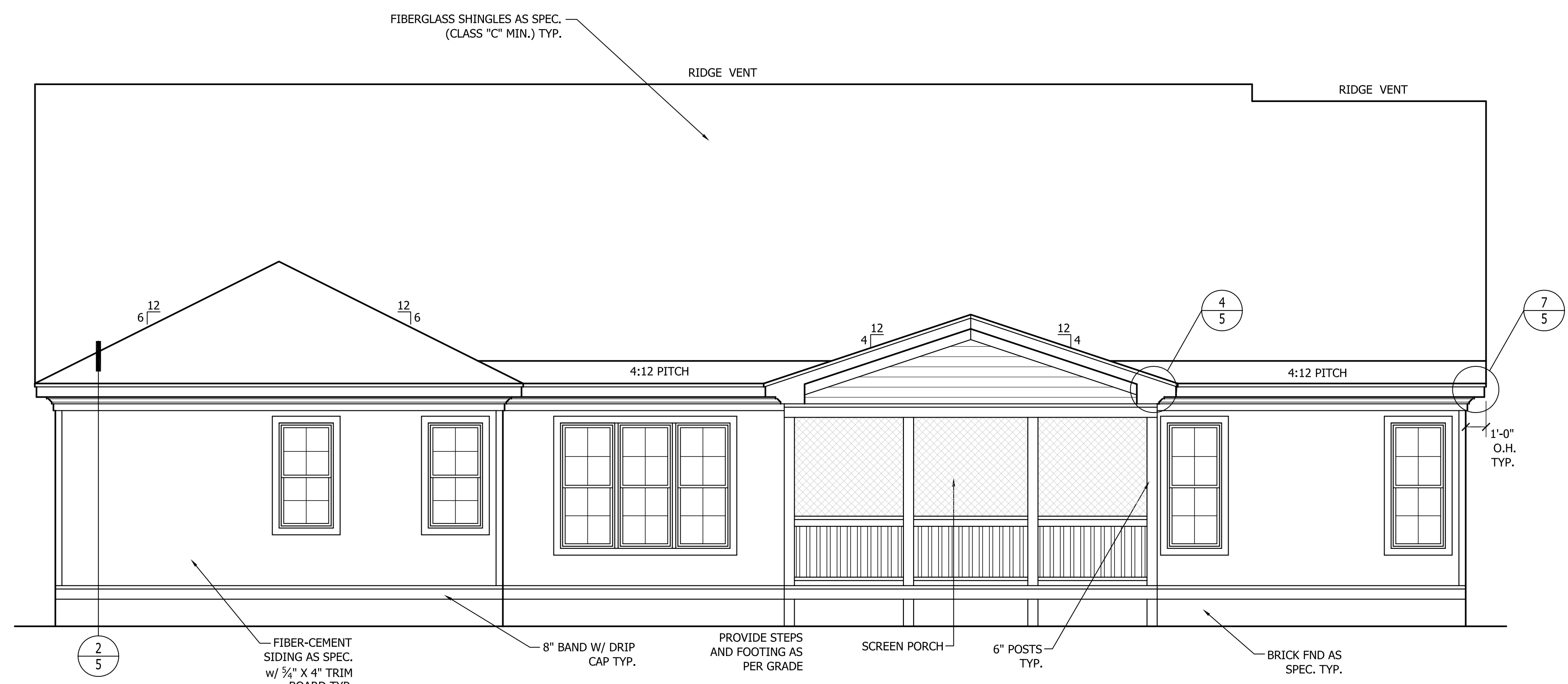
B. B. B.

Harnett COUNTY
 NORTH CAROLINA

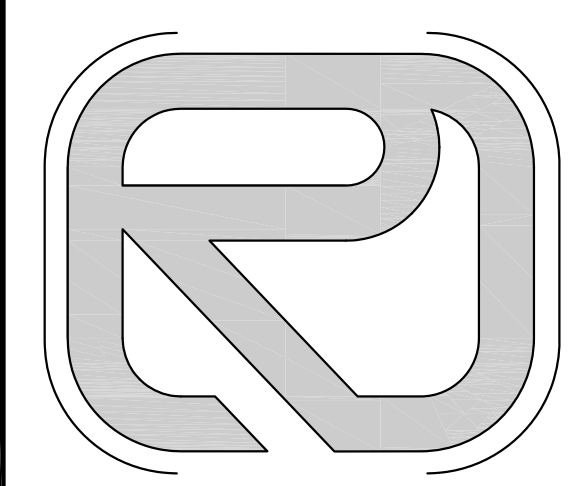
PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
 SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



FRONT ELEVATION
 SCALE: 1/4"=1'-0"



REAR ELEVATION
 SCALE: 1/4"=1'-0"



**CREATIVE RESIDENTIAL
 DESIGNS, LLC**
 5000 NEIMAN COVE
 RALEIGH, N.C. 27612
 919.260.6393
 www.creativeresidentialdesigns.com

PROJECT:

**LOT 1
 MORGAN
 FARM**

**STEPHENSON
 BUILDERS
 INC.**
 1187 NORTH RALEIGH STREET
 ANGIER, NC 27501

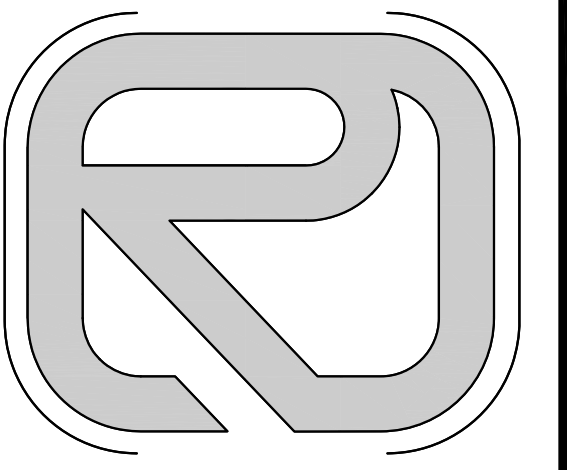
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01-12-21 BCR

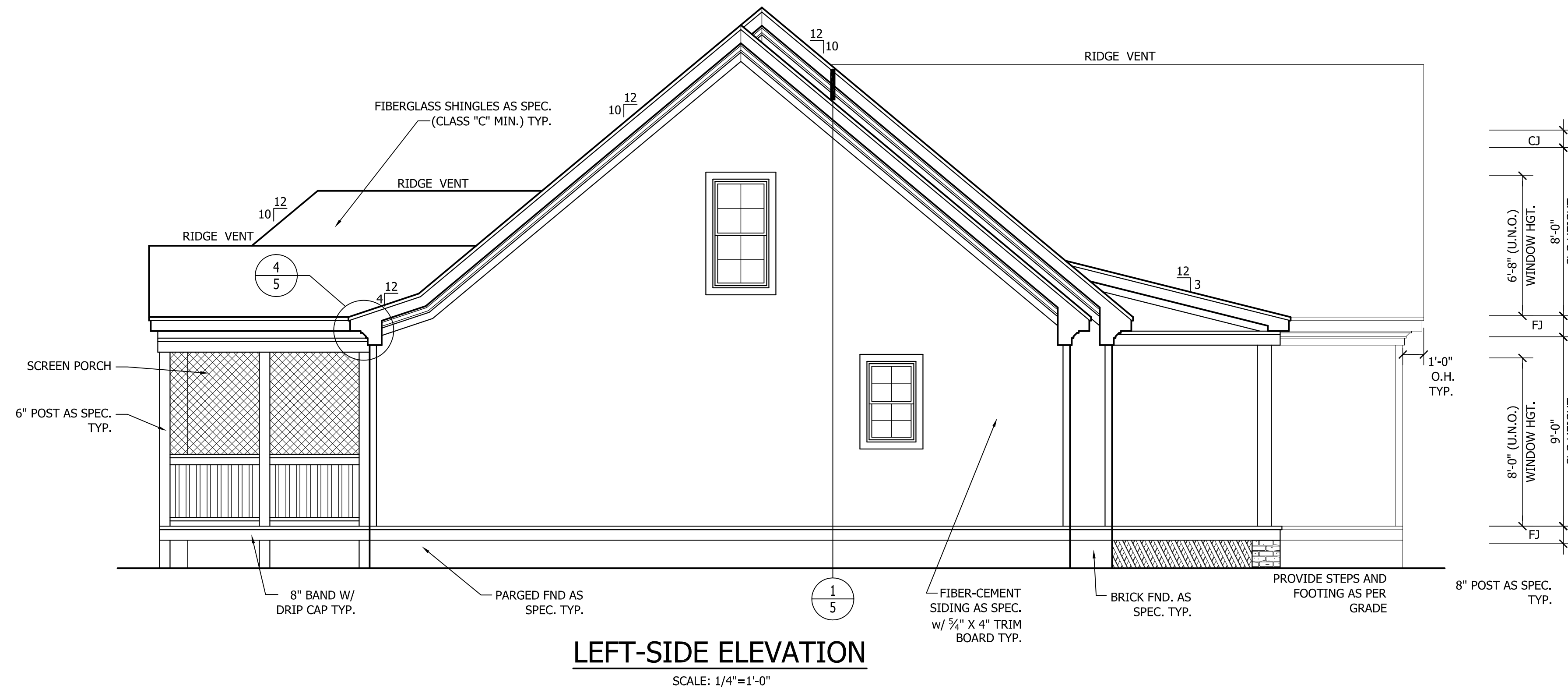
REVISIONS:

SHEET NO.

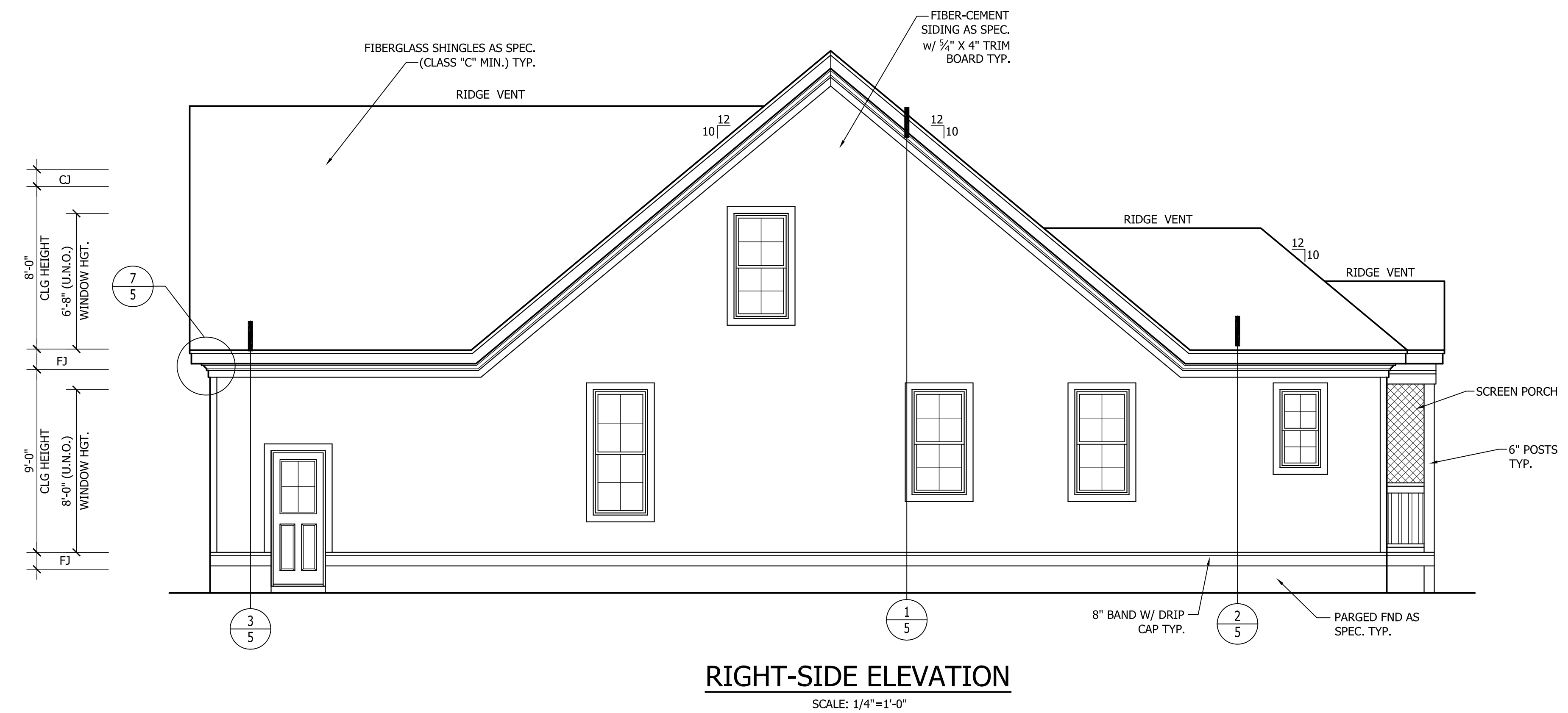
1
 OF 5



PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



LEFT-SIDE ELEVATION
SCALE: 1/4"=1'-0"



RIGHT-SIDE ELEVATION
SCALE: 1/4"=1'-0"

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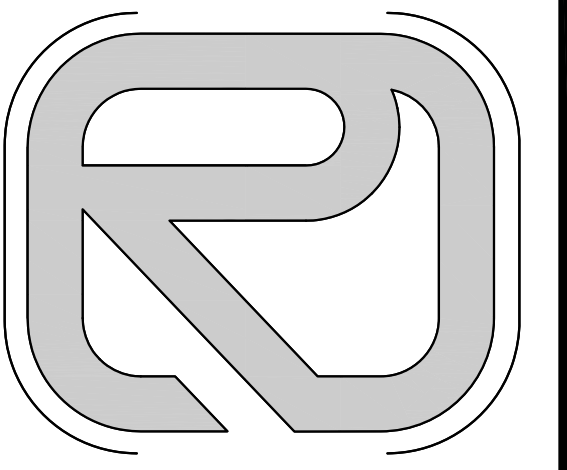
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OF **2** OF **5**



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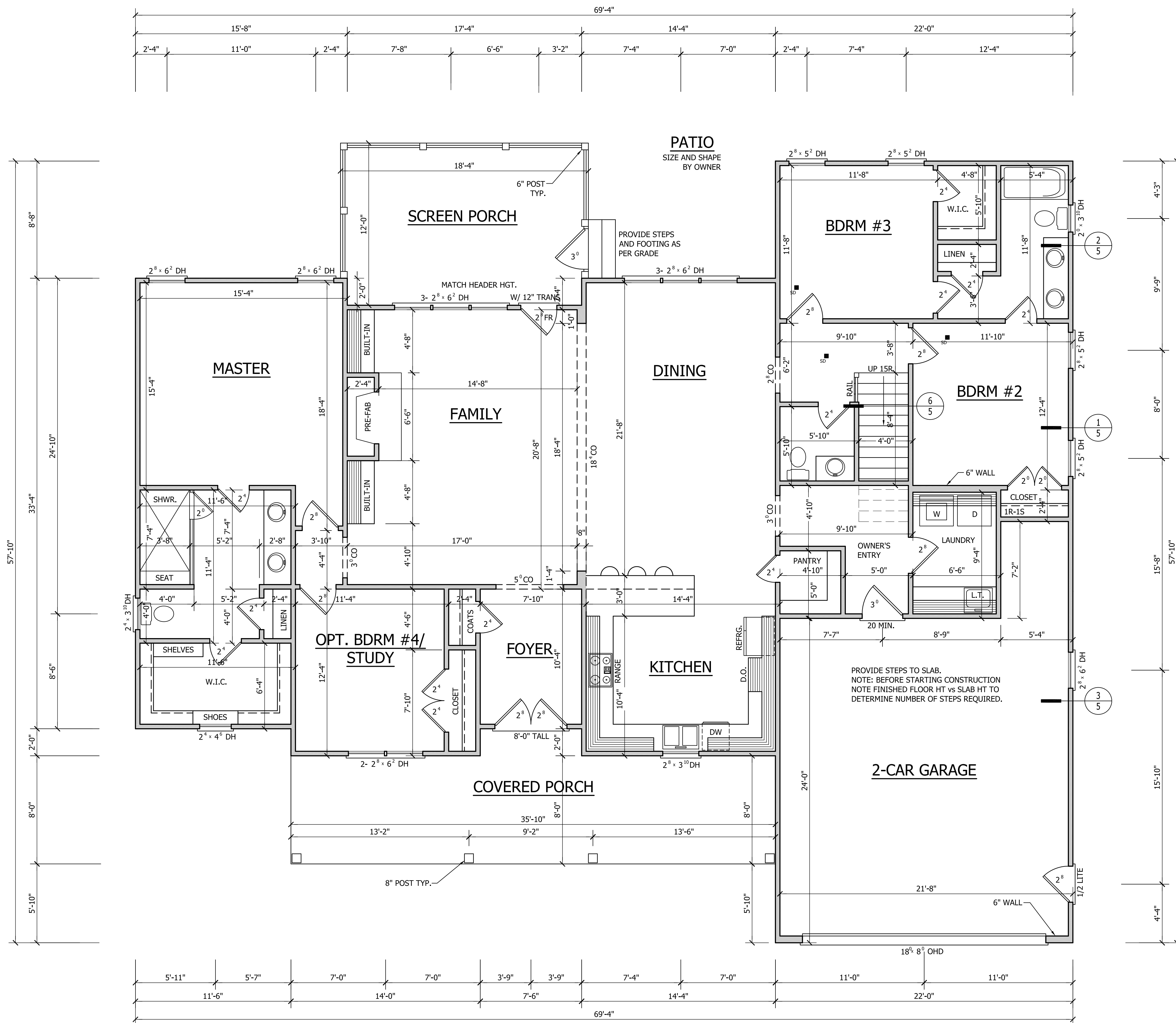
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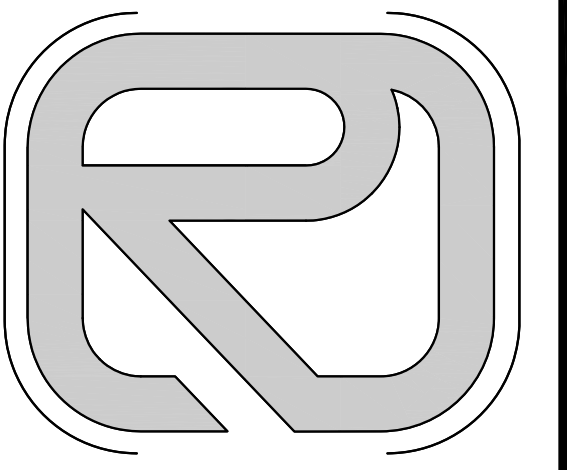
FIRST FLOOR PLAN
9'-0" CEILING HGT.
SET WINDOWS @ 8'-0" A.F.F.
SCALE = 1/4" = 1'-0"

AREA CALCULATIONS

HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)
BASEMENT: N/A	GARAGE: 563	BASEMENT: N/A
1ST FLOOR: 2309	SCREEN: 218	REC ROOM: N/A
2ND FLOOR: 512	PORCH: 302	ATTIC: N/A
	STOOP: N/A	STORAGE: 1131
	BRICK: N/A	
TOTAL: 2821	TOTAL: 1083	OVERALL DIMENSION
(HEATED)	(UNHEATED)	WIDTH: 69'-4"
		DEPTH: 57'-10"

NOTES:

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45 ° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".



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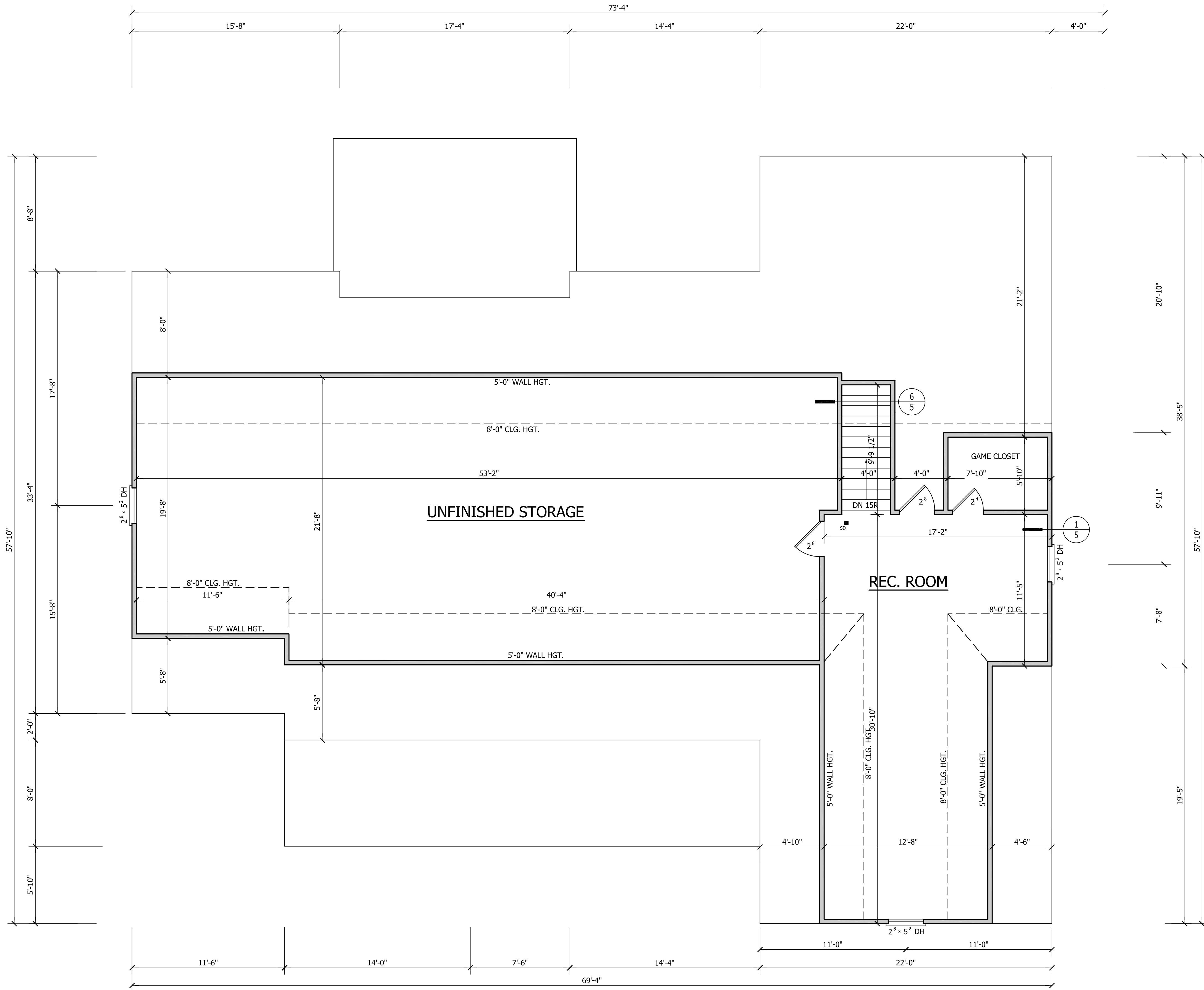
REVISIONS:

SHEET NO.

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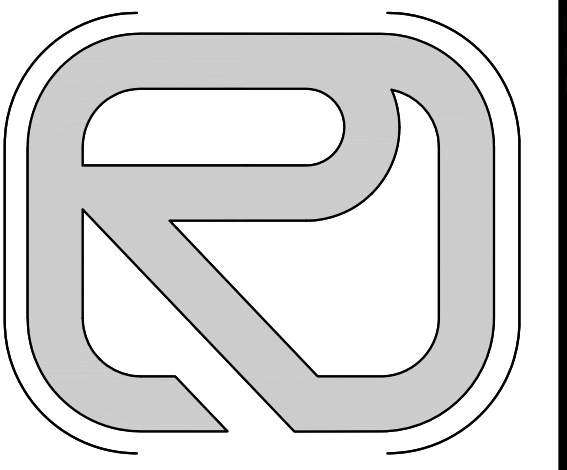
5



SECOND FLOOR PLAN
8'-0" CEILING HGT.
SET WINDOWS @ 6'-8" A.F.F.
SCALE= 1/4" = 1'-0"

NOTES:

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- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
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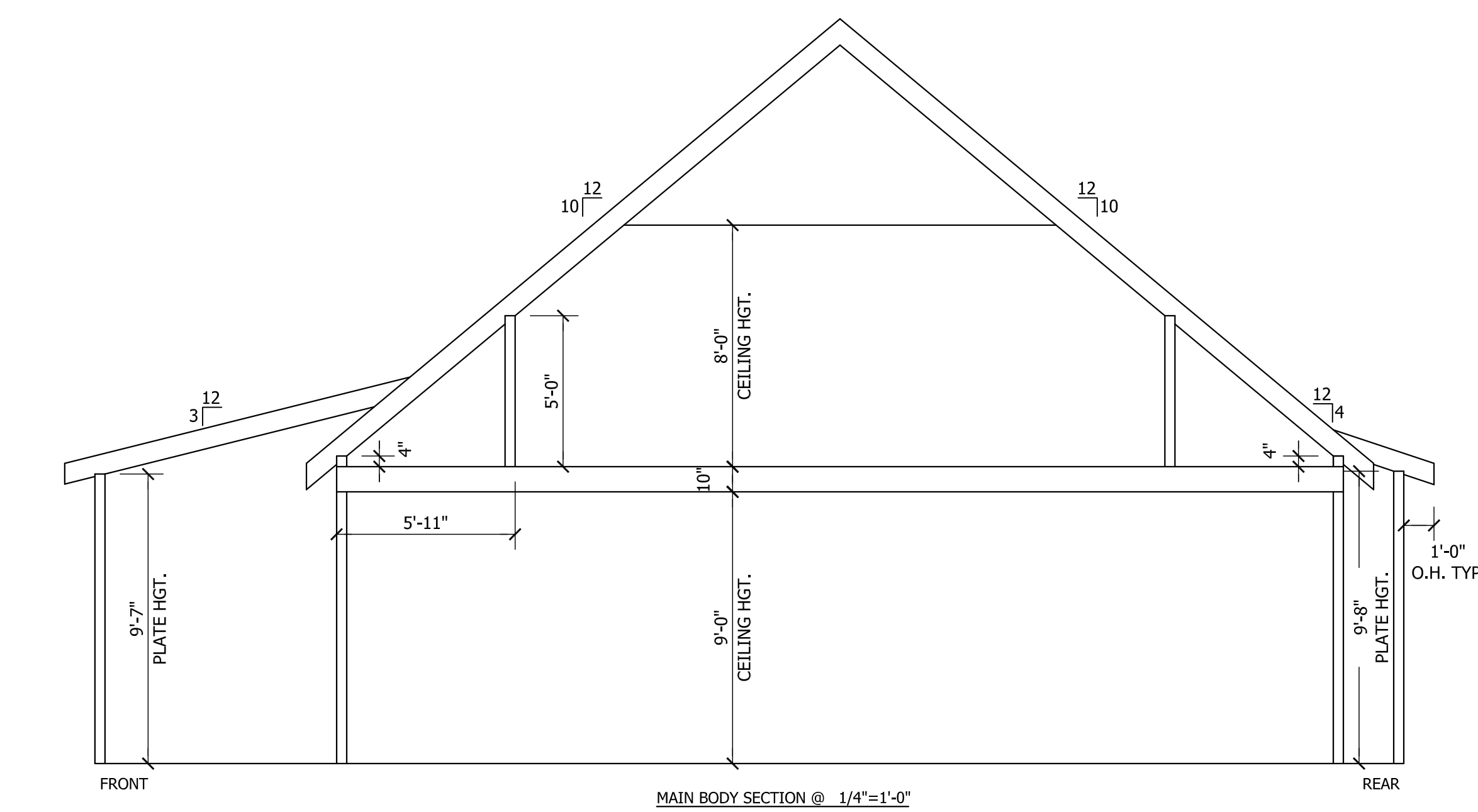
REVISIONS:

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OF

5



AREA CALCULATIONS

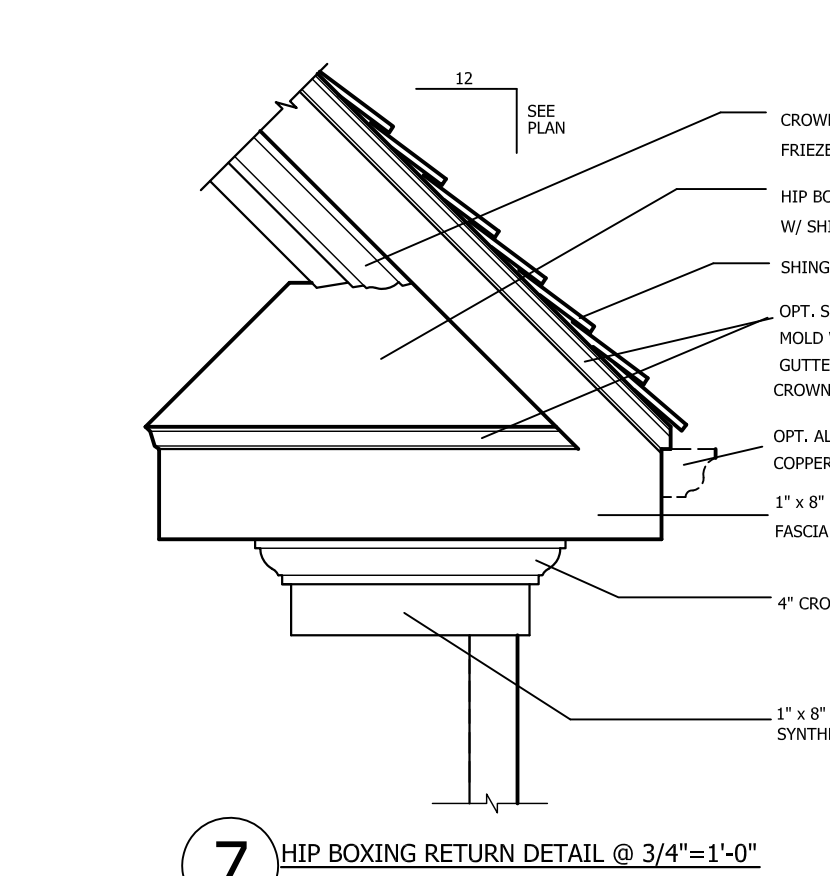
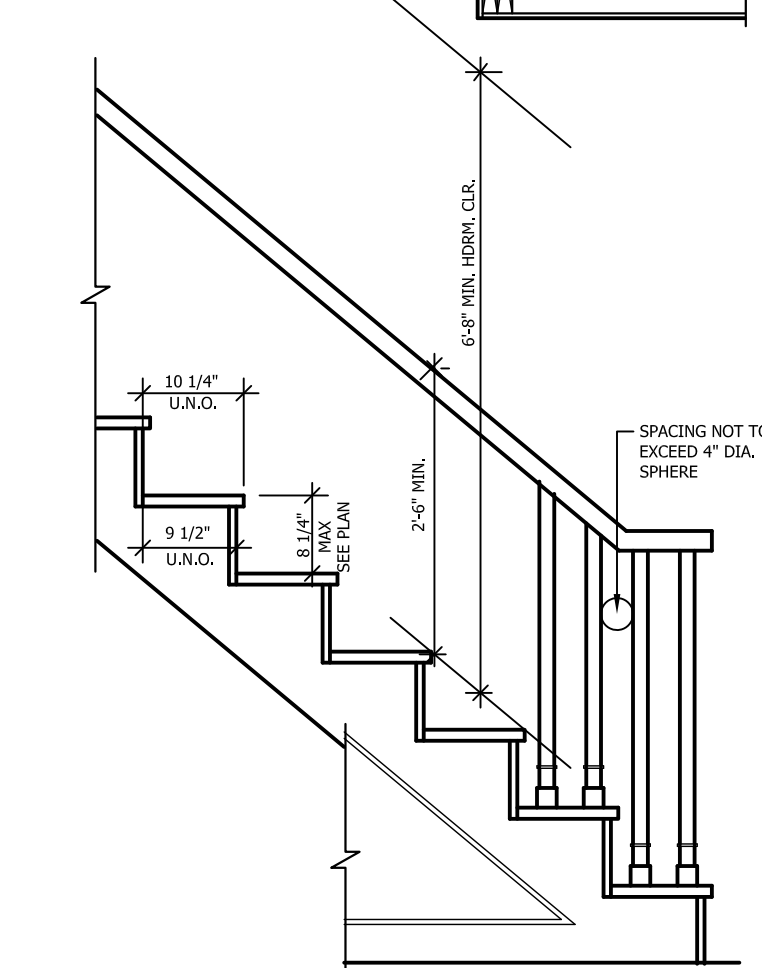
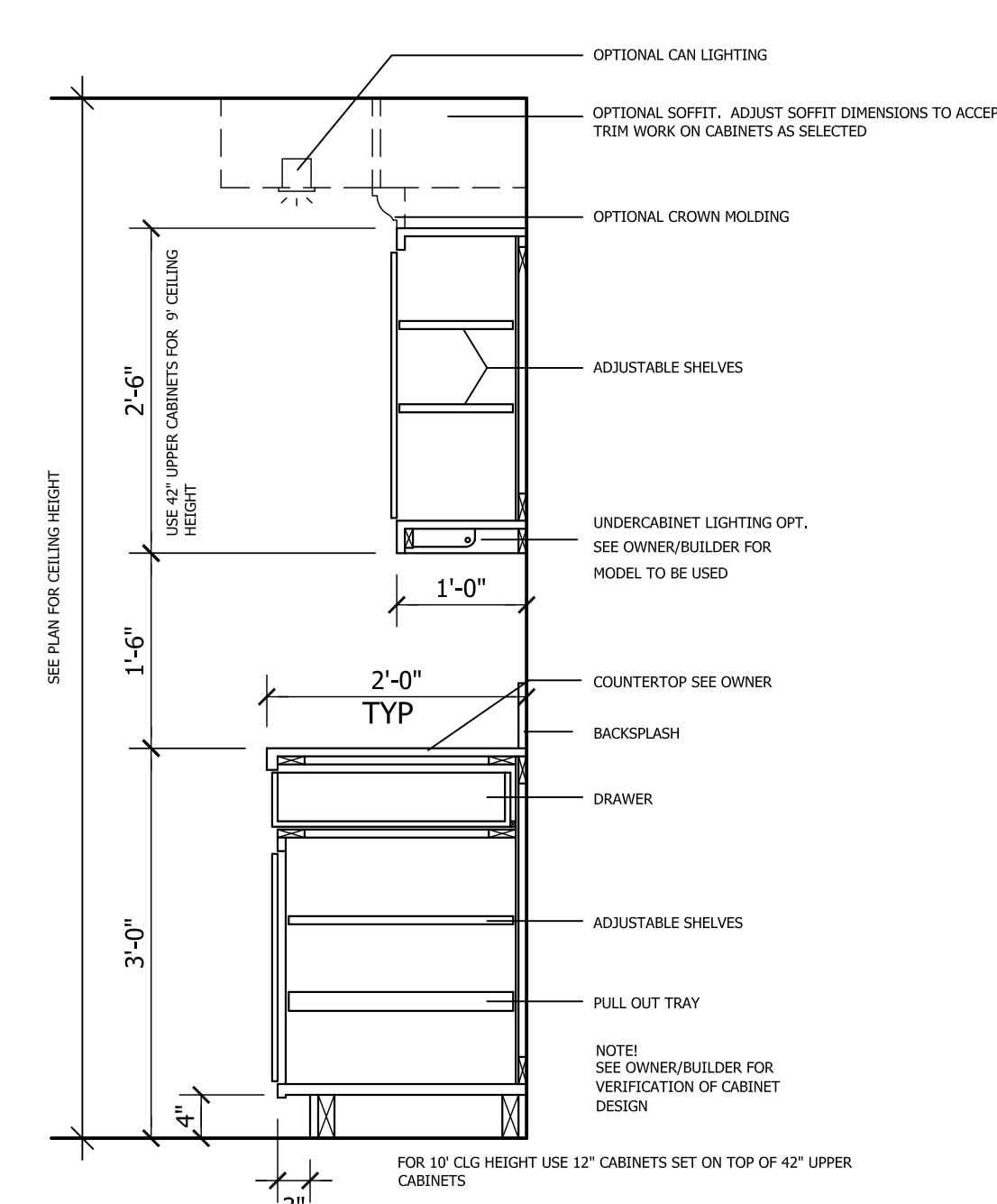
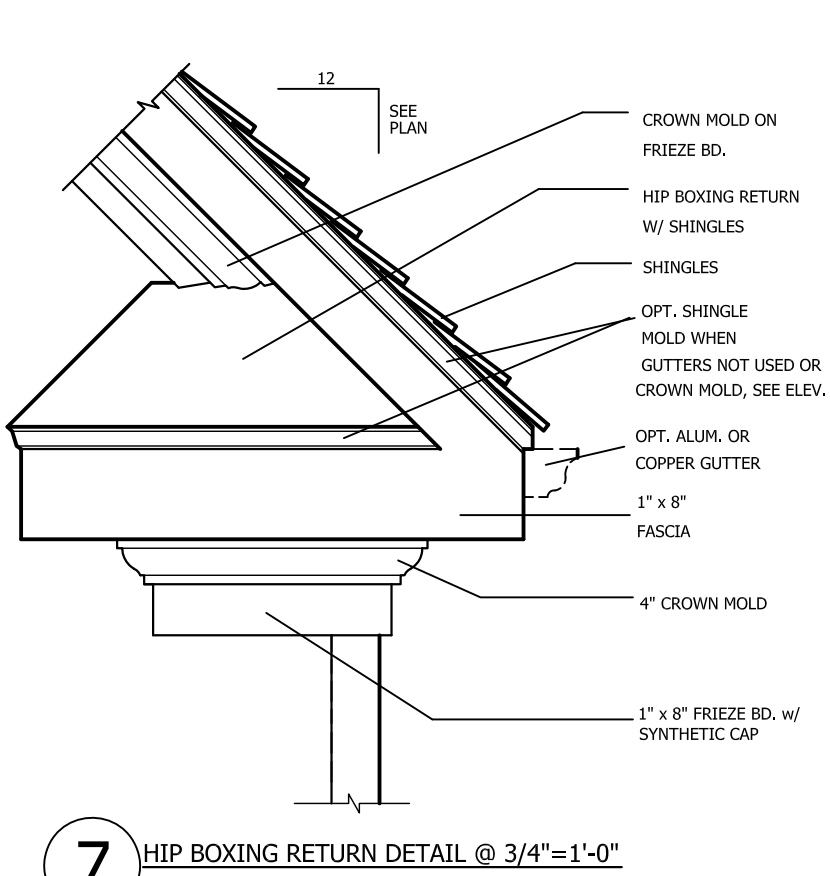
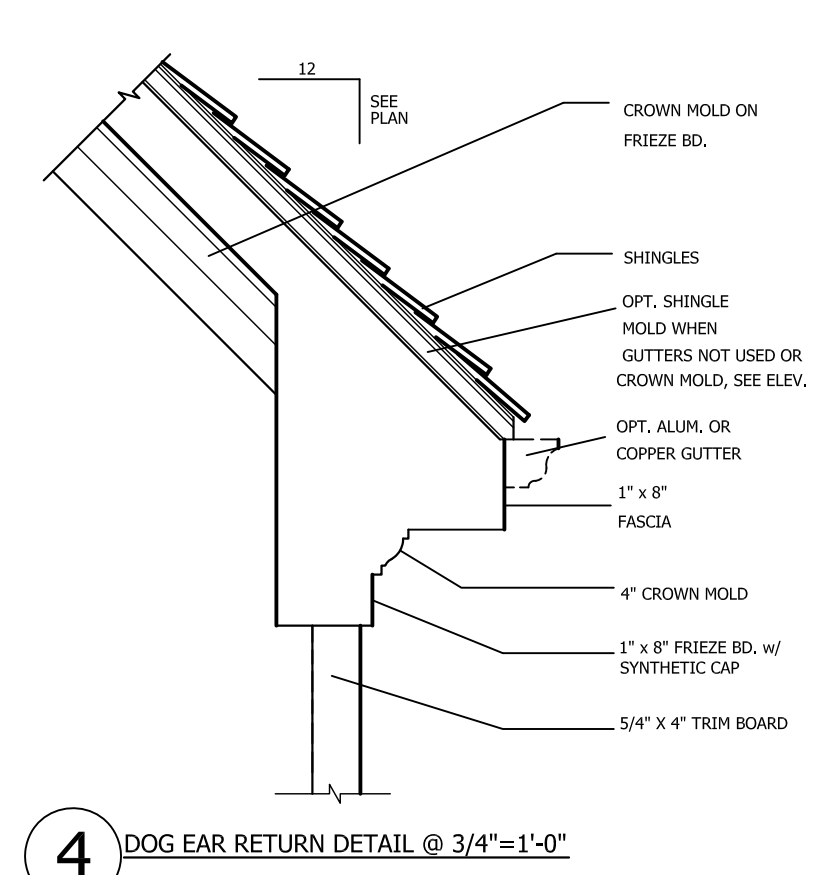
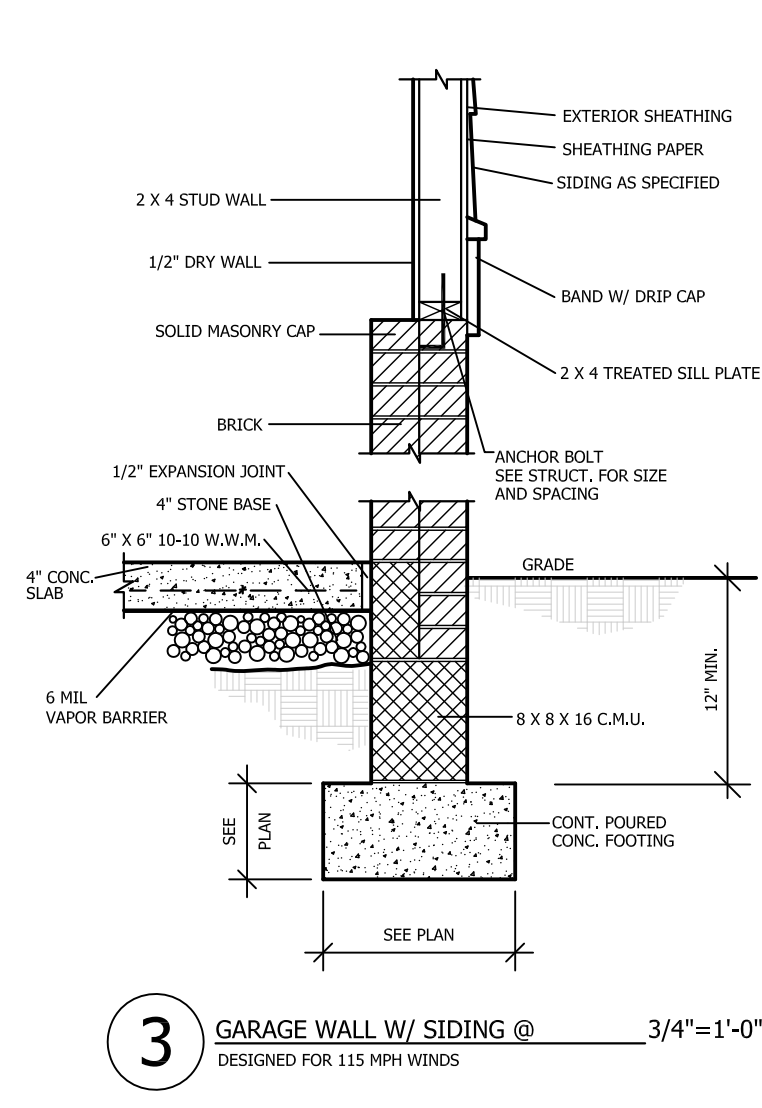
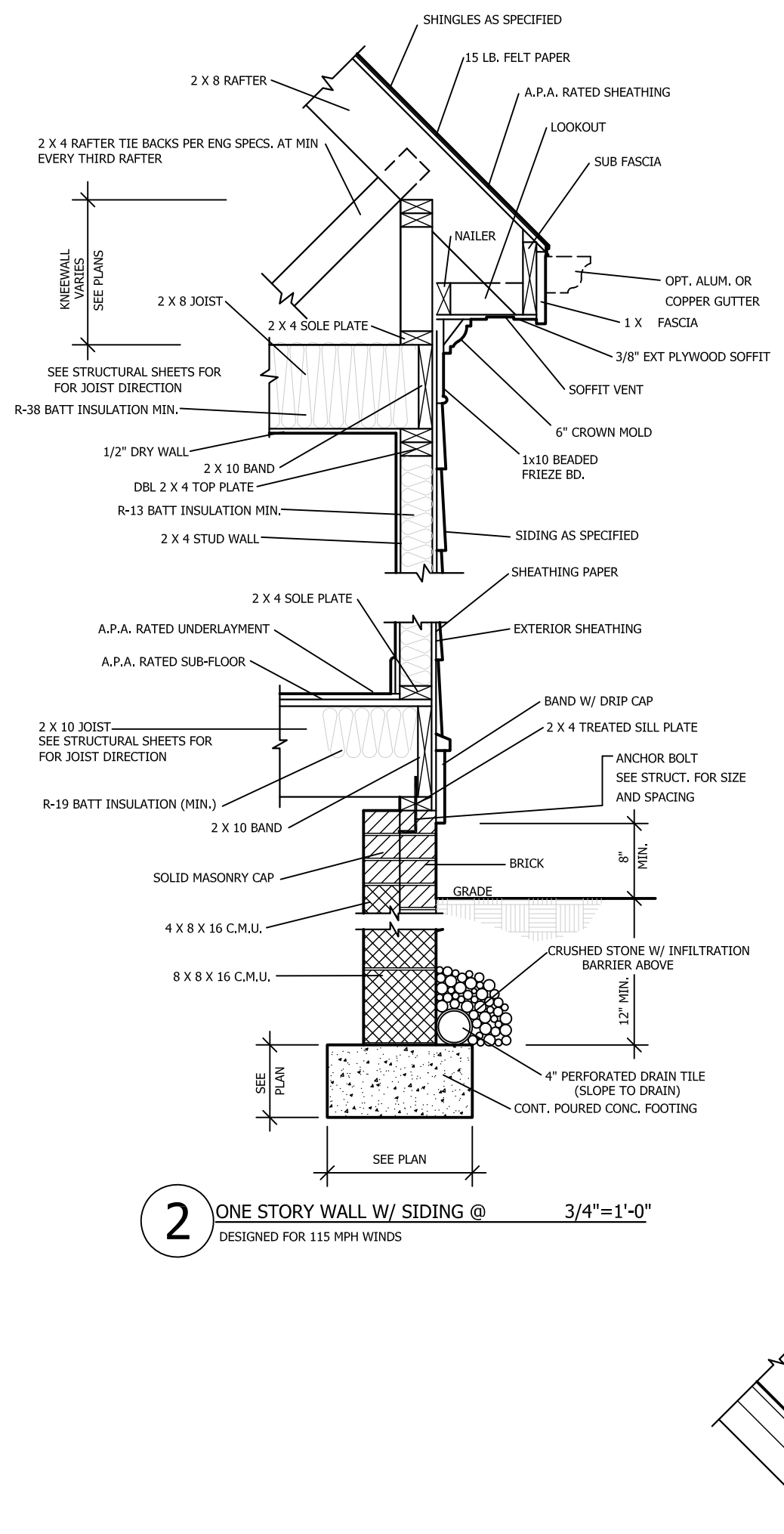
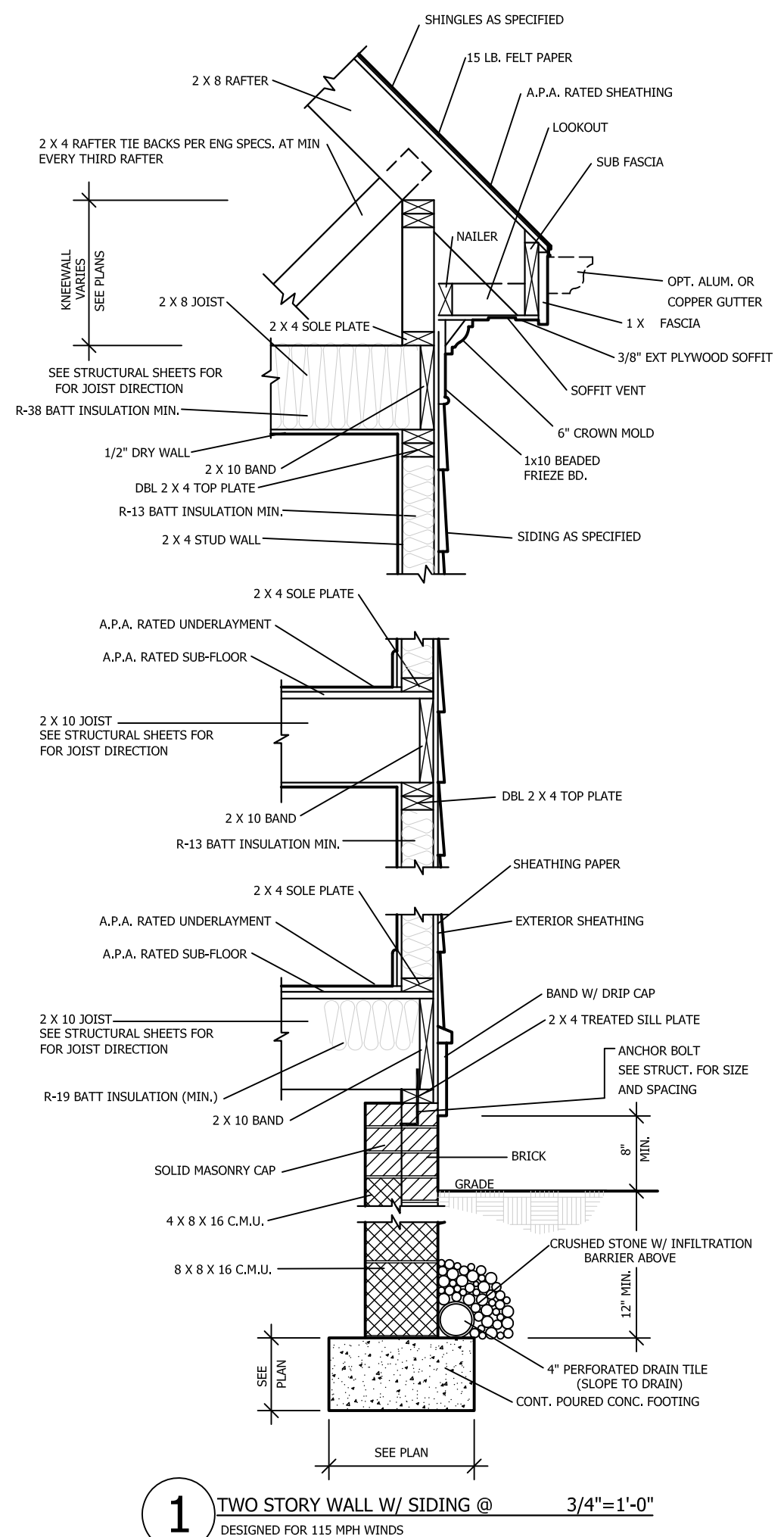
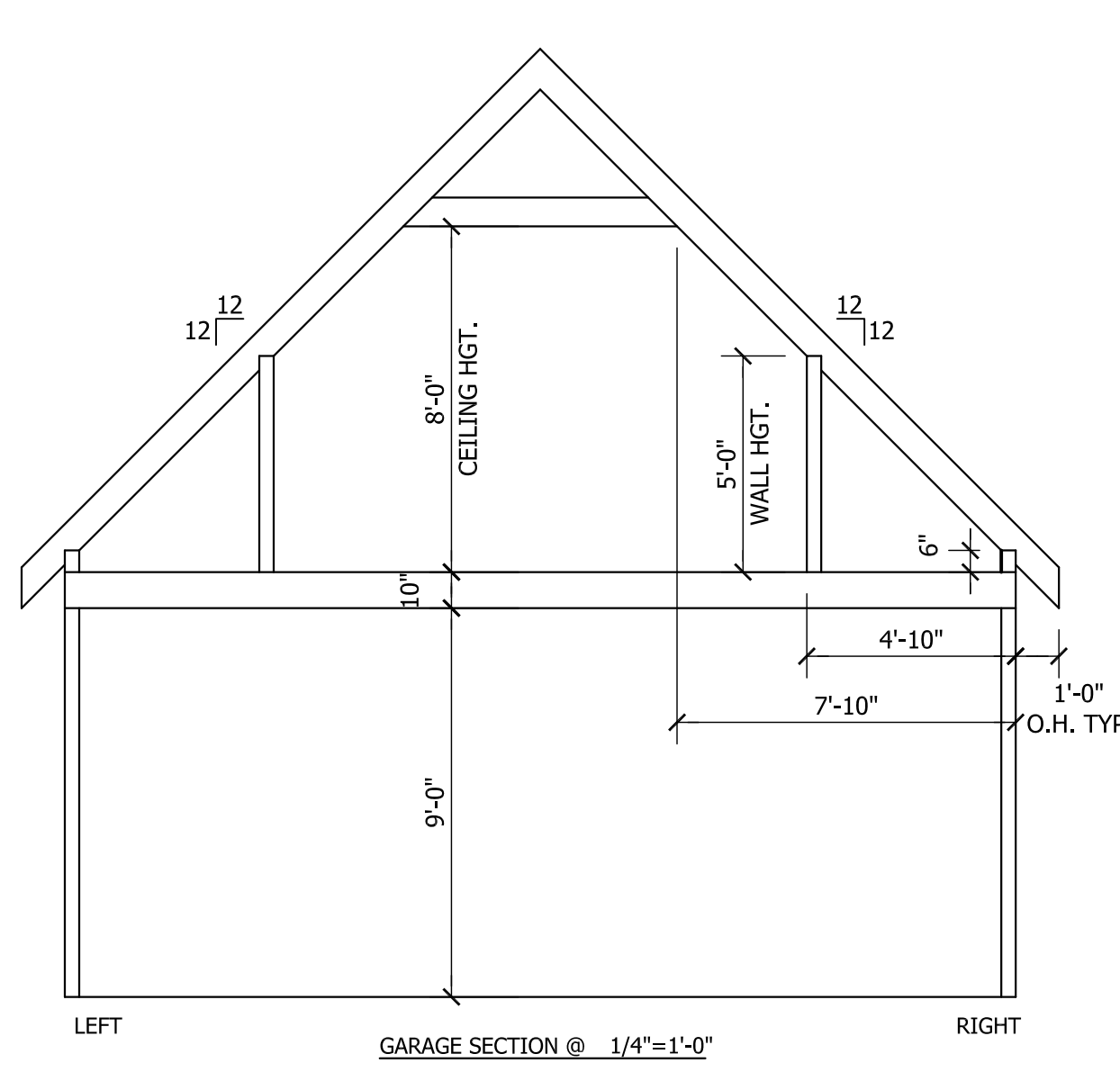
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TOTAL: 2821 (HEATED)	TOTAL: 1083 (UNHEATED)	OVERALL DIMENSION
		WIDTH: 69'-4"
		DEPTH: 57'-10"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 12" OF ALL PLATES SPLICES ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT = $< 30'-0"$

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0



1 TYP. KITCHEN CABINET SECTION @ 3/4"=1'-0"

2 TYP. STAIR DETAIL @ 3/4"=1'-0"

3 GARAGE WALL W/ SIDING @ 3/4"=1'-0"

4 DOG EAR RETURN DETAIL @ 3/4"=1'-0"

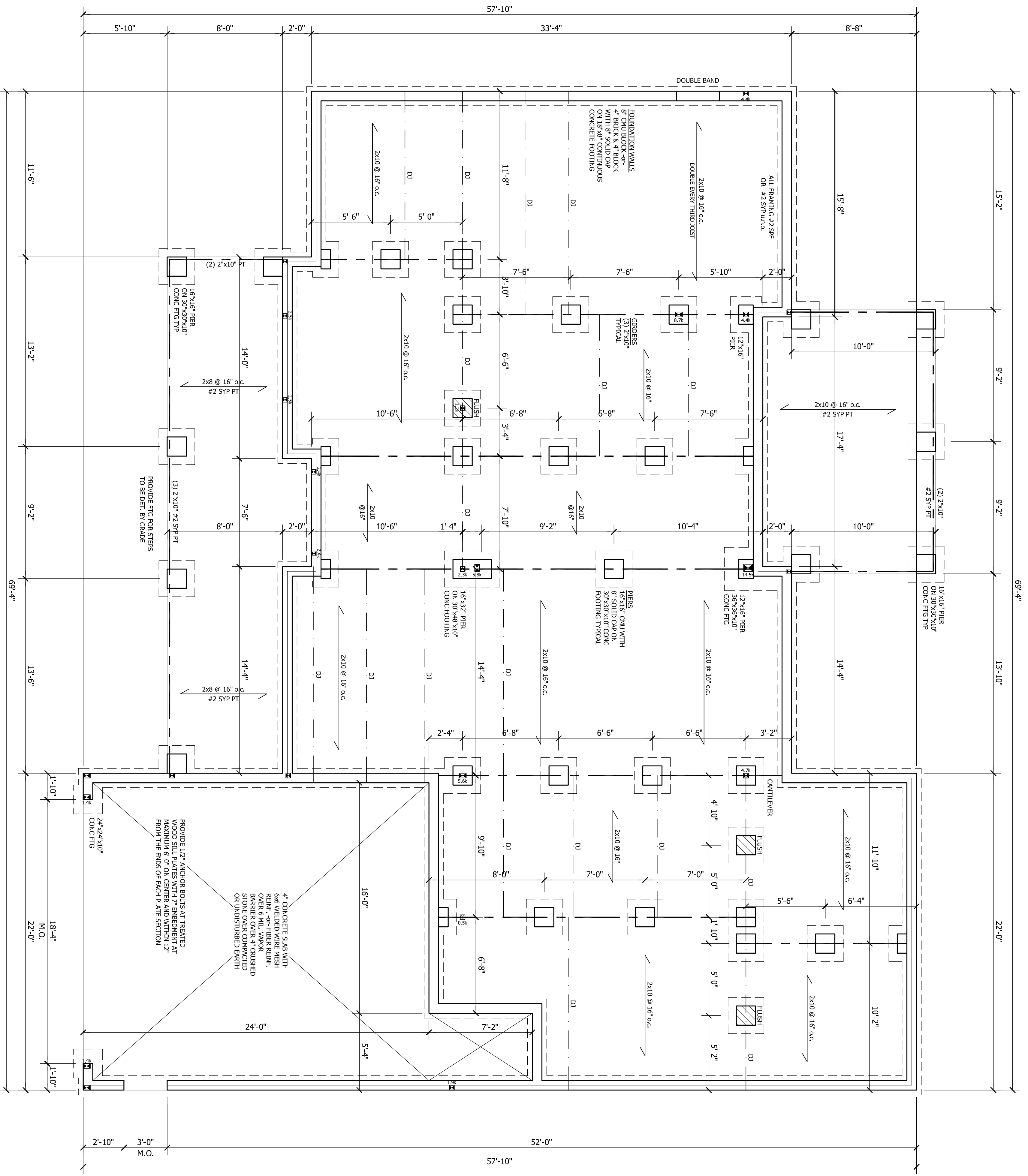
5 HIP BOXING RETURN DETAIL @ 3/4"=1'-0"

1 TWO STORY WALL W/ SIDING @ 3/4"=1'-0"

2 ONE STORY WALL W/ SIDING @ 3/4"=1'-0"

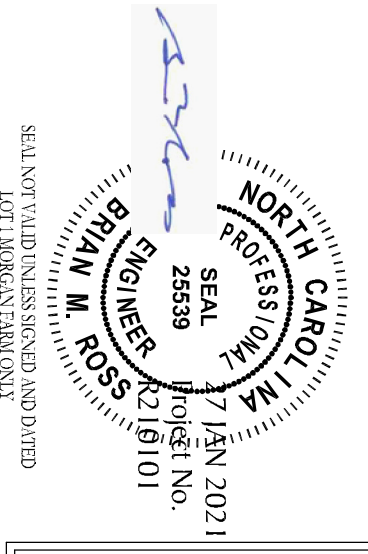
3 GARAGE WALL W/ SIDING @ 3/4"=1'-0"

5 TYP. KITCHEN CABINET SECTION @ 3/4"=1'-0"

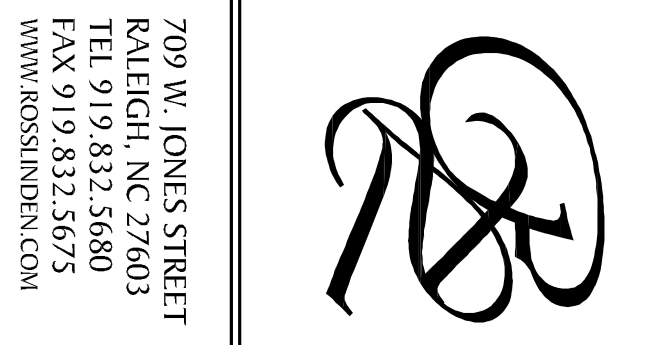


FOUNDATION & FIRST FLOOR FRAMING

SCALE: 1/4" = 1'-0"



STRUCTURAL DESIGN IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
 ENGINEERS SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 SEAL APPLIES ONLY FOR THE NUMBER OF ADDITIONAL LISTS OF THE ENGINEER'S DESIGN.
 ENGINEERS, P.C.



709 W. JONES STREET
 RALEIGH, NC 27603
 TEL 919.832.5680
 FAX 919.832.5675
 WWW.ROSSLINDEN.COM

ROSS LINDEN ENGINEERS PC

ROSS LINDEN ENGINEERS & ARCHITECTS
 LIABILITY FOR CHANGES OR MODIFICATIONS
 TO ANY PART OF THIS PLAN OR OTHER WORK
 DERIVATION FROM THESE PLANS.
 PEAN ENGINEERING RELIANTS THE PROPERTY
 OF ROSS LINDEN ENGINEERS, AND ANY
 REVISIONS, CHANGES, OR MODIFICATIONS
 MADE TO ANY PART OF THIS PLAN OR OTHER
 WORK OR PART IS STRICTLY PROHIBITED.
 THE CONDITIONAL LIST IS LIMITED TO THE
 LISTED ITEMS AND DOES NOT INCLUDE THE
 AND MATERIAL FOR THE SAME SECTION.

**STEPHENSON BUILDERS
 LOT 1 MORGAN FARM**

PROJECT NO.	R210101
DESIGN BY	ILR
DATE	25 JAN 21
REVISION	180301 12 MAR 18
	141103 2 DEC 14

**FOUNDATION &
 FIRST FLOOR**

SHEET NO.
S1

OF 55

WALL BRACING NOTES:

WALL BRACING SHALL BE IN ACCORDANCE WITH SECTION R602.10.3 CONTINUOUS SHEATHING. BRACING METHOD (S) SHALL BE USED IN ACCORDANCE WITH TABLE R602.10.1.

THE REQUIRED LENGTH OF BRACING FOR EACH SIDE OF A RECTANGLE CIRCUMSCRIBED AROUND THE PLAN OR A PORTION OF THE PLAN AT EACH STORY LEVEL SHALL BE IN ACCORDANCE WITH TABLE R602.10.3 AND FIGURE R602.10.3(1). UNLESS NOTED OTHERWISE, THE ENTIRE FRAME IS ASSUMED TO BE CIRCUMSCRIBED WITHIN A SINGLE RECTANGLE.

MINIMUM PANEL WIDTH IS 3'-0". SEE SECTION R602.10.3 FOR ADDITIONAL INFORMATION. CIRCUMSCRIBED BRACING SHALL BE IN ACCORDANCE WITH TABLE R602.10.1. CIRCUMSCRIBED BRACING SHALL BE IN ACCORDANCE WITH FIGURE R602.10.1.

NO DOWN BRACE SHALL BE REQUIRED BETWEEN FLOORS EXTENDING FROM BOTTOM OF FLOOR BAND UP STUDS WHERE REQUIRED TO CONNECT DIRECTLY TO FOUNDATION.

WIND SPEED: 115 mph
 EAVE TO RIDGE HEIGHT: 14.67 ft

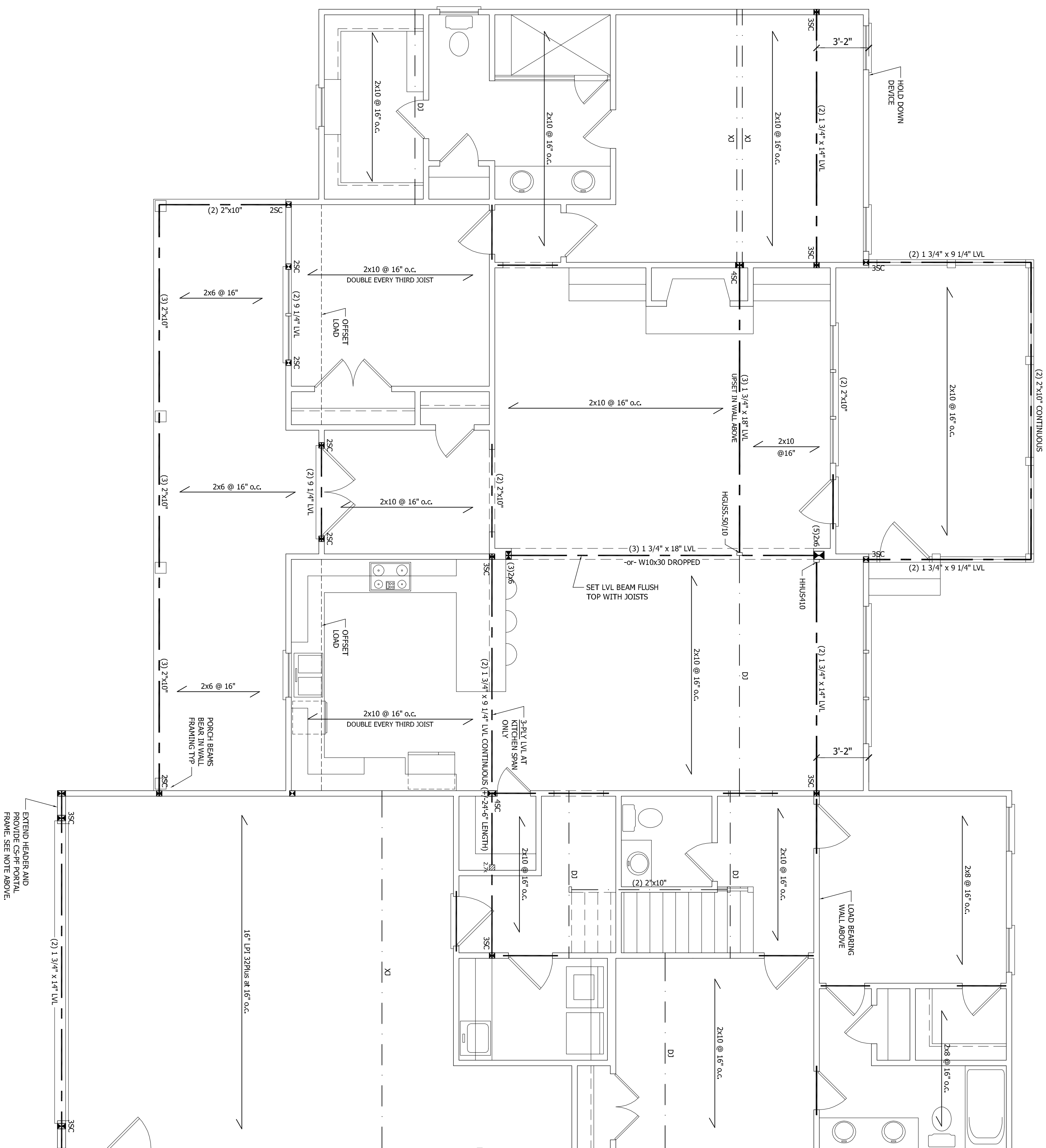
FIRST FLOOR:

SHORT SIDE LENGTH OF CIRCUMSCRIBED RECTANGLE: 52.83 ft
 REQUIRED LENGTH OF BRACING = 2.5 ft

PROVIDED LENGTH OF BRACING = 33.5 ft

LONG SIDE LENGTH OF CIRCUMSCRIBED RECTANGLE: 69.33 ft
 REQUIRED LENGTH OF BRACING = 9.0 ft

PROVIDED LENGTH OF BRACING = 31.0 ft



- FRAMING NOTES**
1. STRUCTURAL NOTES SHEET SS.
 2. FRAMING SHALL BE #2 SPF OR #2 SYP UNLESS NOTED OTHERWISE.
 3. EXTENSION AND BEARING HEADERS (2) 2x10\"/>

FRAMING SYSTEM
 JOIST LAYOUT AND PLACEMENT BY MANUFACTURER TO COMPARE WITH THE SUPPORT LOCATIONS SHOWN. JOISTS SHALL BE DESIGNED FOR MAXIMUM L/800 LIVE LOAD DEFLECTION. JOIST SPACING SHALL BE AS SHOWN. REVIEW AND COORDINATE WITH THE ENGINEER OF RECORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

EXTEND HEADER AND PROVIDE C-SP POSTS, FRAME PANEL, PER FIG. R602.10.1. PROVIDE STRIP2 STRAP (OR EQUIVALENT) EACH SIDE AS SHOWN. FASTEN SHEATHING TO HEADER AND WALL. FRAMING (EACH STUD) WITH BR NAILS IN 7\"/>



ROSS LINDEN
ENGINEERS PC

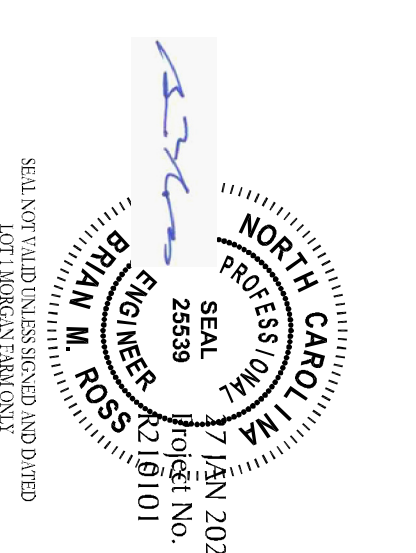
STEPHENSON BUILDERS
LOT I MORGAN FARM

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 RALEIGH, NC 27603
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 FAX 919 832 5675
 WWW.ROSSLINDEN.COM

<p>PROJECT NO. R210101</p> <p>DESIGN BY LJR 25 JAN 21</p> <p>REVISION 180301 12 MAR 18 141103 2 DEC 14</p>	<p>DATE 12 MAR 18 2 DEC 14</p>
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FIRST CEILING FRAMING

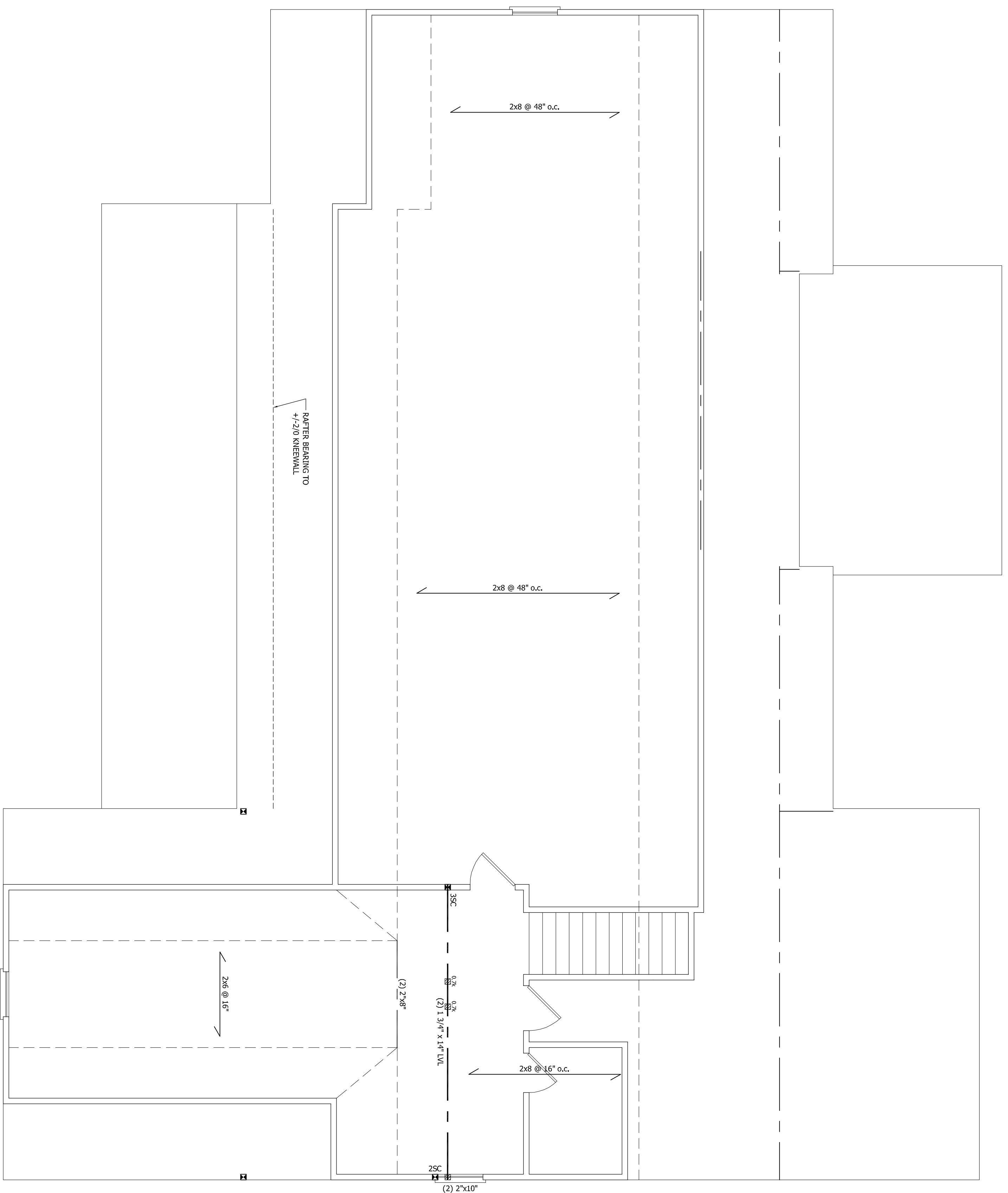
SHEET NO.
S2
OF 55



STRUCTURAL DESIGN IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC). ENGINEERS SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF ANY KIND. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN. SEE THE ENGINEER'S MANUAL FOR MORE INFORMATION.

FIRST CEILING FRAMING
 SCALE: 1/4" = 1'-0"

NOTE:
PER SECTION R602.10.3.2, THE AMOUNT OF BRACING PROVIDED
FOR THE FIRST STORY BELOW DECK LEVELS AND A SEPARATE
ANALYSIS OF SECOND STORY BRACING IS NOT REQUIRED.



- FRAMING NOTES**
1. STRUCTURAL NOTES SHEET SS.
 2. FRAMING SHALL BE #2 SFP OR #2 SFP u/a.o.
 3. EXTENSION AND BEARING HEADERS (2) 2"x10" u/a.o.
 4. ■ DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4 ON SS.

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DEVIATION FROM THESE PLANS.

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OR RIGHTS ENGINEERS AND ANY
OTHERS. ENGINEERS AND ANY OTHERS
WHOLE OR PART IS STRICTLY PROHIBITED.
THIS FROM ANY AND ALL USES. THE
CONDITIONAL LIST IS LIMITED TO THE
AND READER FOR THE SHD SECTION.

STEPHENSON BUILDERS
LOT 1 MORGAN FARM

PROJECT NO.
R210101

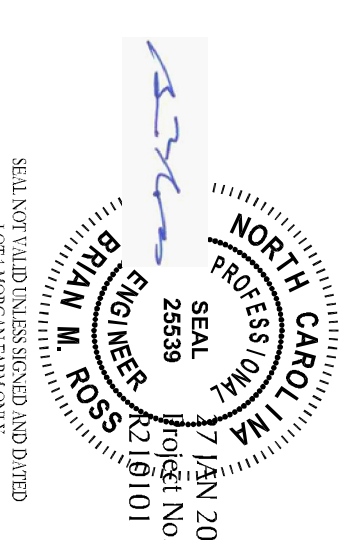
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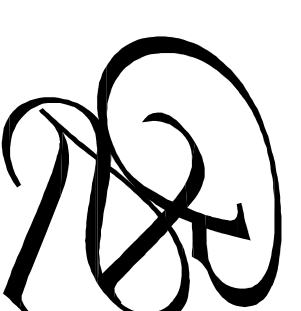
SECOND CEILING
FRAMING

SHEET NO.
S3
OF 55

SECOND CEILING FRAMING
SCALE: 1/4" = 1'-0"



STRUCTURAL DESIGN IN ACCORDANCE
WITH THE 2015 INTERNATIONAL BUILDING
CODES AND THE 2015 INTERNATIONAL
MECHANICAL AND ELECTRICAL
CORRECTIONS ONLY AND DOES NOT
CONSTITUTE AN ENDORSEMENT OR
DIMENSIONAL ACCURACY.
SEAL APPLIES ONLY FOR THE NUMBER
OF ADDITIONAL LISTS OF THE PLANS WILL
BE COVERED. FAILURE TO NOTIFY THE ENGINEER
OF ADDITIONAL LISTS OF ROSS LINDEN
ENGINEERS, PC.



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ROSS LINDEN
ENGINEERS PC

ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR DAMAGES OR MODIFICATIONS TO THIS PLAN. PLANS OR OTHER DOCUMENTS ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF ROSS LINDEN ENGINEERS PC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

STRUCTURAL NOTES

GENERAL

1. ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONAL ACCURACY. ROSS LINDEN ENGINEERS PC ASSUMES NO LIABILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS OR FOR CONSTRUCTION METHODS OR FOR ANY DEVIATION FROM THE PLANS.
2. ALL CONSTRUCTION WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA RESIDENTIAL CODE (NCRC) AND LOCAL CODES AND REGULATIONS. DIMENSIONS SHALL GOVERN OVER SCALE AND GOIN SHALL GOVERN OVER DIMENSIONS.
3. CONTACT THE ENGINEER PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
4. ONLY CURRENT SEALED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

DESIGN LOADS

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)
TABLE R301.4 DORMER ROOFS	30	10
SLEEPING ROOMS	30	10
ATTICS WITH STORAGE	20	10
ATTIC FLOOR	20	10
CEILING	10	10
DECKS	40	10
PARKING GARAGE	40	10
FIRE ESCAPES	40	10
GUARDRAILS AND HANDRAILS	200	-

ADDITIONAL NOTES

TABLE R301.2(1) BASIC DESIGN WIND SPEED 115 MPH

TABLE R301.2(2) SEISMIC DESIGN CATEGORY B

TABLE R301.2(3) DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOWS FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 27 PSF

TABLE R301.2(4) COMPONENT AND CLADDING LOADS FOR A BUILDING LOCATED IN EXPOSURE B

ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE DESIGNED BASED ON ROOF PITCHES AND MEAN ROOF HEIGHT AS FOLLOWS:

MEAN ROOF HEIGHT	ROOF PITCH	POSITIVE	NEGATIVE
0-30 FT	4:12	45 PSF	40 PSF
0-30 FT	4:12	47 PSF	45 PSF
0-30 FT	4:12	48 PSF	47 PSF
0-30 FT	4:12	49 PSF	48 PSF
0-30 FT	4:12	50 PSF	49 PSF
0-30 FT	4:12	51 PSF	50 PSF
0-30 FT	4:12	52 PSF	51 PSF
0-30 FT	4:12	53 PSF	52 PSF
0-30 FT	4:12	54 PSF	53 PSF
0-30 FT	4:12	55 PSF	54 PSF
0-30 FT	4:12	56 PSF	55 PSF
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0-30 FT	4:12	67 PSF	66 PSF
0-30 FT	4:12	68 PSF	67 PSF
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0-30 FT	4:12	72 PSF	71 PSF
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0-30 FT	4:12	96 PSF	95 PSF
0-30 FT	4:12	97 PSF	96 PSF
0-30 FT	4:12	98 PSF	97 PSF
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0-30 FT	4:12	100 PSF	99 PSF

CONSTRUCTION

1. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM OF TWO BOLTS PER END. BOLTS SHALL BE SPACED AT EACH END WITH A MINIMUM OF 1/2" x 4" LAG SCREWS.
2. ENGINEERED WOOD BEAMS SHALL BE INSTALLED WITH ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
3. ALL BEAMS SHALL BE CONTINUOUSLY SUPPORTED LATERALLY TO PREVENT LATERAL TORSION BUCKLING. BRACING SHALL BE PROVIDED AT EACH END WITH A MINIMUM OF TWO 1/2" x 4" LAG SCREWS.
4. SOLID BLOCKING SHALL BE PROVIDED AT ALL JOINT LOADS TO PREVENT BEAM END ROTATION. BRACING SHALL BE PROVIDED AT EACH END WITH A MINIMUM OF TWO 1/2" x 4" LAG SCREWS.
5. ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE MANUFACTURER AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
6. WALL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION R602.10 OF THE NORTH CAROLINA RESIDENTIAL CODE.
7. EXTERIOR WALLS ARE ASSIGNED TO BE BRACED WALL LINES. AN ADDITIONAL INTERIOR WALLS MAY ALSO BE USED AS BRACED WALL LINES WHERE APPLICABLE. SEE PLAN FOR LOCATIONS.
8. CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL SHEATHING (PLYWOOD OR OSB) PER CODE SECTION R602.10.4. EXTERIOR BRACED WALL LINES ARE ASSIGNED TO BE SHEATHED WITH 1/2" WOOD STRUCTURAL SHEATHING (PLYWOOD OR OSB) PER CODE SECTION R602.10.4. WALL PANELS ALTERNATE BRACING METHODS. IF USED, MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE CODE AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
9. INTERIOR BRACED WALL LINES ARE CONSIDERED TO BE BRACED WITH 1/2" OR GYPSUM BOARD BRACED WALL PANELS. SEE TABLE R602.10.4 FOR CONNECTION CRITERIA FOR GARAGE WALLS AND OTHER WALLS WITH MULTIPLE OR LARGE OPENINGS.
10. STEEL FRITCH BEAMS SHALL BE FASTENED TOGETHER WITH 1/2" DIAMETER BOLTS WITH WASHERS PLACED UNDER THE THIRD END OF THE BOLT. BOLTS SHALL BE SPACED AT MAXIMUM 24" ON CENTER FOR AND BOTTOM OF BEAM WITH MAXIMUM 24" ON CENTER FOR AND TOP OF BEAM. BOLTS SHALL BE LOCATED AT 6" FROM EACH END OF FITCH BEAM.
11. BRACK LINTELS SHALL BE 3/2" x 1/2" x 1/4" STEEL ANGLE FOR UP TO 6" FROM EACH END OF FITCH BEAM.
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FOUNDATION

1. MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF. VERIFY SOIL BEARING CAPACITY.
2. CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE DESIGNED FOR SECTION R602.10.4 OR IN ACCORDANCE WITH ACI 318. NCM 1708-A OR ACI 318/ASCE 7/MS 402.
3. MASONRY AND POURED CONCRETE WALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH TABLE R602.10.4 THROUGH 4.
4. PER TABLE R602.10.4, WALLS SHALL BE REINFORCED WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT SPACED A MAXIMUM OF 6'-0" O.C. AND WITHIN 2" FROM THE ENDS OF EACH PLATE SECTION.
5. THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHTS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
6. CENTERS OF PIERS SHALL BEAR IN THE MIDDLE THIRD OF THE PIER.
7. ALL FOOTINGS SHALL HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS.

MATERIALS

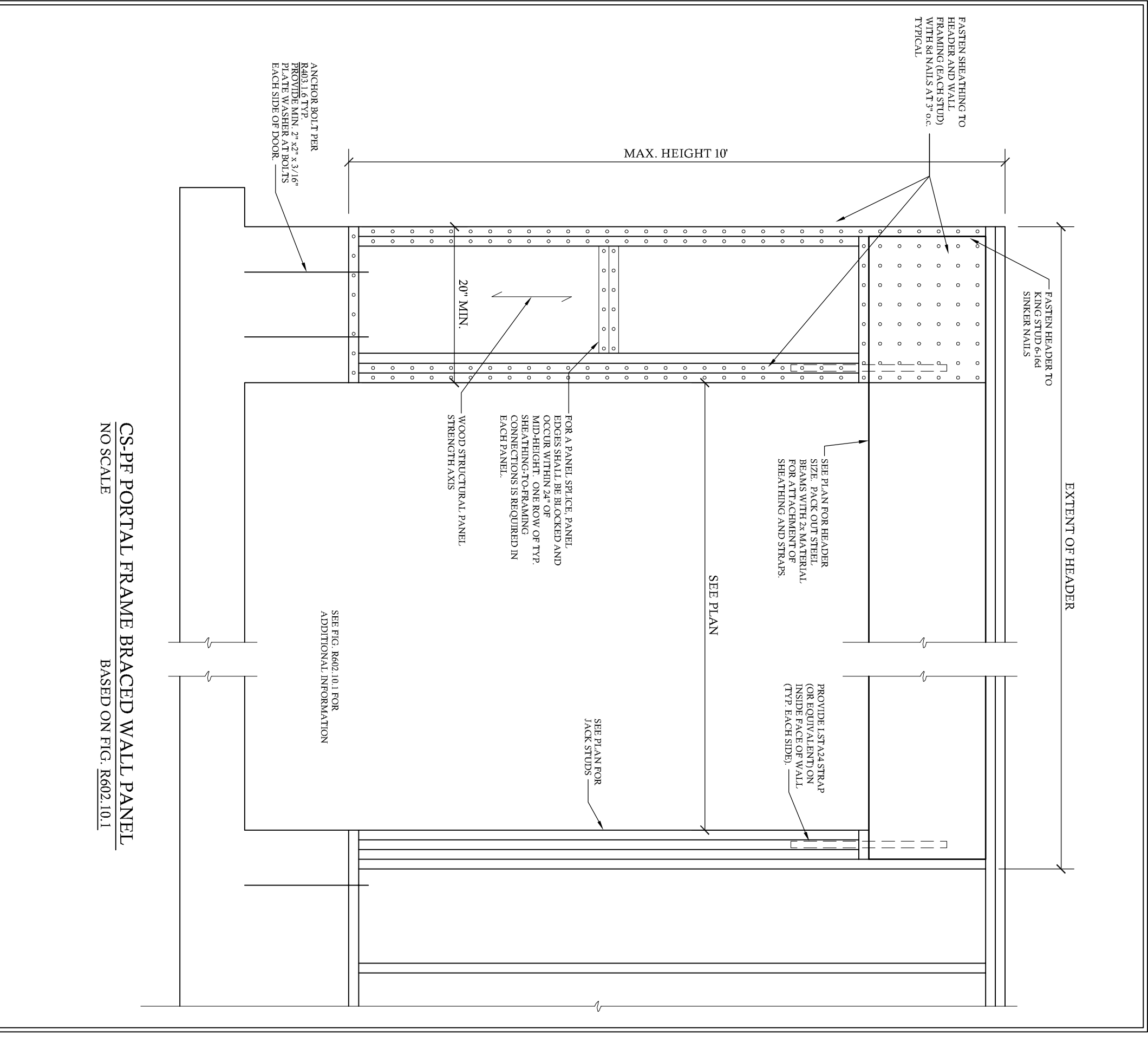
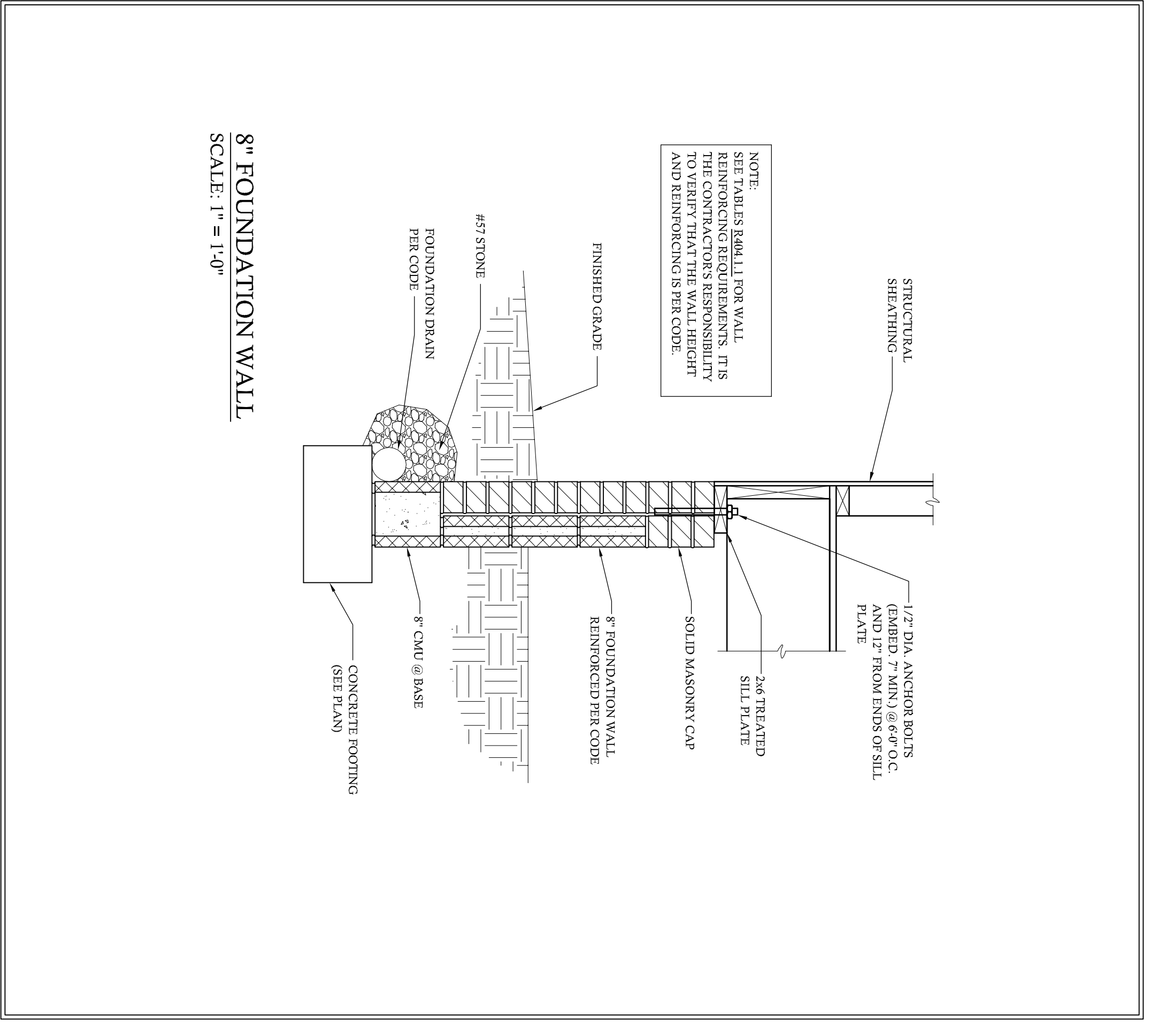
1. REINFORCING LUMBER SHALL BE #2 SPOURCE PINE (SPF) WITH THE FOLLOWING DESIGN PROPERTIES:
F_b = 875 PSI, F_v = 70 PSI, E = 1,466,000 PSI
2. REMAINING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE #2 SOUTHERN YELLOW PINE (SYP) TREATED IN ACCORDANCE WITH AWPA C22 WITH THE FOLLOWING DESIGN PROPERTIES:
F_b = 1,000 PSI, F_v = 95 PSI, E = 1,600,000 PSI
3. ENGINEERED WOOD BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING DESIGN PROPERTIES:
F_b = 3,600 PSI, F_v = 285 PSI, E = 1,946,000 PSI
4. THE FOLLOWING PRODUCTS MEET OR EXCEED THE ABOVE SPECIFICATIONS AND MAY BE USED AT THE LOCATION:
BROADSPAN LVL BY GEORGIA PACIFIC
LEVEL TRUS JOIST LVL BY MICRO-LAM LVL BY WEYERHAEUSER
5. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992 OR A572 GRADE 50. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36.
6. REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A618 GRADE 60.
7. SEE TABLE R602.10 FOR STRUCTURAL MEMBER FASTENING REQUIREMENTS.
8. POURED CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 OR ASTM C119.
9. CONCRETE LOCATED PER TABLE R602.10 SHALL BE AIR ENTRAINED WITH THE TOTAL AIR CONTENT NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.
10. MASONRY UNITS SHALL CONFORM TO ACI 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C270.

ABBREVIATIONS

CONC	CONCRETE
CON	CONCRETE
DBL	DOUBLE JOIST
DBP	DOUBLE STUD/POCKET
E	EDGE
FL	FLAT PLATE
FTG	FOOTING
FR	FRAMER
L	LUMBER
NIS	NOT TO SCALE
OC	ON CENTER
PC	PASSIVE TREATED
RF	REINFORCING
SC	STUD/POCKET
SP	SPACING
STD	STUD/POCKET
TTT	TYPICAL
UNO	UNLESS NOTED OTHERWISE
XI	EXTRA JOIST

STRUCTURAL DESIGN IN ACCORDANCE WITH THE NORTH CAROLINA RESIDENTIAL CODE (NCRC) AND LOCAL CODES AND REGULATIONS.

ENGINEERS SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT ASSUME LIABILITY FOR CHANGES OR MODIFICATIONS TO THESE PLANS BY OTHERS OR FOR CONSTRUCTION METHODS OR FOR ANY DEVIATION FROM THE PLANS.



STEPHENSON BUILDERS
LOT 1 MORGAN FARM

PROJECT NO. **R210101**

DESIGN BY: ILR 25 JAN 21

REVISION: 180301 12 MAR 18
141103 2 DEC 14

DATE: 12 MAR 18

DATE: 2 DEC 14

STRUCTURAL NOTES & DETAILS

SHEET NO. **SS**

OF 55