

- ABBREVIATIONS**
- ACC. = ACCESS
 - BWL. = BRACED WALL LINE
 - BWP. = BRACED WALL PANEL
 - C.O. = CASED OPENING
 - C.J. = CEILING JOIST
 - CLOS. = CLOSEST
 - COL. = COLUMN
 - COMP. = COMPOSITION
 - CONC. = CONCRETE
 - CONT. = CONTINUOUS
 - C.M.A. = CARBON MONOXIDE ALARM
 - C.M.U. = CONCRETE MASONRY UNIT
 - D.H. = DOUBLE HUNG
 - DIA. = DIAMETER
 - D.J. = DOUBLE JOIST
 - DN. = DOWN
 - EXH. = EXHAUST
 - EXT. = EXTERIOR
 - FL.J. = FLOOR JOIST
 - FTG. = FOOTING
 - G.F.I. = GROUND FAULT INTERRUPTER
 - H.B. = HOSE BIB
 - LVL. = LAMINATED VENEER LUMBER
 - M.O. = MASONRY OPENING
 - MAS. = MASONRY
 - MAX. = MAXIMUM
 - M.C. = MEDICINE CABINET
 - MTL. = METAL
 - MIN. = MINIMUM
 - O.C. = ON CENTER
 - OSB = ORIENTED STRAND BOARD
 - PERF. = PERFORATED
 - REC. = RECESSED
 - REINF. = REINFORCED
 - SCR. = SCREENED
 - S.D. = SMOKE DETECTOR
 - SEC. = SECOND
 - SHWR. = SHOWER
 - S.Y.P. = SOUTHERN YELLOW PINE
 - S.P.F. = SPRUCE/PINE/FIR
 - SUSP. = SUSPENDED
 - TYP. = TYPICAL
 - U.O.N. = UNLESS OTHERWISE NOTED
 - WASH. = WASHER
 - W.H. = WATER HEATER
 - W.P. = WEATHER PROOF
 - W.W.M. = WELDED WIRE MESH
 - WDW. HT. = WINDOW HEIGHT
 - WD. = WOOD

- SYMBOLS**
- = HOSE BIB
 - s = SWITCH
 - 3 = 3-WAY SWITCH
 - ◇ = LIGHT FIXTURE
 - ⊞ = EXHAUST FAN & LIGHT
 - ⊞ = SMOKE DETECTOR
 - △ = SHOWER HEAD
 - ◀ = TELEPHONE JACK
 - ⊕ = CONVENIENCE OUTLET
 - ⊕ = 220 VOLT OUTLET
 - = GROUND FAULT INTERRUPTER
 - ⊗ = CEILING FAN
 - ⊙ = CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

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ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER XXXXX.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, CLIMATIC GEOGRAPHIC DESIGN CRITERIA, AND ANY OTHER PROVISIONS THAT MAY BE REQUIRED BY VA/FHA/RD.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS, AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FACILITIES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE : _____

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6"-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GIRDER JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEARINGS. FILL CORES OF HOLLOW MASONRY TO FOOTING WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GIRDER PIERS.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

BASEMENT

ALL GIRDER JOINTS SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY.

DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE. SASH SHALL BE 18/20 2-LT. 3'-3 7/8" X 1'-11 15/16" 3420 HB.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS :

- GRADE : 2950Fb-2.0E
- BENDING Fd : 2950
- MOE : 2.0 x 10⁶
- SHEAR Fv : 290

SUPPORT FOR HEADERS: HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16	24
3 FEET OR LESS	1	1
4 FT.	2	1
8 FT.	3	2
12 FT.	5	3
16 FT.	6	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF
 ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
 NOMINAL DESIGN WIND SPEED : 93 MPH
 EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
 WINDOW DESIGN PRESSURE RATING : DP 25
 COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	ULTIMATE DESIGN WIND SPEED (MPH)			
	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 21'-9"

SEISMIC CONDITION BY ZONE : ZONES A AND B
 SUBJECT TO DAMAGE FROM WEATHERING : MODERATE
 CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4
 MINIMUM VALUES FOR ENERGY COMPLIANCE:
 CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19
 WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY CONFORMITY WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY WINDOW MANUFACTURER.

2018 NORTH CAROLINA RESIDENTIAL CODE
 THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING HEIGHT SHALL BE AT LEAST 22 INCHES AND THE NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES. IN ADDITION THE MINIMUM TOTAL GLASS AREA SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A GROUND STORY WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE
 THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

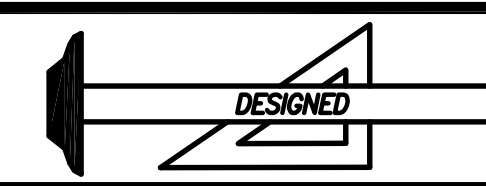
NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED

Limited building only review
 Permit holder responsible for full compliance with the code

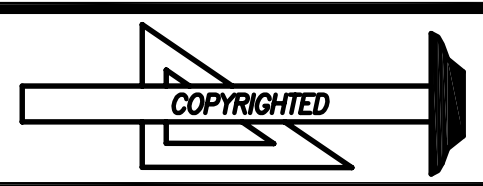
07/12/2022

Engineered structural drawings

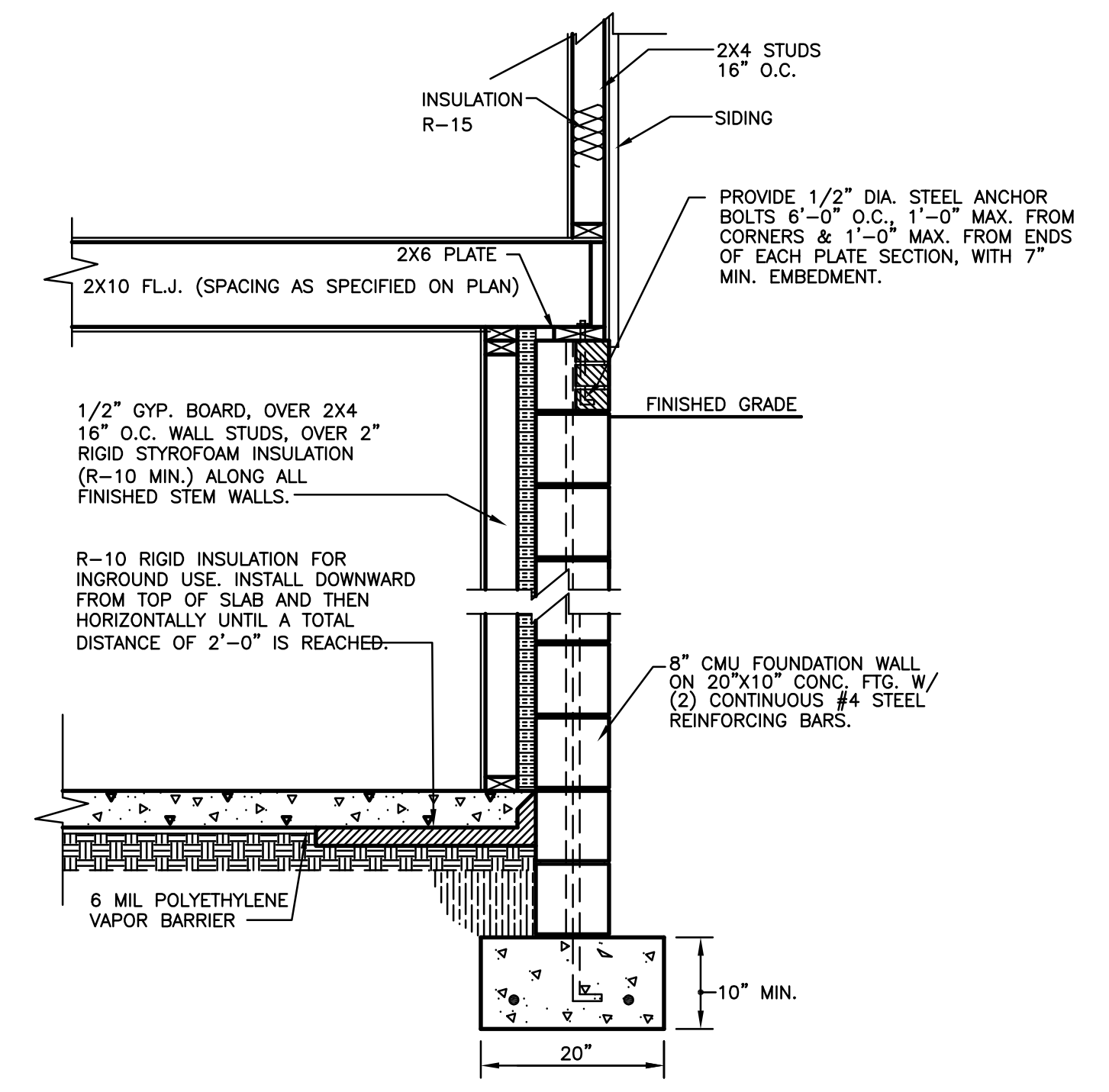
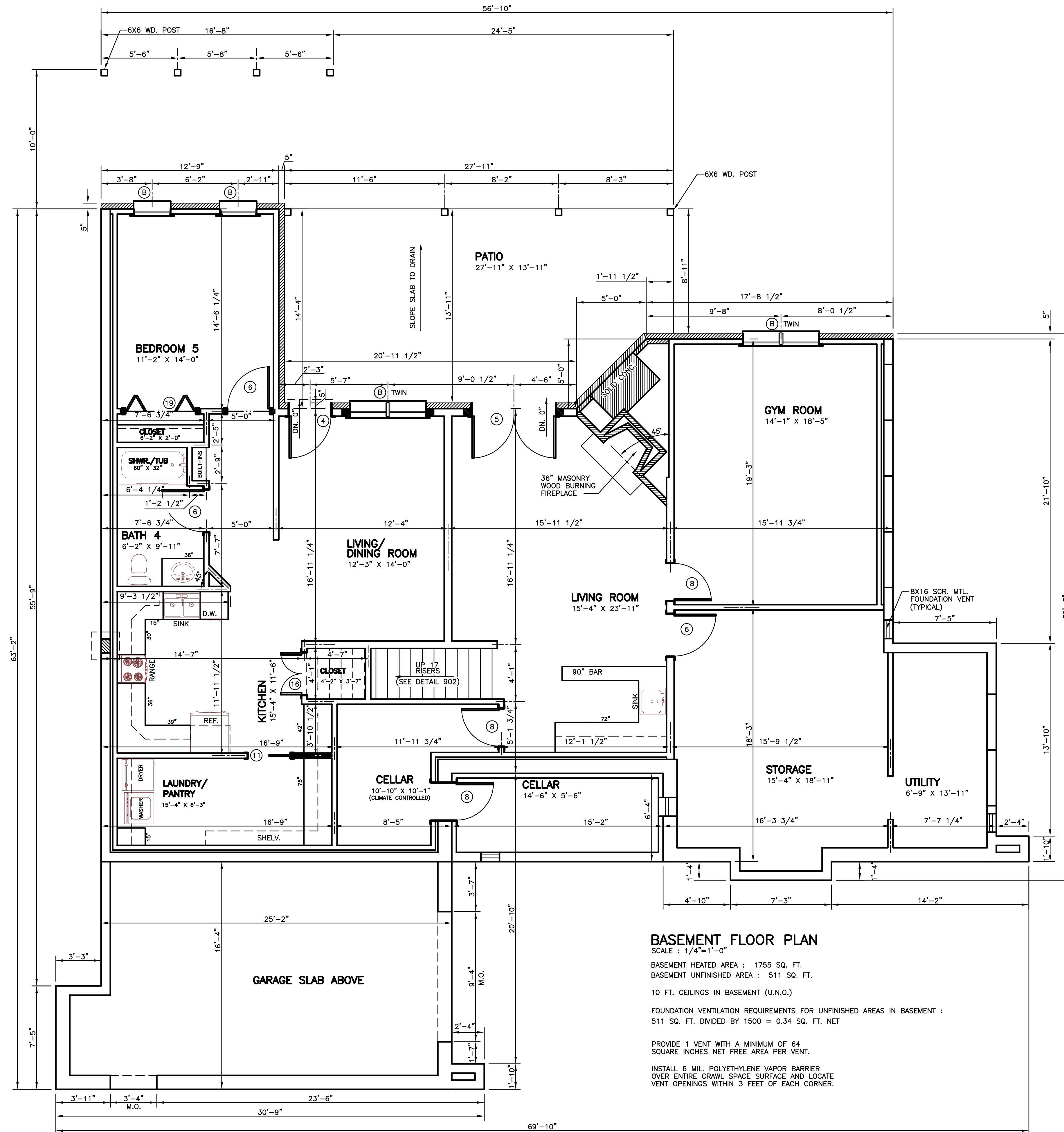


Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677
 SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L.	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM	2610	BRICK/SID./STONE		1 OF 9



* MUST MEET EMERGENCY EGRESS REQUIREMENTS (SEE SHEET 1).

WINDOW SCHEDULE									
A	2'-8" X 6'-2" D.H.	D	2'-0" X 6'-2" D.H.	G	4'-6" X 5'-2" FIXED	L	SKYLIGHT 3'-0" X 1'-6"	P	
B*	2'-8" X 5'-2" D.H.	E	2'-8" X 4'-2" D.H.	H	3'-6" X 1'-6" FIXED	M	1'-0" X 3'-6" FIXED	Q	
C	2'-4" X 5'-2" D.H.	F	2'-8" X 4'-2"	K	4'-0" X 5'-6" FIXED	N	2'-4" X 3'-0" D.H.	R	

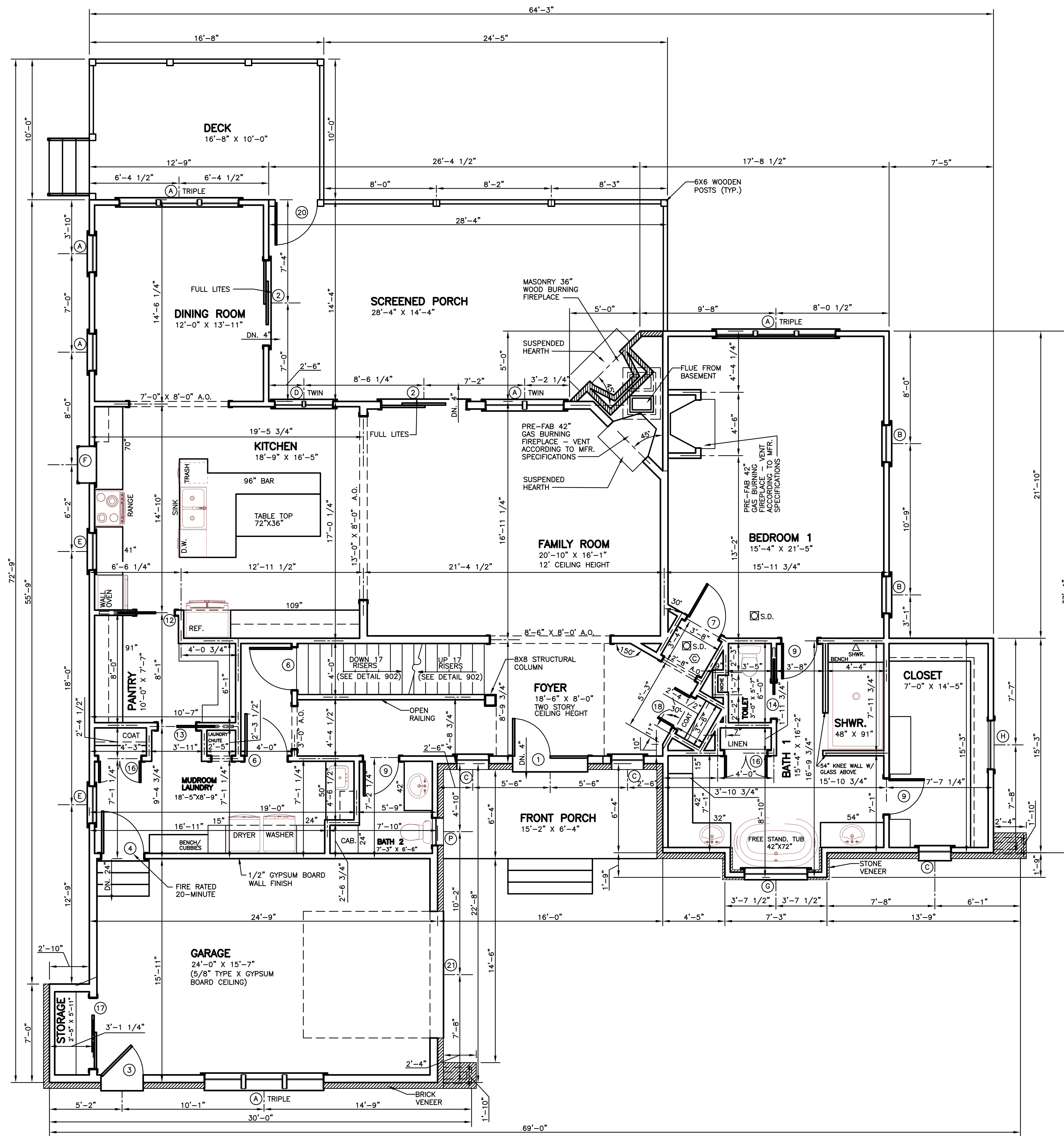
DOOR SCHEDULE									
1	DOUBLE OPENING ARCHED 5'-4" X 8'-0" X 1 3/4"	4	3'-0" X 6'-8" X 1 3/4"	7	2'-8" X 8'-0" X 1 3/8"	10	2'-6" X 6'-8" X 1 3/8"	13	POCKET 2'-8" X 6'-8" X 1 3/8"
2	SLIDER 6'-0" X 8'-0" X 1 3/4"	5	DOUBLE OPENING 6'-0" X 6'-8" X 1 3/4"	8	2'-8" X 6'-8" X 1 3/8"	11	POCKET 3'-0" X 6'-8" X 1 3/8"	14	POCKET 2'-6" X 8'-0" X 1 3/8"
3	ARCHED 3'-0" X 8'-0" X 1 3/4"	6	3'-0" X 6'-8" X 1 3/8"	9	2'-6" X 8'-0" X 1 3/8"	12	POCKET 2'-8" X 8'-0" X 1 3/8"	15	SLIDER 3'-0" X 6'-8" X 1 3/8"
								16	DOUBLE OPENING 3'-0" X 6'-8" X 1 3/8"
								17	SLIDER 5'-0" X 6'-8" X 1 3/8"
								18	DOUBLE OPENING 2'-6" X 8'-0" X 1 3/8"
								19	BI-FOLD 5'-0" X 6'-8" X 1 3/8"
								20	SCREENED 3'-0" X 6'-8"
								21	GARAGE DOOR 9'-0" X 9'-0"

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DESIGNED FOR: MARLA & BADGETT WOMBLE
PLAN NO.: CUSTOM 2610
MATERIAL: BRICK/SID./STONE
SHOWN

REVISIONS: SHEET 2 OF 9

REVISED 01-04-22



FIRST FLOOR PLAN
 SCALE : 1/4"=1'-0"
 BASEMENT HEATED AREA : 1755 SQ. FT.
 FIRST FLOOR HEATED AREA : 2140 SQ. FT.
 SECOND FLOOR HEATED AREA : 1672 SQ. FT.
 TOTAL HEATED AREA : 5567 SQ. FT. IN BRICK, SIDING & STONE VENEER

GARAGE : 411 SQ. FT.
 GARAGE STORAGE : 25 SQ. FT.
 SCREENED PORCH : 405 SQ. FT.
 FRONT PORCH : 96 SQ. FT.
 BASEMENT UNFINISHED AREA : 511 SQ. FT.
 DECK : 167 SQ. FT.
 PATIO : 365 SQ. FT.

10 FT. CEILINGS ON FIRST FLOOR (U.N.O.)
 8 FT. CEILINGS ON SECOND FLOOR (U.N.O.)
 10 FT. CEILINGS IN BASEMENT (U.N.O.)

* MUST MEET EMERGENCY EGRESS REQUIREMENTS (SEE SHEET 1).

NOTE: ALL WINDOWS ARE TO BE INSTALLED WITHOUT INTERIOR TRIM.

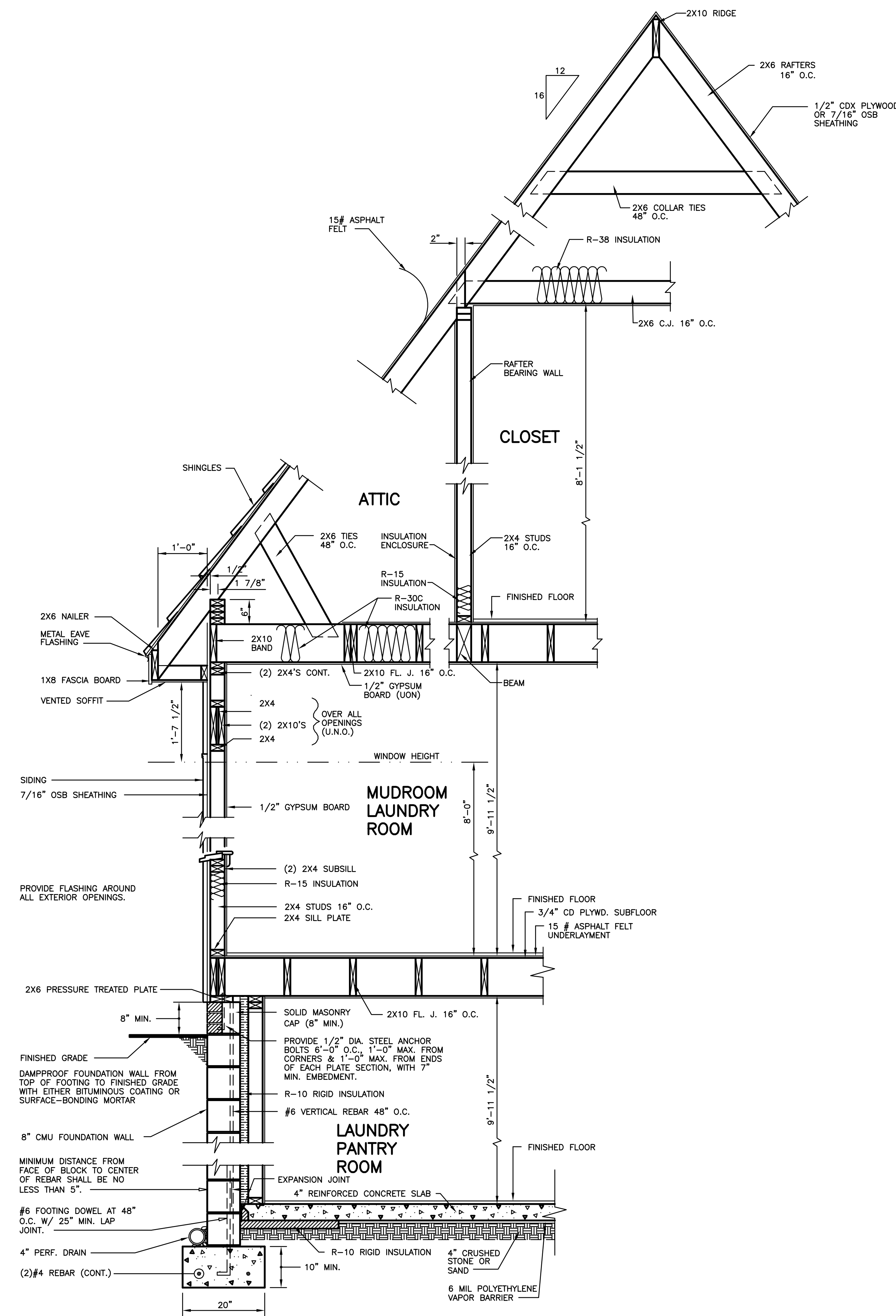
REVISED 01-04-22

WINDOW SCHEDULE									
A	2'-8" X 6'-2" D.H.	D	2'-0" X 6'-2" D.H.	G	4'-6" X 5'-2" FIXED	L	SKYLIGHT 3'-0" X 1'-6"	P	2'-0" X 2'-0" FIXED
B*	2'-8" X 5'-2" D.H.	E	2'-8" X 4'-2" D.H.	H	TRANSOM 3'-6" X 1'-6" FIXED	M	1'-0" X 3'-6" FIXED	Q	
C	2'-4" X 5'-2" D.H.	F	2'-8" X 4'-2"	K	4'-0" X 5'-6" FIXED	N	2'-4" X 3'-0" D.H.	R	

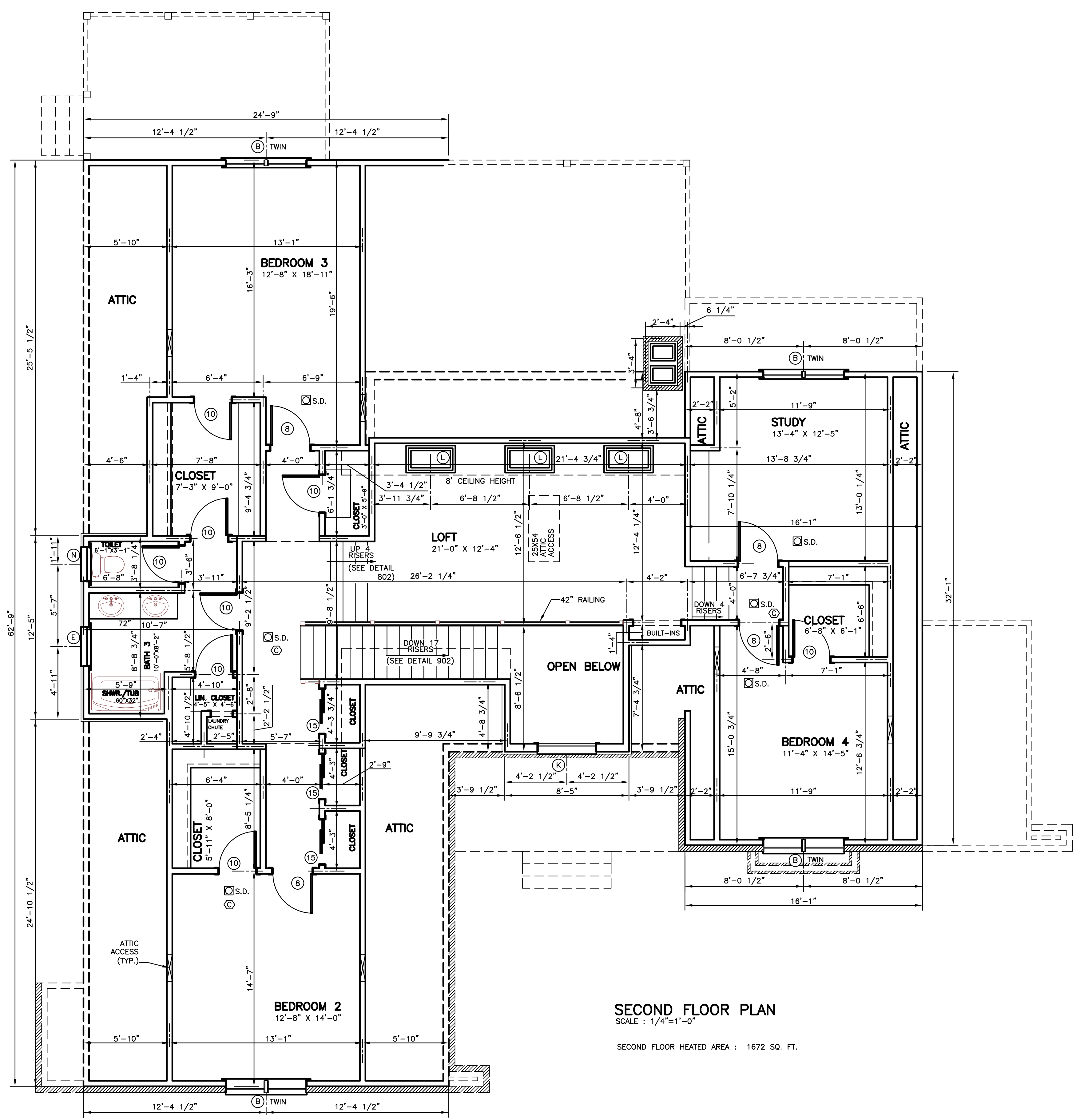
DOOR SCHEDULE									
1	DOUBLE OPENING ARCHED 5'-4" X 8'-0" X 1 3/4"	4	3'-0" X 6'-8" X 1 3/4"	7	2'-8" X 8'-0" X 1 3/8"	10	2'-6" X 6'-8" X 1 3/8"	13	POCKET 2'-8" X 6'-8" X 1 3/8"
2	SLIDER 6'-0" X 8'-0" X 1 3/4"	5	DOUBLE OPENING 6'-0" X 6'-8" X 1 3/4"	8	2'-8" X 6'-8" X 1 3/8"	11	POCKET 3'-0" X 6'-8" X 1 3/8"	14	POCKET 2'-6" X 8'-0" X 1 3/8"
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								16	DOUBLE OPENING 3'-0" X 6'-8" X 1 3/8"
								17	BI-FOLD 5'-0" X 6'-8" X 1 3/8"
								18	SCREENED 3'-0" X 6'-8"
								19	GARAGE DOOR 9'-0" X 9'-0"

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DESIGNED FOR: MARLA & BADGETT WOMBLE
 PLAN NO.: CUSTOM
 MATERIAL: 2610 BRICK/SID./STONE
 SHOWN: []



401 WALL SECTION THRU MUDROOM
SCALE : 3/4"=1'-0"



SECOND FLOOR PLAN
SCALE : 1/4"=1'-0"
SECOND FLOOR HEATED AREA : 1672 SQ. FT.

* MUST MEET EMERGENCY EGRESS REQUIREMENTS (SEE SHEET 1).

WINDOW SCHEDULE									
A	2'-8" X 6'-2" D.H.	D	2'-0" X 6'-2" D.H.	G	4'-6" X 5'-2" FIXED	L	SKYLIGHT 3'-0" X 1'-6"	P	
B*	2'-8" X 5'-2" D.H.	E	2'-8" X 4'-2" D.H.	H	TRANSOM 3'-6" X 1'-6" FIXED	M	1'-0" X 3'-6" FIXED	Q	
C	2'-4" X 5'-2" D.H.	F	2'-8" X 4'-2"	K	4'-0" X 5'-6" FIXED	N	2'-4" X 3'-0" D.H.	R	

DOOR SCHEDULE									
1	DOUBLE OPENING ARCHED 5'-4" X 8'-0" X 1 3/4"	4	3'-0" X 6'-8" X 1 3/4"	7	2'-8" X 8'-0" X 1 3/8"	10	2'-6" X 6'-8" X 1 3/8"	13	POCKET 2'-8" X 8'-0" X 1 3/8"
2	SLIDER 6'-0" X 8'-0" X 1 3/4"	5	DOUBLE OPENING 6'-0" X 6'-8" X 1 3/4"	8	2'-8" X 6'-8" X 1 3/8"	11	POCKET 3'-0" X 6'-8" X 1 3/8"	14	POCKET 2'-6" X 8'-0" X 1 3/8"
3	ARCHED 3'-0" X 8'-0" X 1 3/4"	6	3'-0" X 6'-8" X 1 3/8"	9	2'-6" X 8'-0" X 1 3/8"	12	POCKET 2'-8" X 8'-0" X 1 3/8"	15	SLIDER 3'-0" X 6'-8" X 1 3/8"

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DESIGNED FOR: MARLA & BADGETT WOMBLE
PLAN NO.: CUSTOM
NO.: 2610
MATERIAL: BRICK/SID./STONE
SHOWN

SHEET 4 OF 9
REVISED 01-04-22

NOTE:
FOR 12" MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 9'-4" AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 7 FEET, INSTALL #5 VERTICAL REBAR AT 72" O.C. AND FILL HOLLOW CELLS WITH CONCRETE OR TYPE M OR S MORTAR.

FOR 12" PLAIN MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 9 FEET AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 5 FEET, GROUT HOLLOW CELLS SOLID WITH CONCRETE OR TYPE M OR S MORTAR.

FOR 12" PLAIN MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 5 FEET AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 5 FEET, HOLLOW CELLS NEED NOT BE FILLED SOLID WITH GROUT.

NOTES: BASEMENT ROOMS ON FIBER MESH REINFORCED 4" CONCRETE SLAB OVER 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" SAND OR CRUSHED STONE.

ATTACH 2X'S FRAME WALLS TO MASONRY WALLS WITH 3/16" MASONRY SCREW ANCHORS 16" O.C.

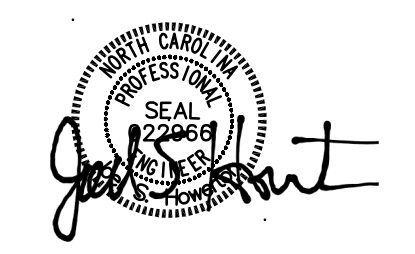
INSTALL DOUBLE FLOOR JOISTS UNDER PARTITIONS PARALLEL TO JOIST DIRECTION.

NOTE:
FOR 8" MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 9'-4" AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 7 FEET, INSTALL #6 VERTICAL REBAR AT 48" O.C. AND FILL HOLLOW CELLS WITH CONCRETE OR TYPE M OR S MORTAR.

FOR 8" PLAIN MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 9 FEET AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 5 FEET, GROUT HOLLOW CELLS SOLID WITH CONCRETE OR TYPE M OR S MORTAR.

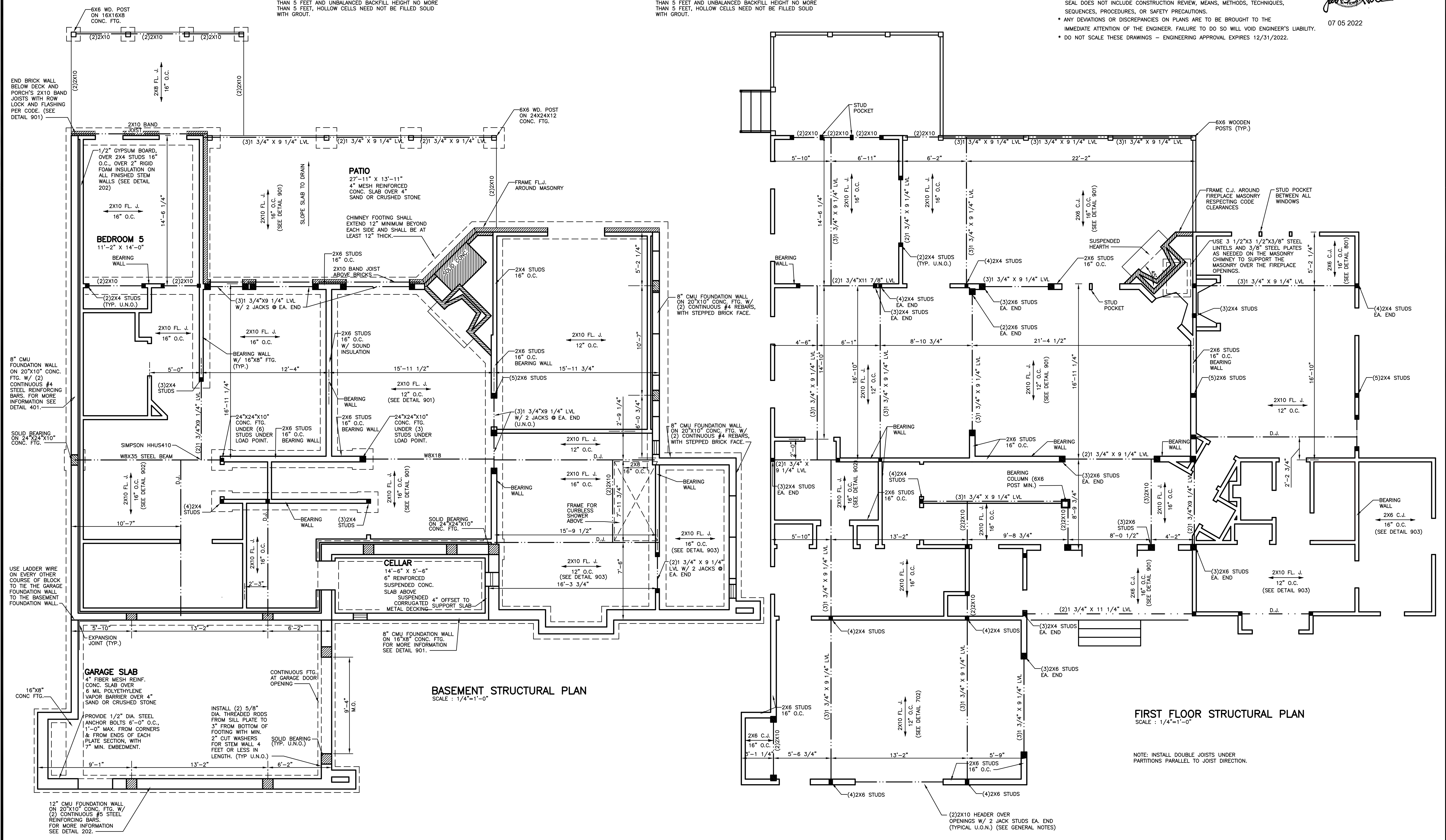
FOR 8" PLAIN MASONRY FOUNDATION WALL HEIGHTS NO MORE THAN 5 FEET AND UNBALANCED BACKFILL HEIGHT NO MORE THAN 5 FEET, HOLLOW CELLS NEED NOT BE FILLED SOLID WITH GROUT.

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
LICENSE # P-1716
3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614



07 05 2022

ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT.
SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS.
ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.
DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 12/31/2022.



BASEMENT STRUCTURAL PLAN
SCALE : 1/4"=1'-0"

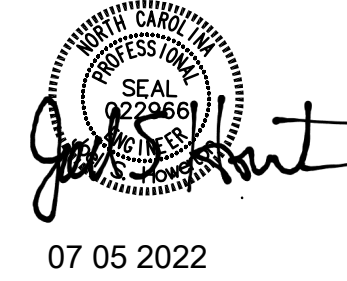
FIRST FLOOR STRUCTURAL PLAN
SCALE : 1/4"=1'-0"

NOTE: INSTALL DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOIST DIRECTION.

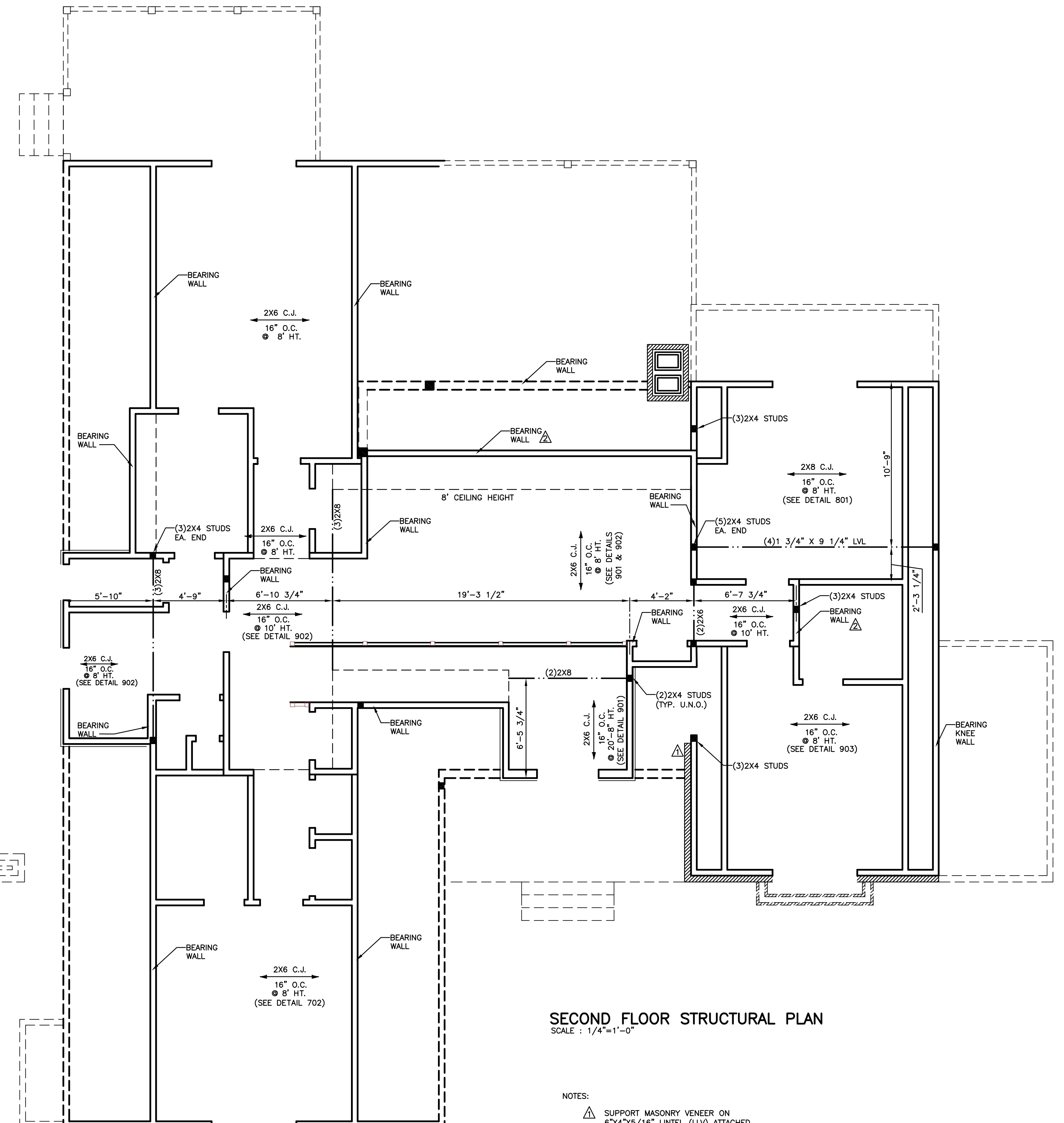
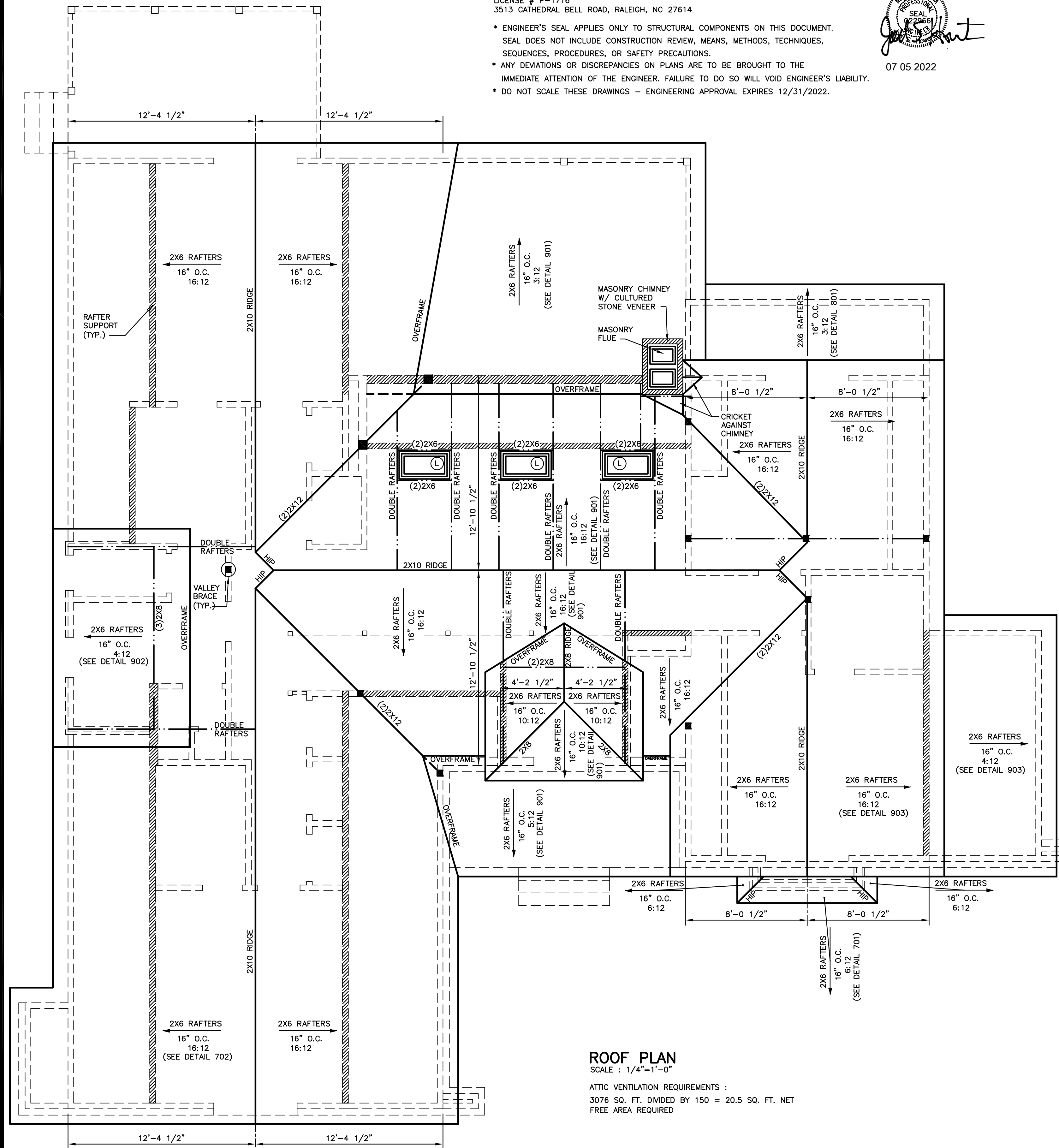
DESIGNED FOR	PLAN	NO.	MAT'L.	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM	2610	BRICK/SID./STONE		5 OF 9

STRUCTURAL EVALUATION BY:

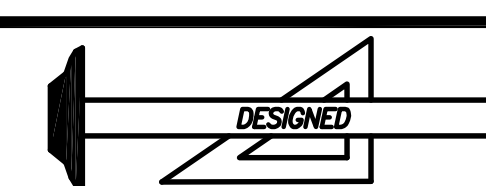
HOWERTON SERVICES, PLLC
 LICENSE # P-1716
 3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614



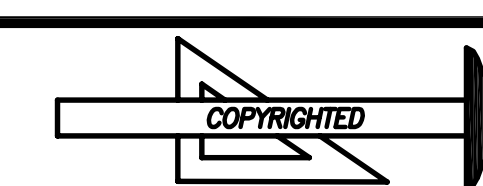
ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS.
 ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.
 DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 12/31/2022.



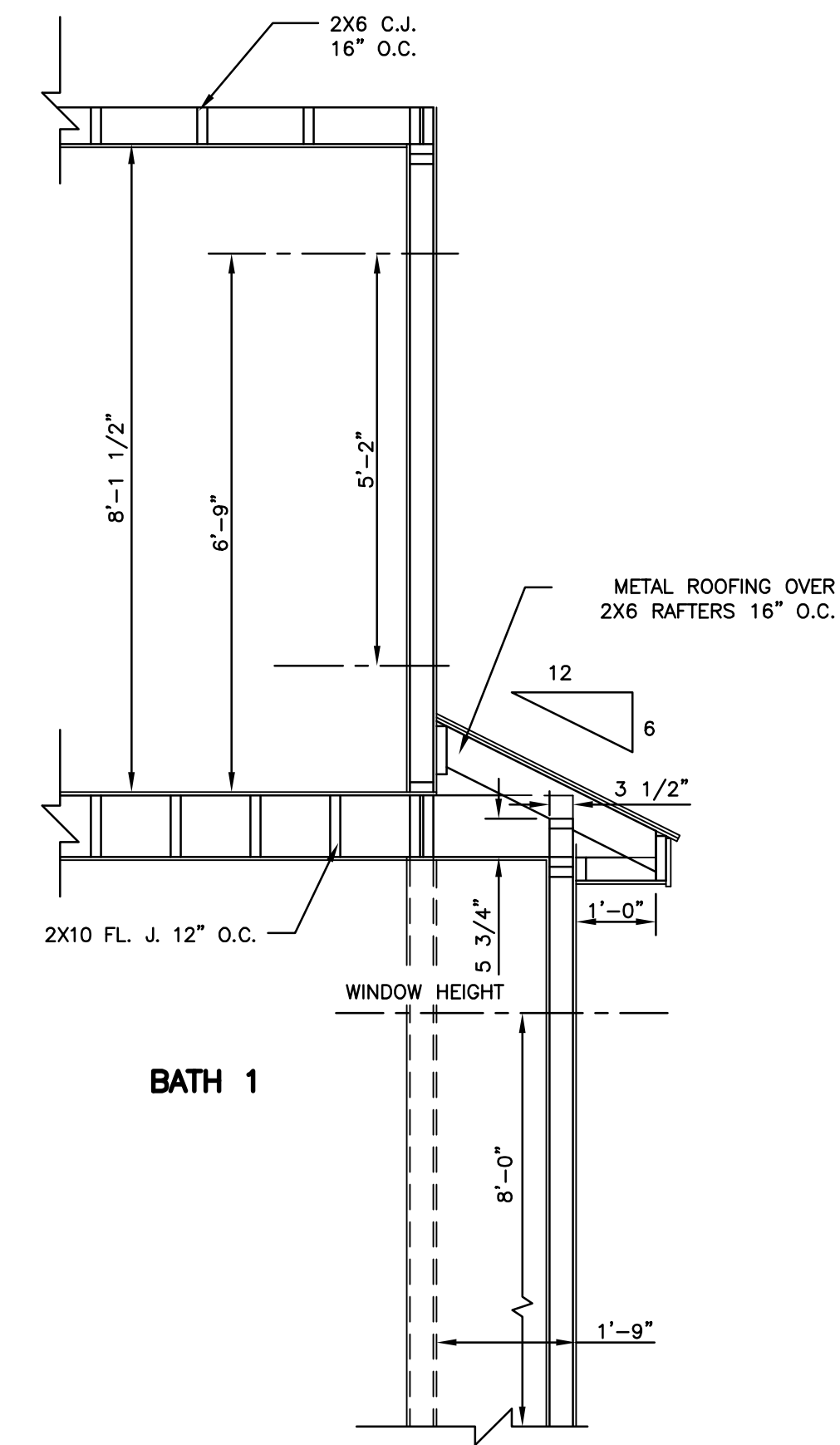
- NOTES:
- ▲ SUPPORT MASONRY VENEER ON 6"x4"x5/16" LINTEL (LVL) ATTACHED TO DOUBLE 2X4 STUDS 16" O.C. WITH (2)7/16"x3" LAG SCREWS. PER 2018 NCRS R703.8.2.1
 - ▲ ENGINEER TO VERIFY FLOOR JOISTS CAN BEAR PERPENDICULAR WALL.



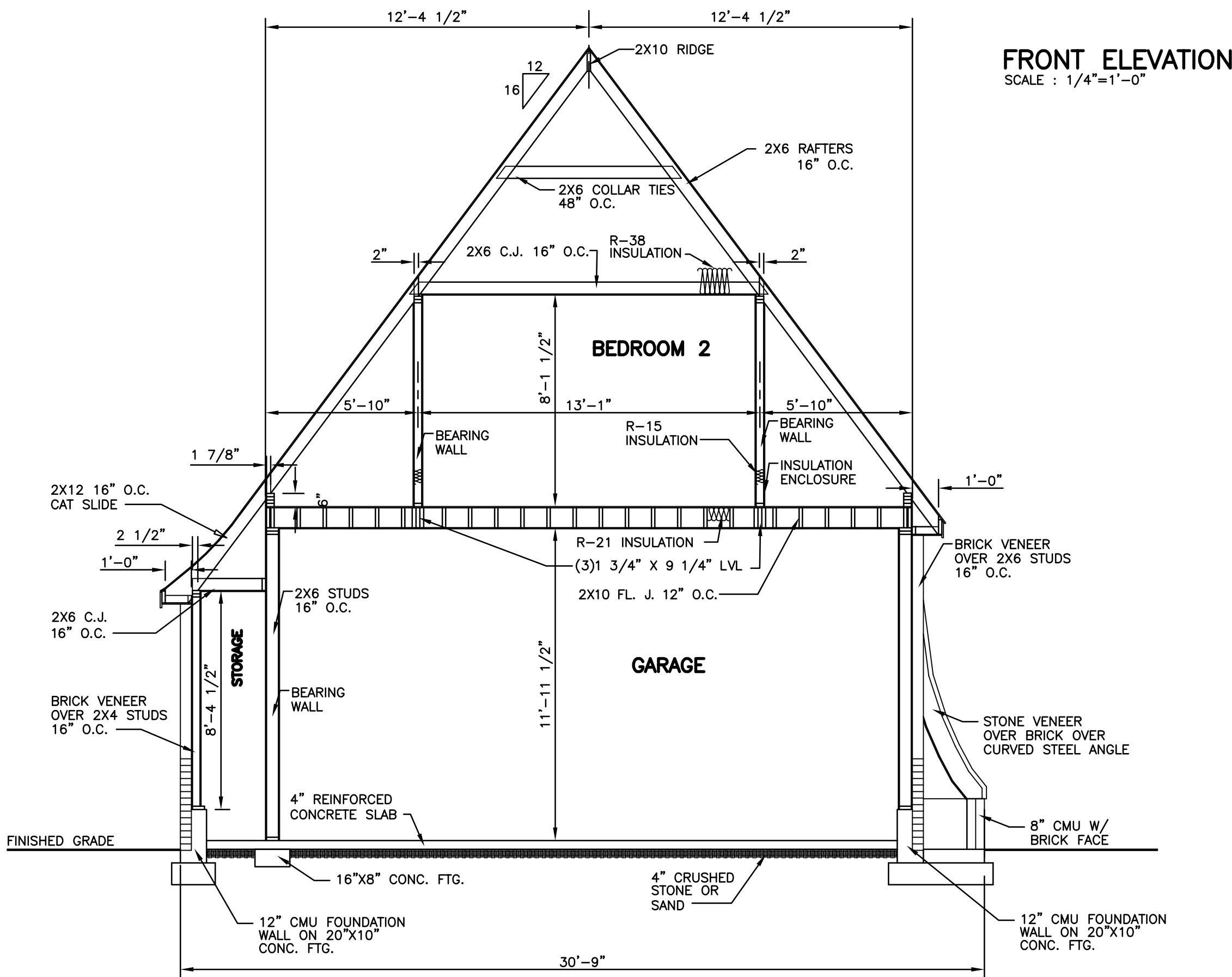
Standard Homes Plan Service, Inc.
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677
SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM	2610	BRICK/SID./STONE		6 OF 9



701 SECTION THRU BATH 1 BUMP OUT
SCALE : 1/2"=1'-0"



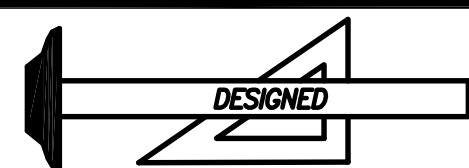
702 SECTION THRU GARAGE
SCALE : 1/4"=1'-0"

FRONT ELEVATION
SCALE : 1/4"=1'-0"

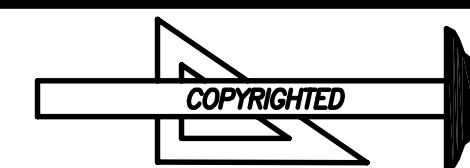
NOTE: CONTINUOUS RIDGE VENT ON ALL RIDGES



LEFT ELEVATION
SCALE : 1/4"=1'-0"



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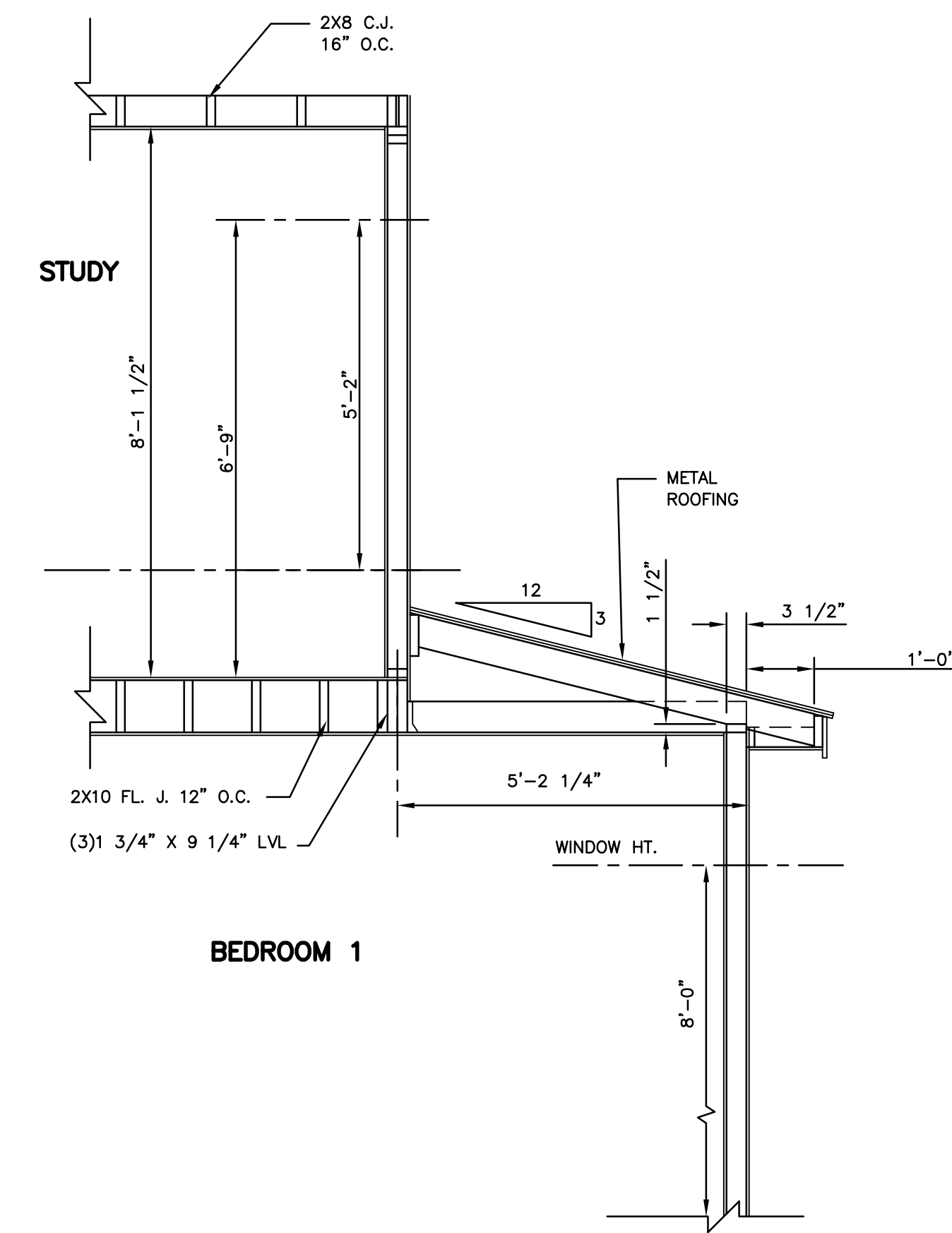


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM	2610	BRICK/SID./STONE		7 OF 9

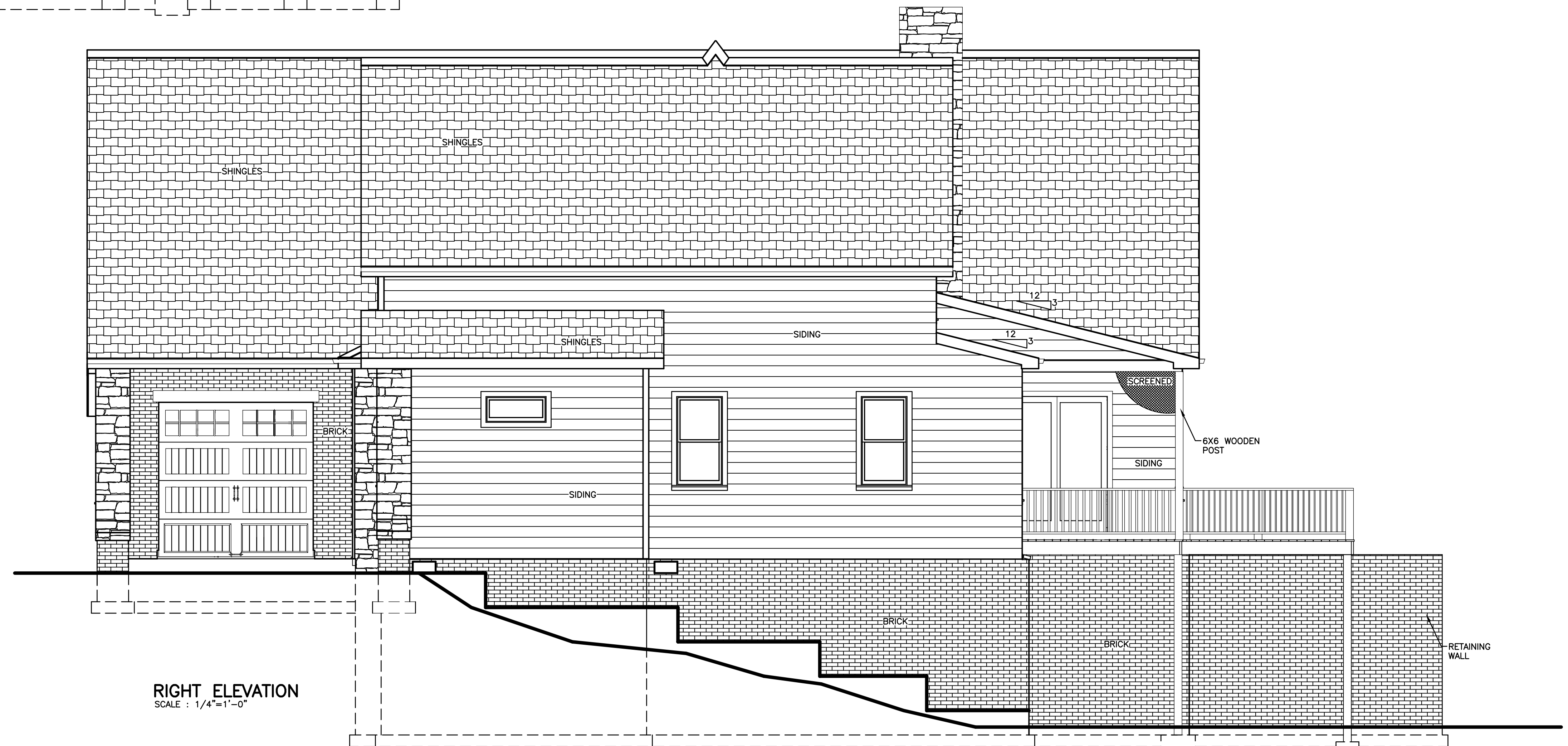


REAR ELEVATION
SCALE : 1/4"=1'-0"

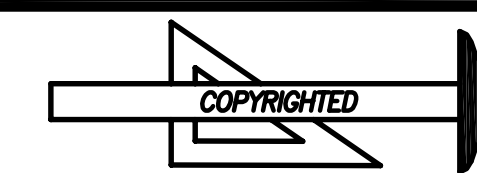
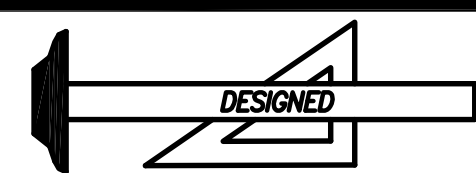
NOTE: CONTINUOUS RIDGE VENT
ON ALL RIDGES



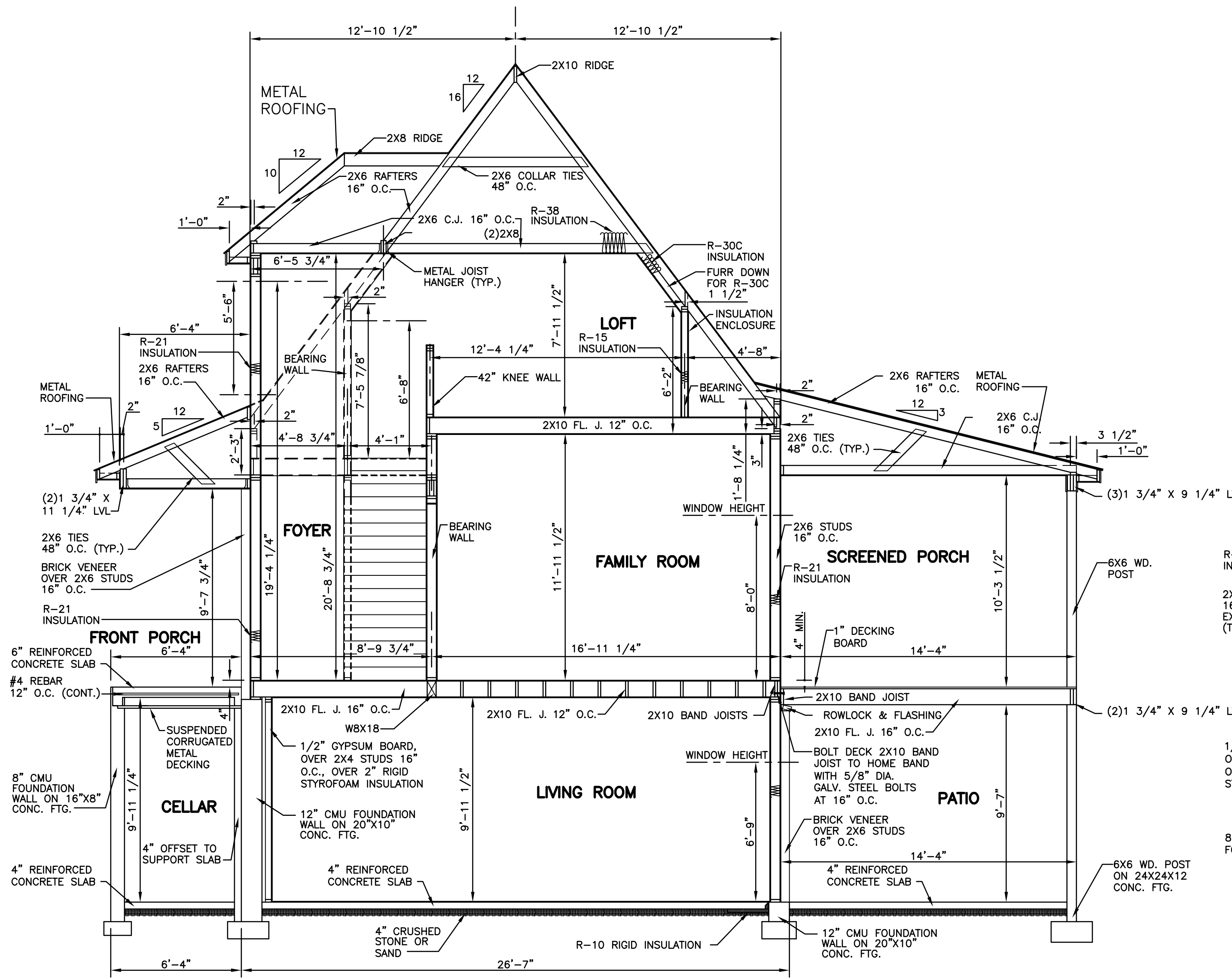
801 SECTION THRU BEDROOM 1 BUMP OUT
SCALE : 1/2"=1'-0"



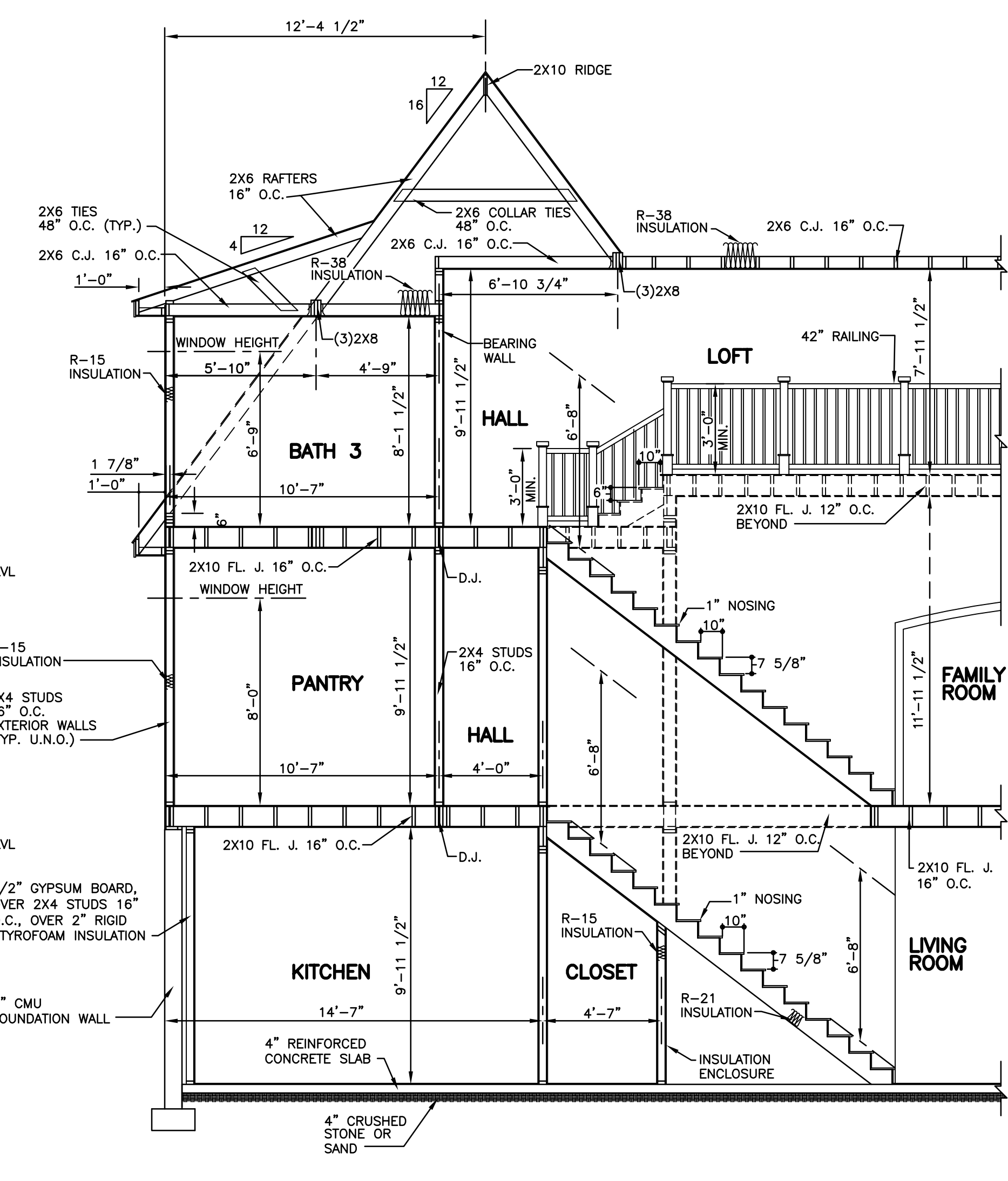
RIGHT ELEVATION
SCALE : 1/4"=1'-0"



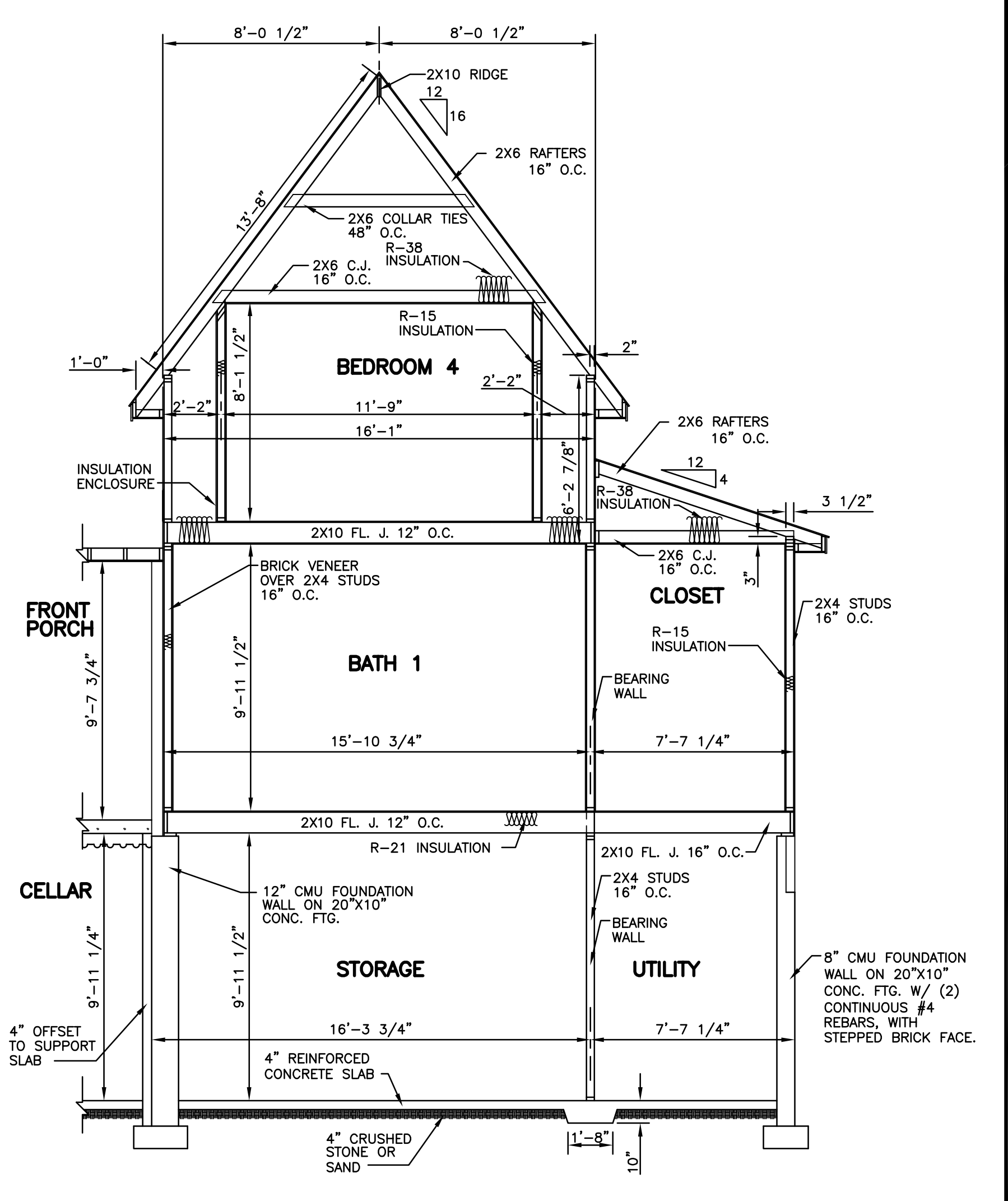
DESIGNED FOR	PLAN NO.	MAT'L.	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM 2610	BRICK/SID./STONE		8 of 9



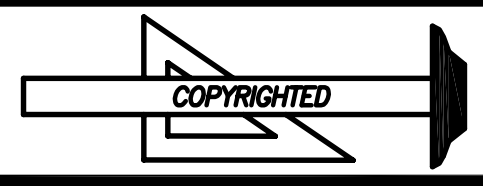
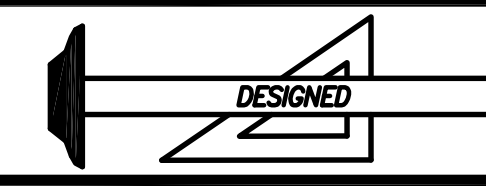
901 CROSS SECTION THRU TWO STORY FOYER
SCALE : 1/4"=1'-0"



902 SECTION THRU STAIRCASES & BATH 3
SCALE : 1/4"=1'-0"



903 SECTION THRU BEDROOM 4
SCALE : 1/4"=1'-0"



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
MARLA & BADGETT WOMBLE	CUSTOM	2610	BRICK/SID./STONE		9 OF 9