

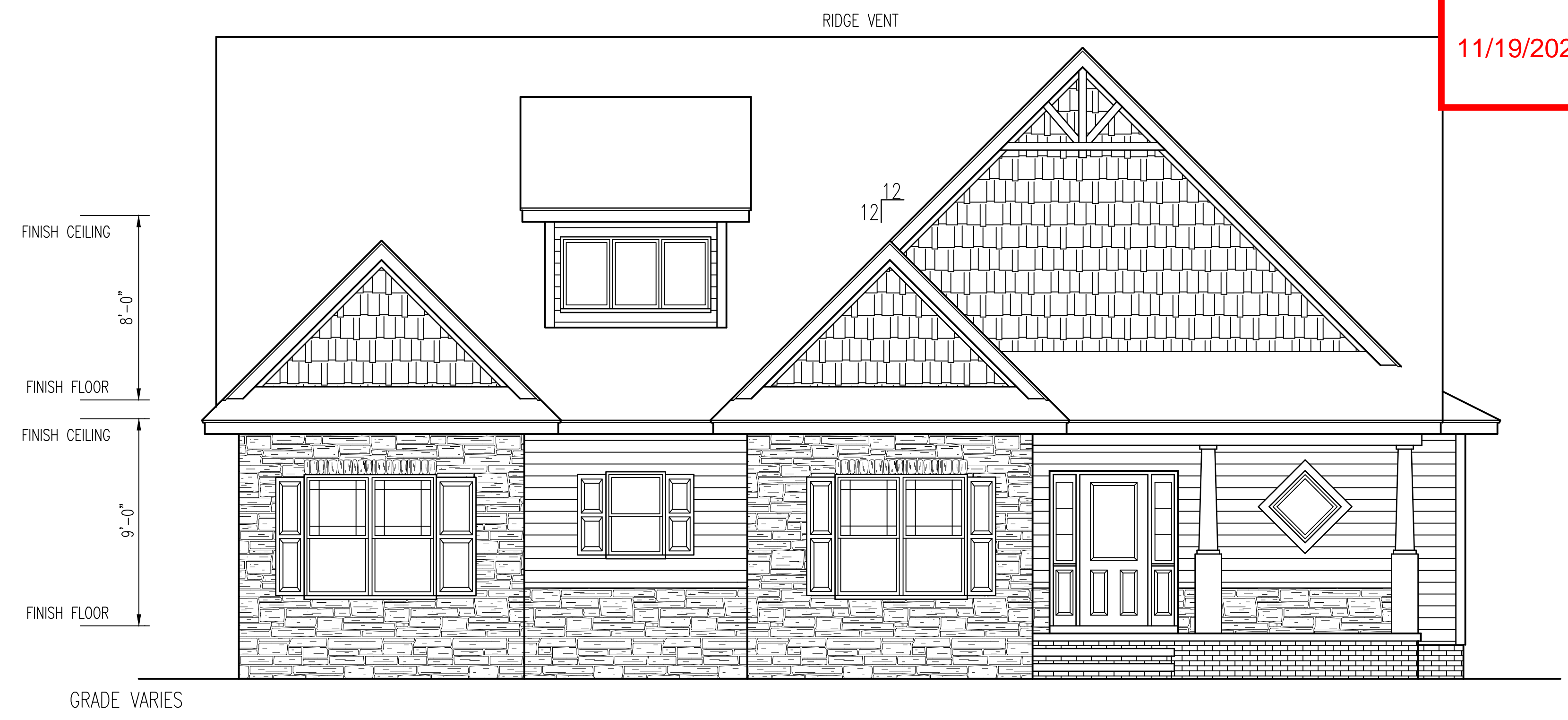
NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

**APPROVED**  
Limited building only review  
Permit holder responsible for full compliance with the code

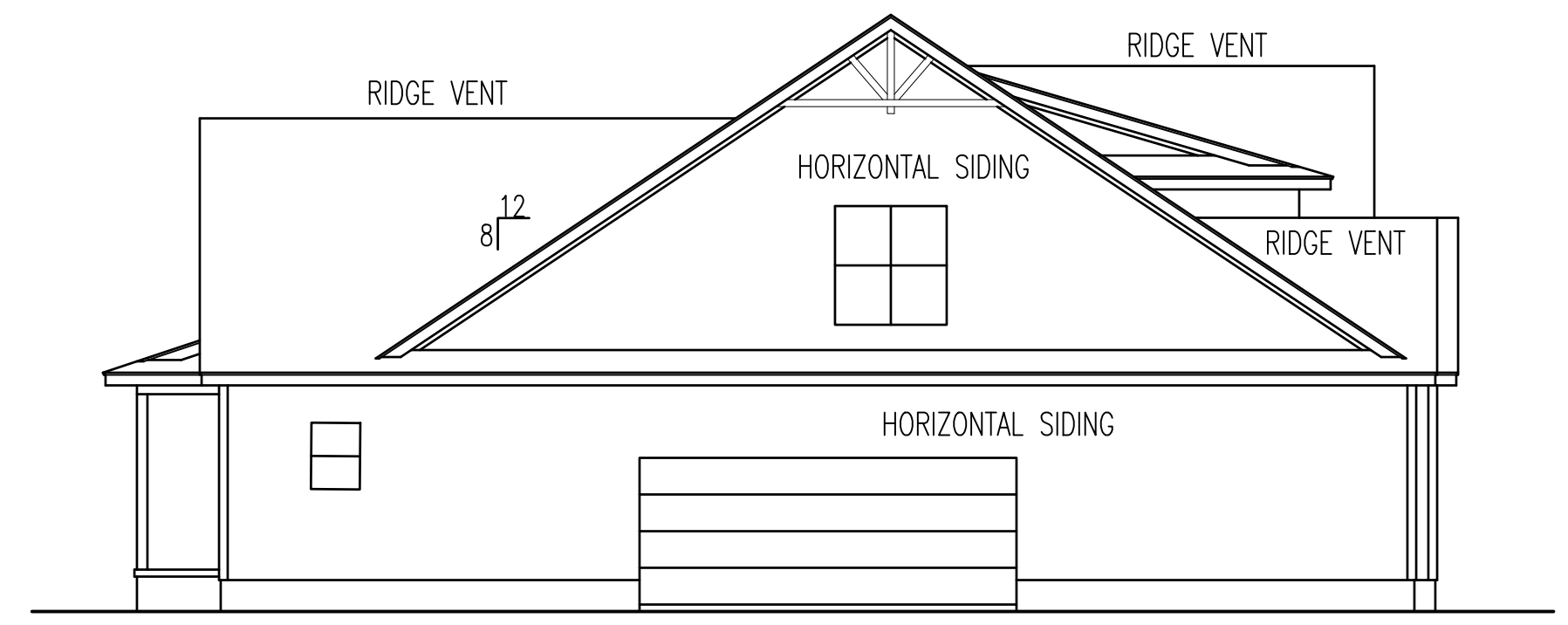
11/19/2020

*B. B. B.*

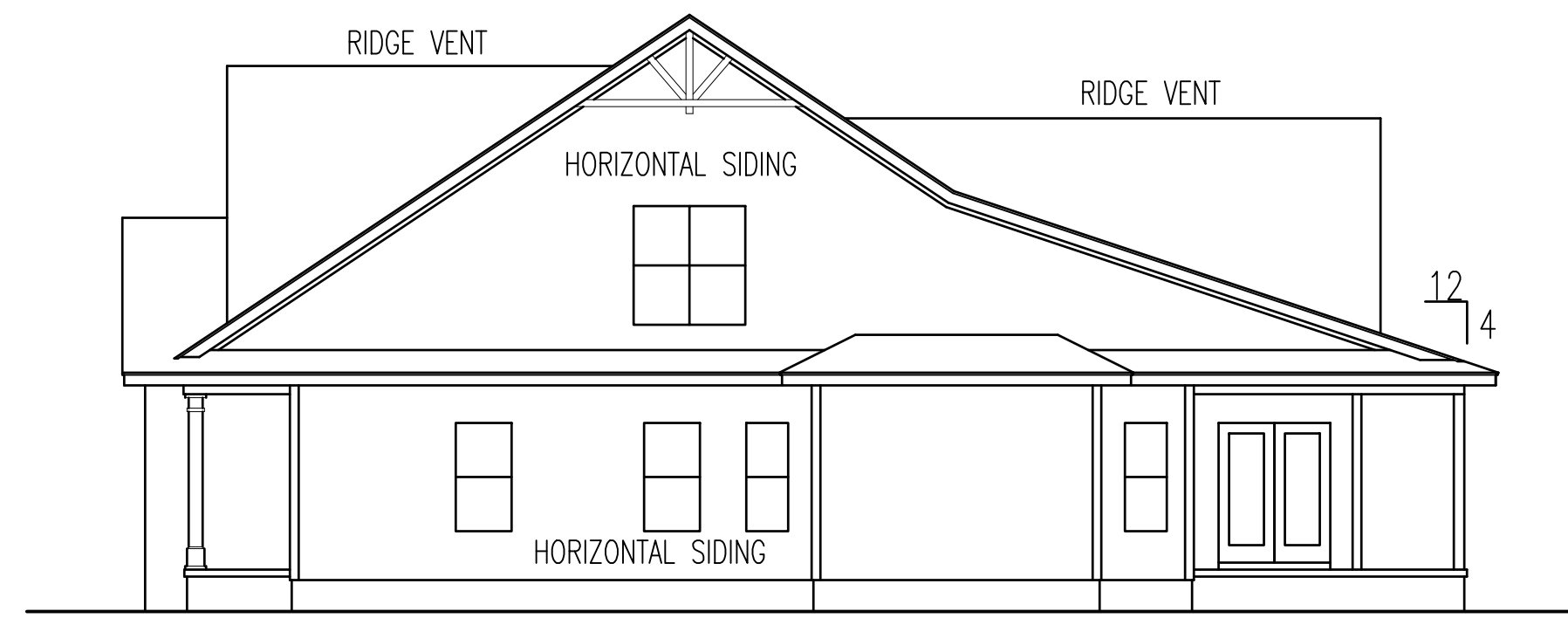
**Harnett COUNTY**  
NORTH CAROLINA



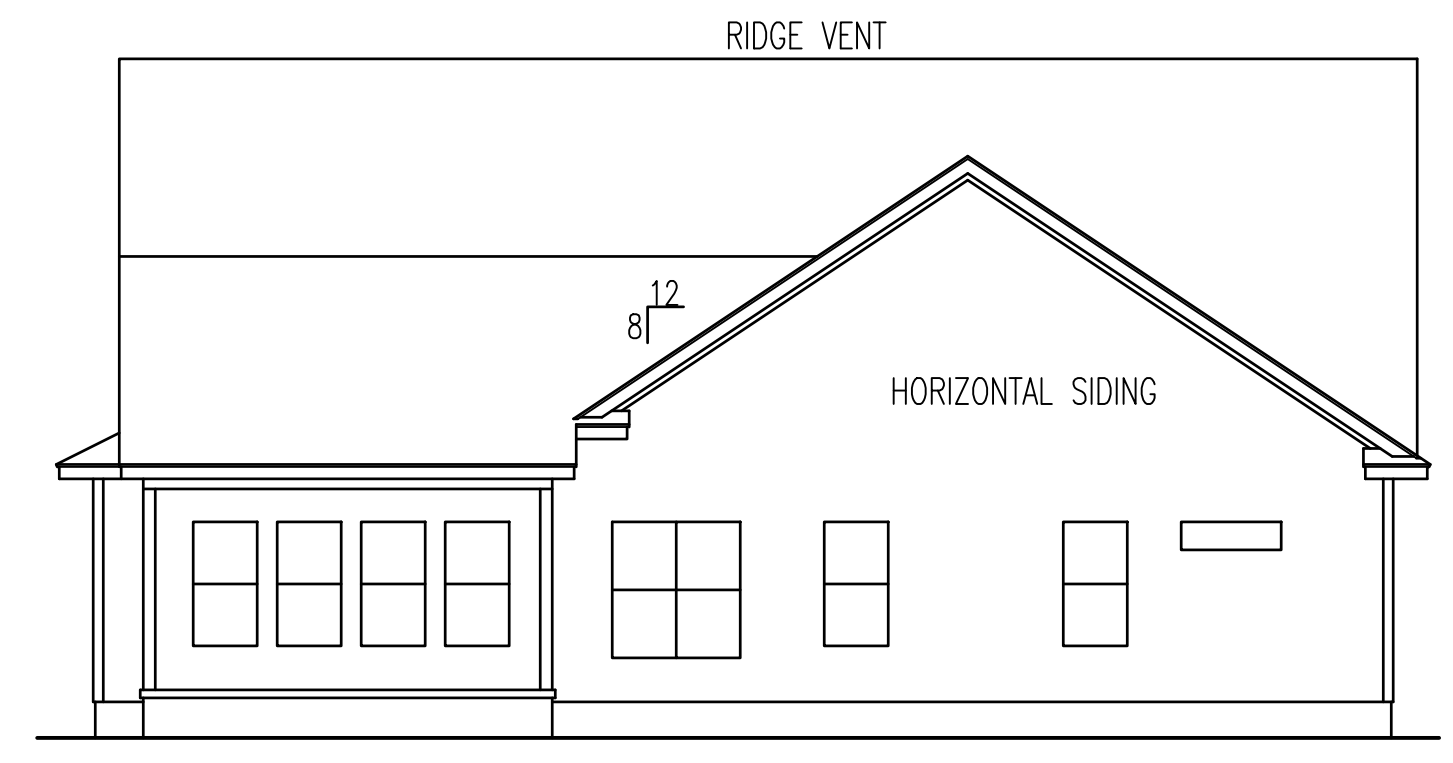
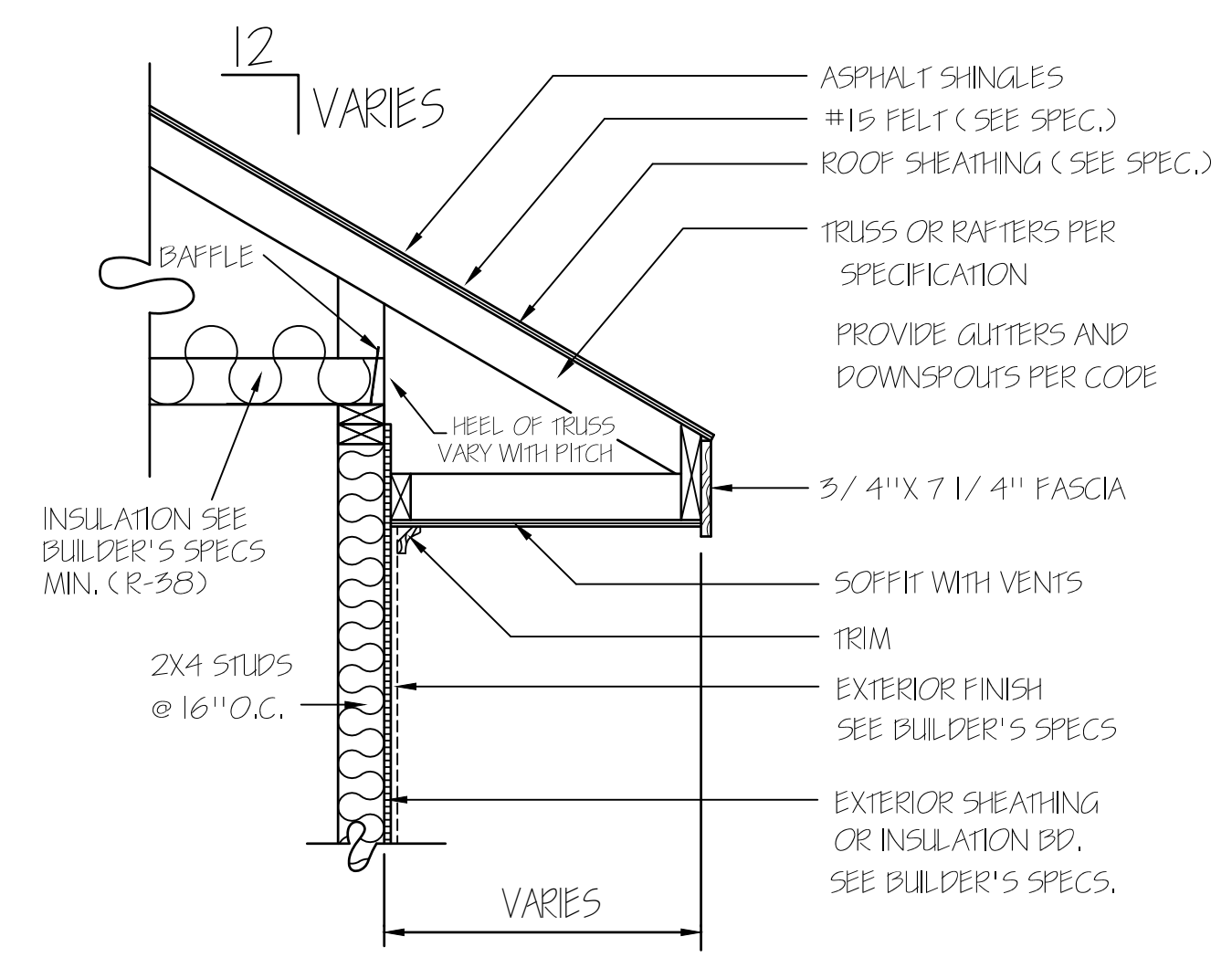
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



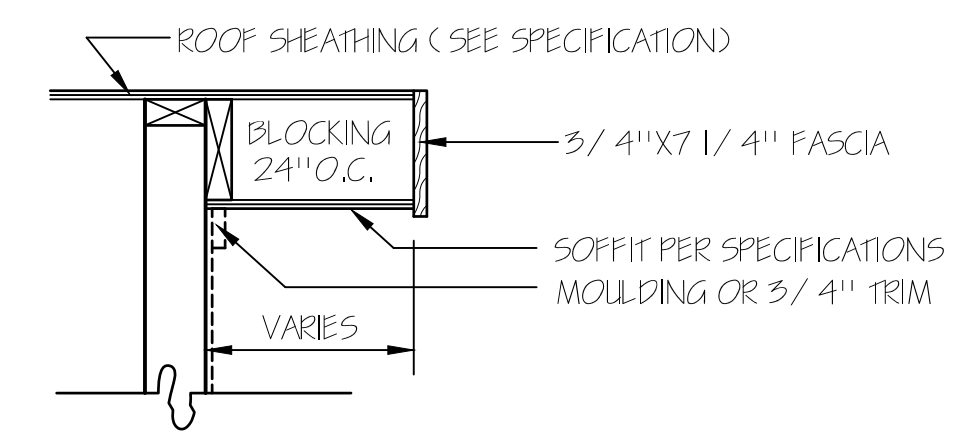
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RAKE DETAIL FOR GABLE ENDS

HERO PACKAGE

**T M DESIGNS**  
RESIDENTIAL PLANS BY TINA MCFADDEN  
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WATERMARK HOMES**  
NAME: SUGARBERRY  
LOT: 20 OAK HAVEN

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I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES  
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED  
**PLAN NUMBER**  
BG25-A05  
**OPTION #1**  
**1** GARAGE | L | S  
DATE: 7/30/20

EXCLUSIVE RESIDENCE DESIGN FOR:

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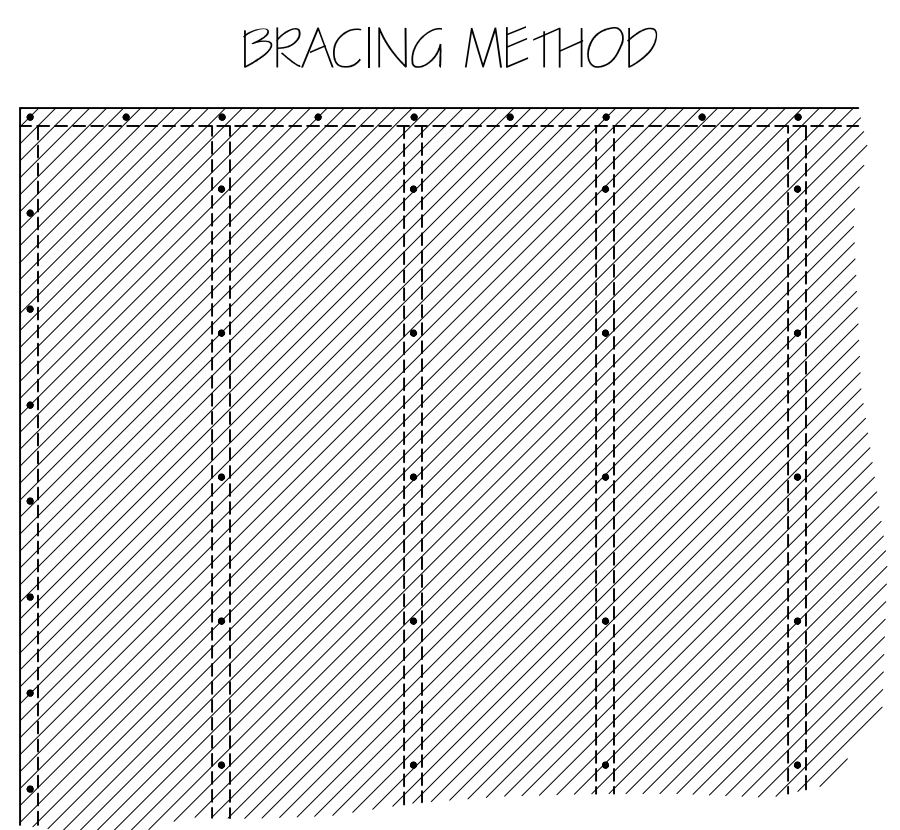
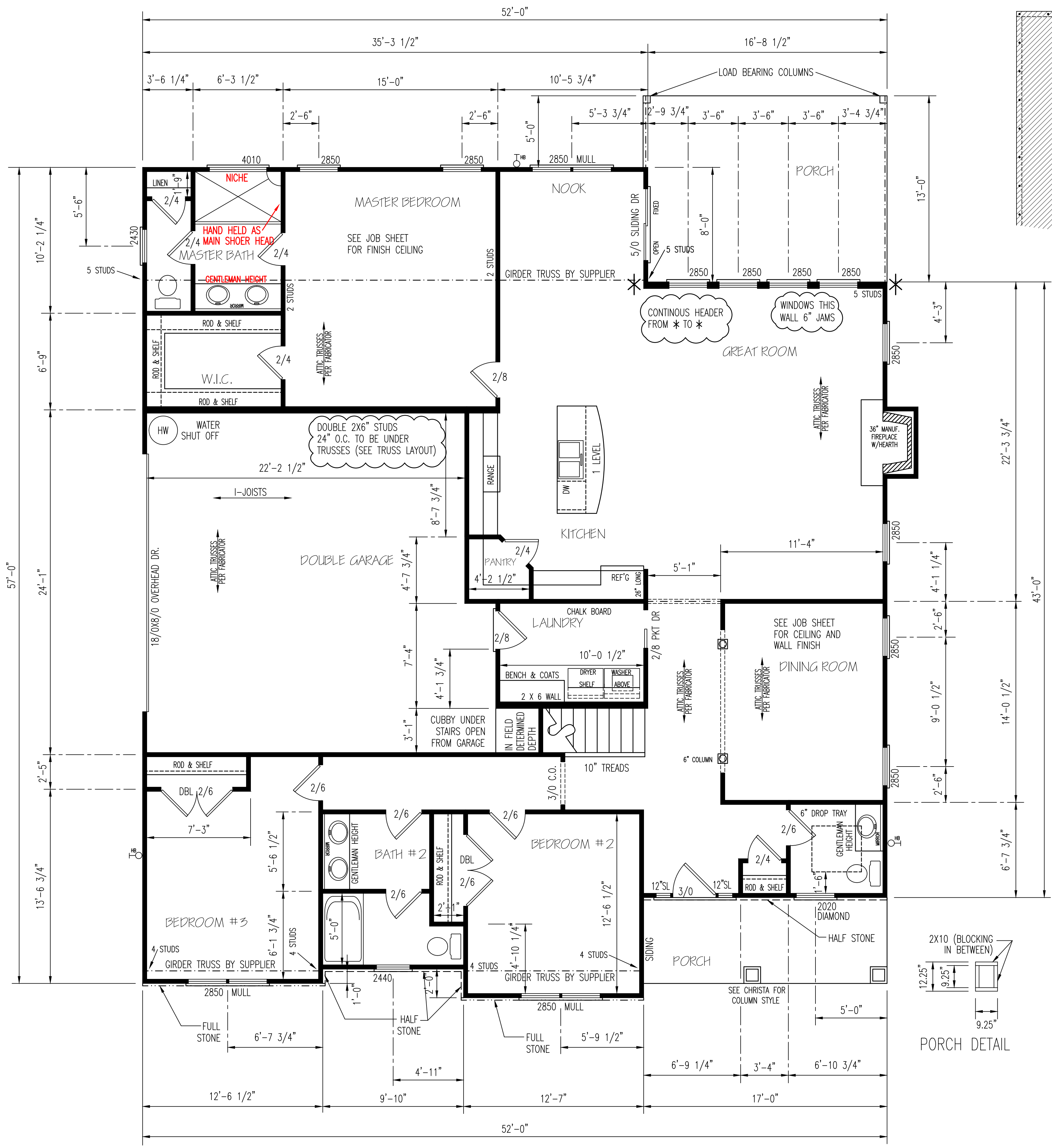
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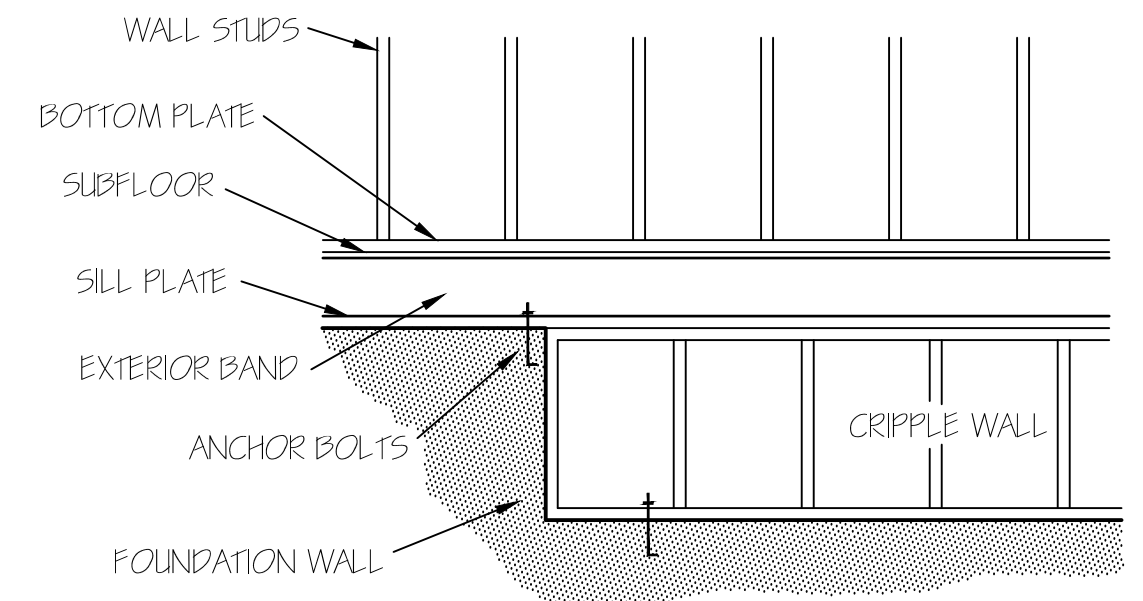
PLAN NUMBER  
**BG25-A05**

OPTION #1

**2** GARAGE | L | S  
DATE: 7/30/20



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.



FOUNDATION CREEPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDS ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CREEPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.3(1), OR CREEPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

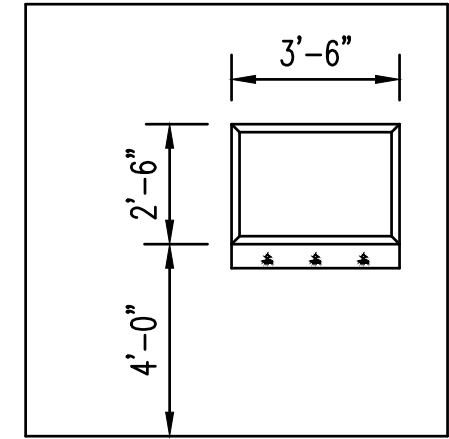
**EXTERIOR WALLS (2) 2X10 HEADERS**

CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

\*\*UNLESS NOTED OTHER WISE\*\*

**ENERGY TABLE**  
UFACTOR OF WINDOWS .30  
CLIMATE ZONE 3  
INSULATION: WALLS 15  
CEILING 38  
FLOORS 19

**GARAGE PANEL WALL**  
GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.



CHALK BOARD DETAIL  
SEE CHRISTA

**HERO PACKAGE**

NOTE:  
CEILINGS ARE 9'-0" UNLESS NOTED.  
SET WINDOWS @ 7'-4" UNLESS NOTED.

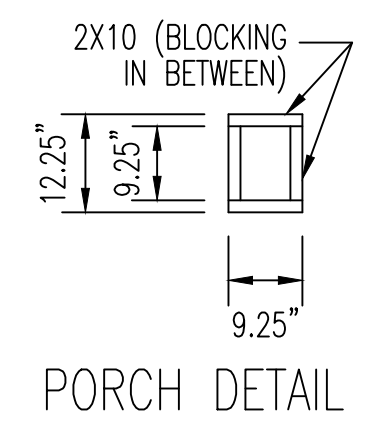
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**HEATED AREA**

1ST FL	2186	SQ FT
2ND FL	565	SQ FT
TOTAL	2751	SQ FT

**OTHER AREAS**

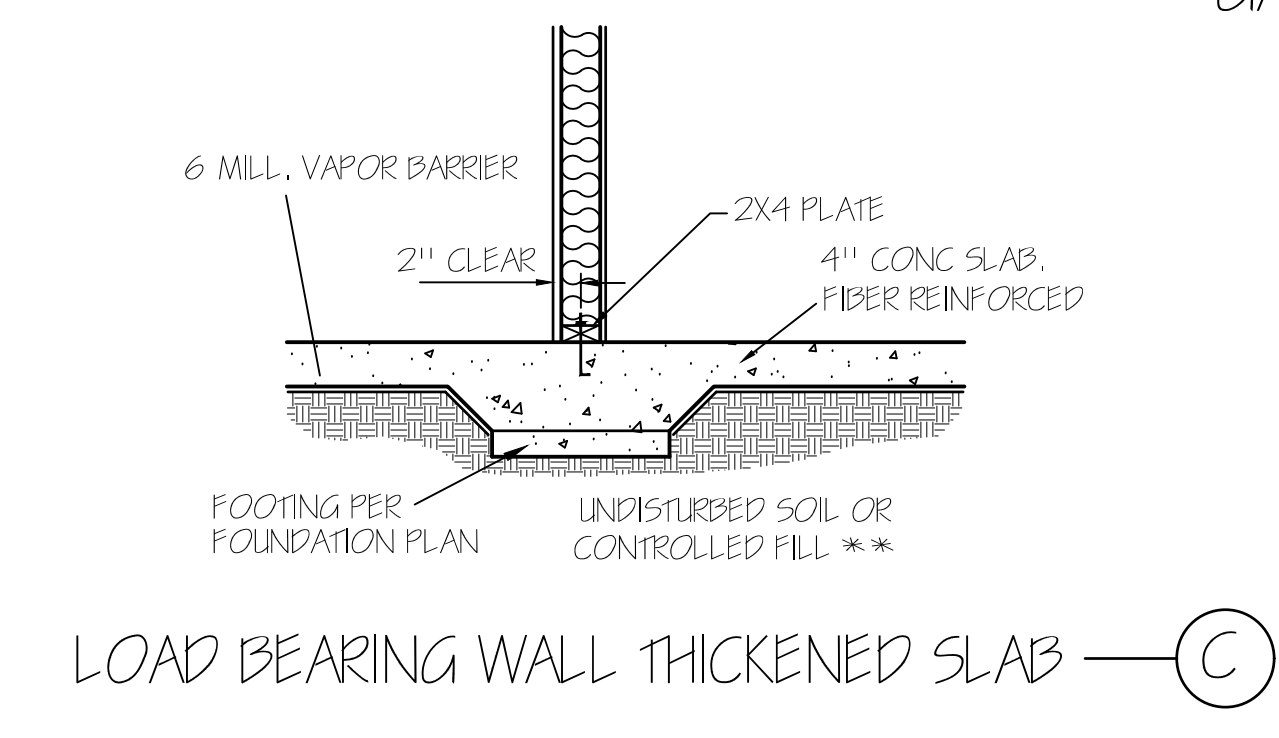
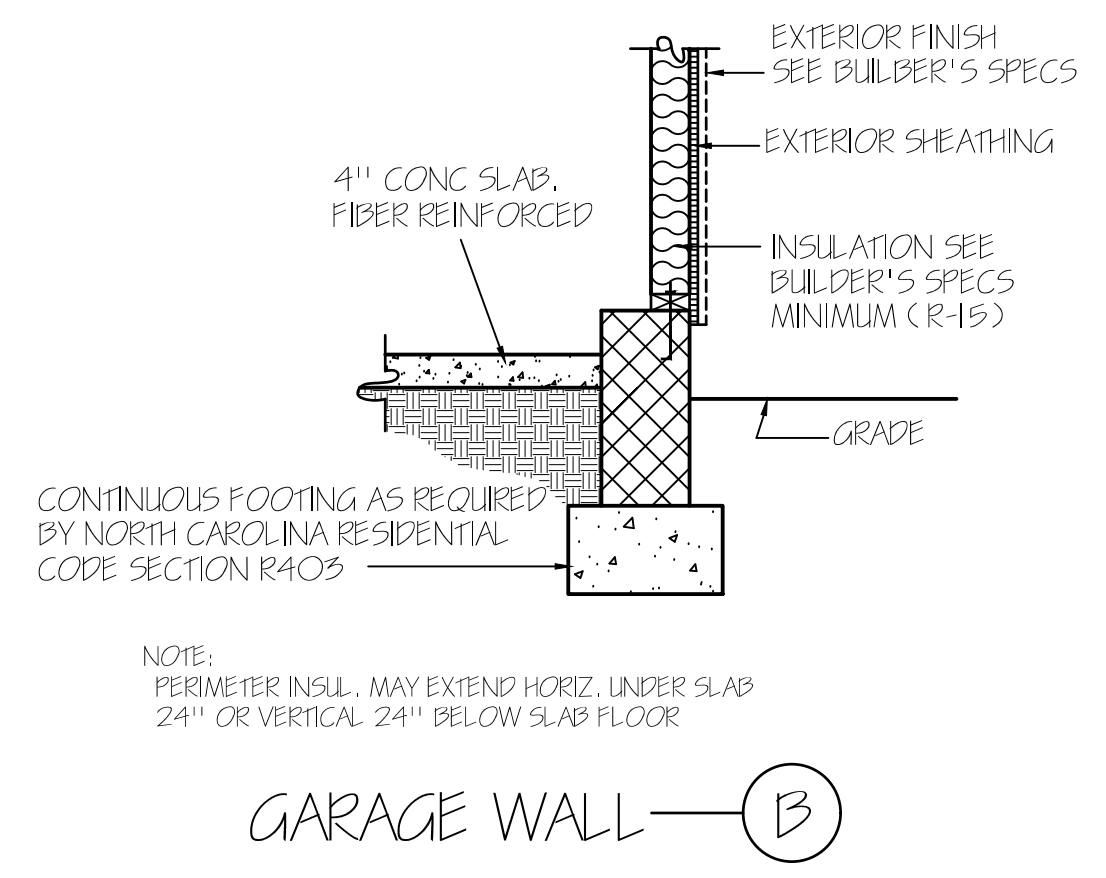
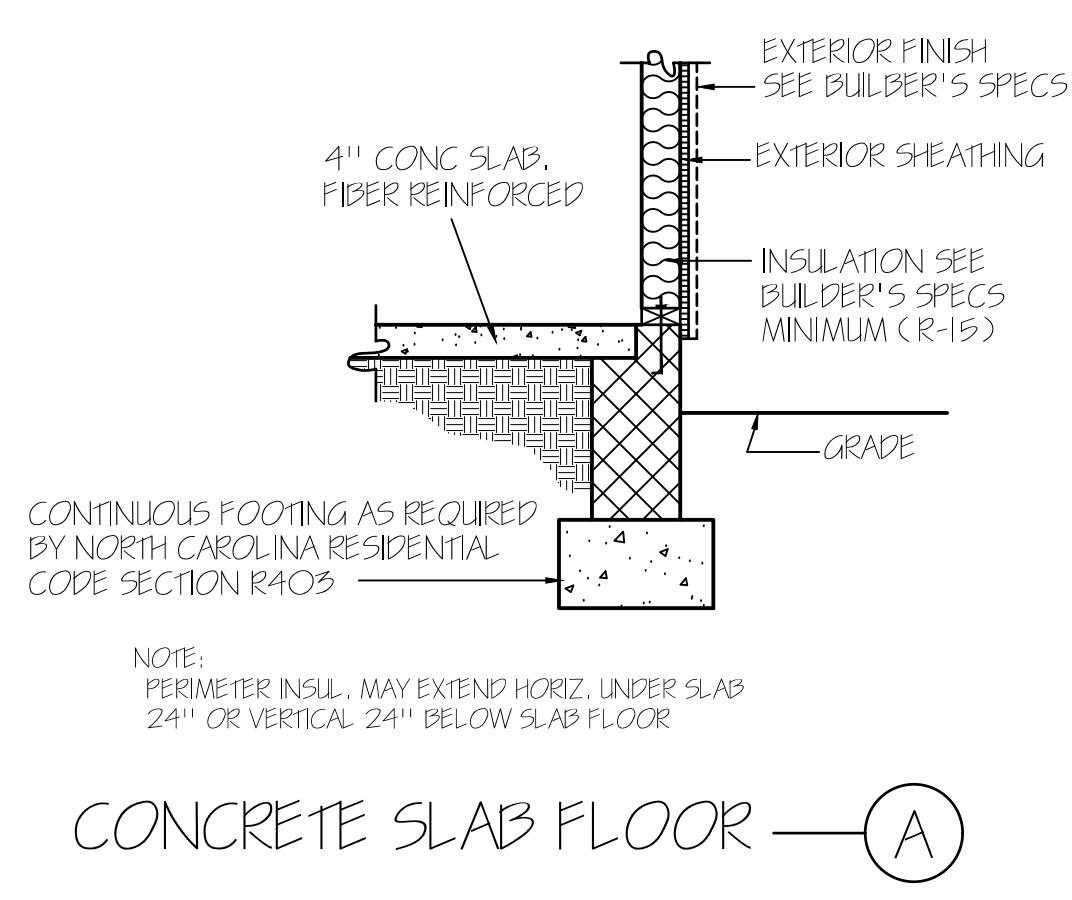
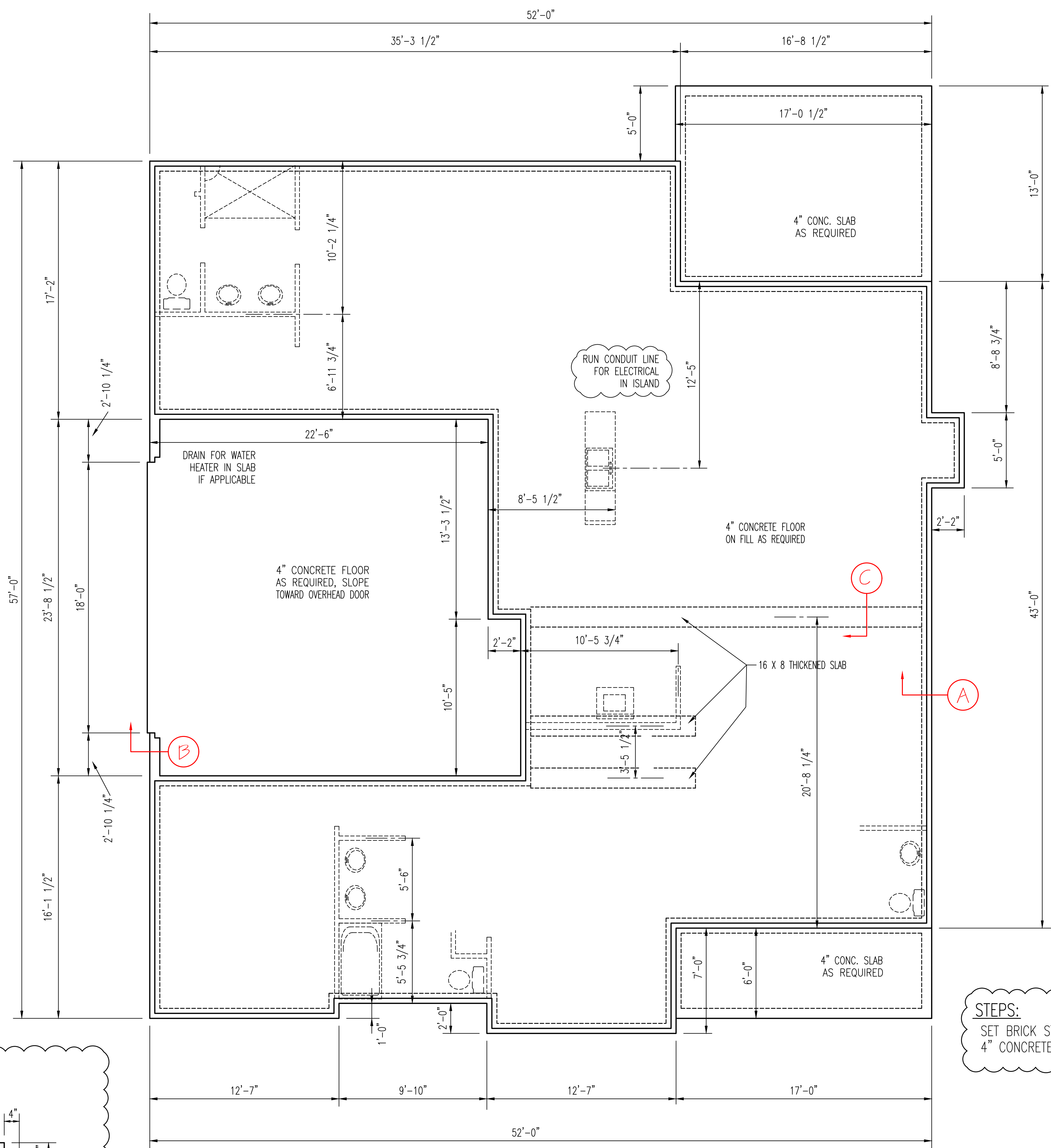
GARAGE	556	SQ FT
F.PORCH	85	SQ FT
R.PORCH	219	SQ FT
UNFINISHED BONUS RM.	307	SQ FT



PORCH DETAIL







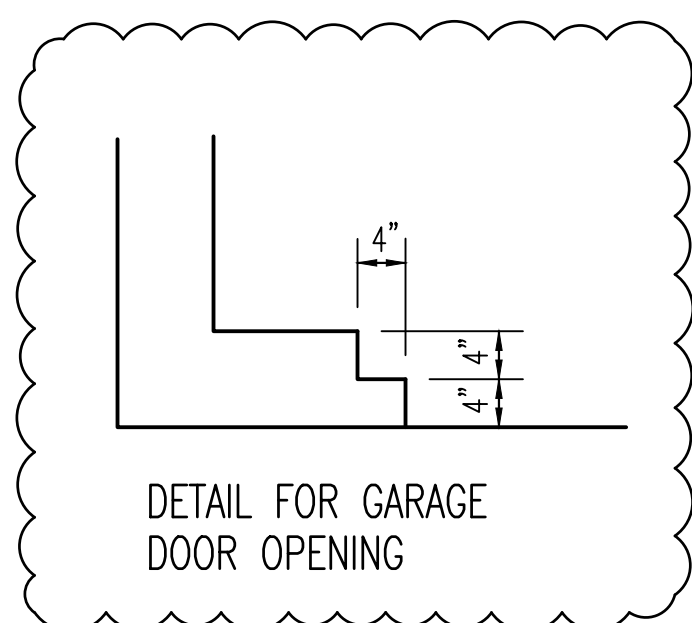
WALL ANCHOR OPTIONS  
USE ANCHOR BOLTS  
ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C. AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS PER EACH STUD WALL

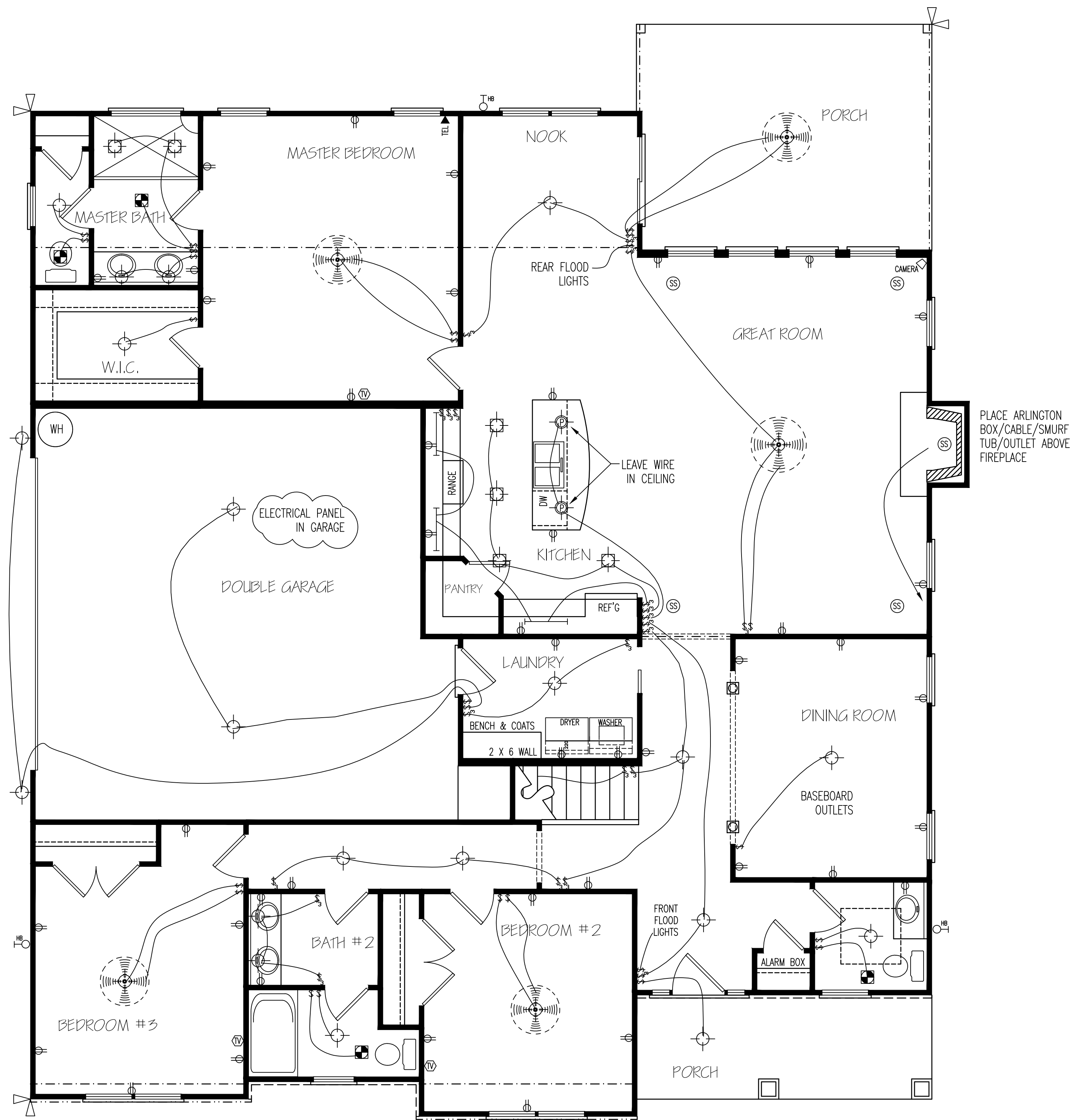
NOTE:  
FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTING TO BE LOCATED BELOW FROST DEPTH.

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

ALL FOUNDATION WALLS HAVE A 16" X 8" FOOTING UNLESS NOTED OTHERWISE.

STEPS:  
SET BRICK STEPS ON 4" CONCRETE SIDEWALK

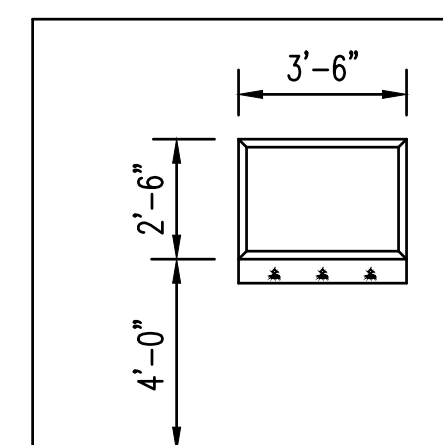




**ELECTRICAL LAYOUT**

NOTE: SWITCHED RECEPTACLES ARE HOT TOP AND SWITCHED BOTTOM

HERO PACKAGE



CHALK BOARD DETAIL  
SEE CHRISTA

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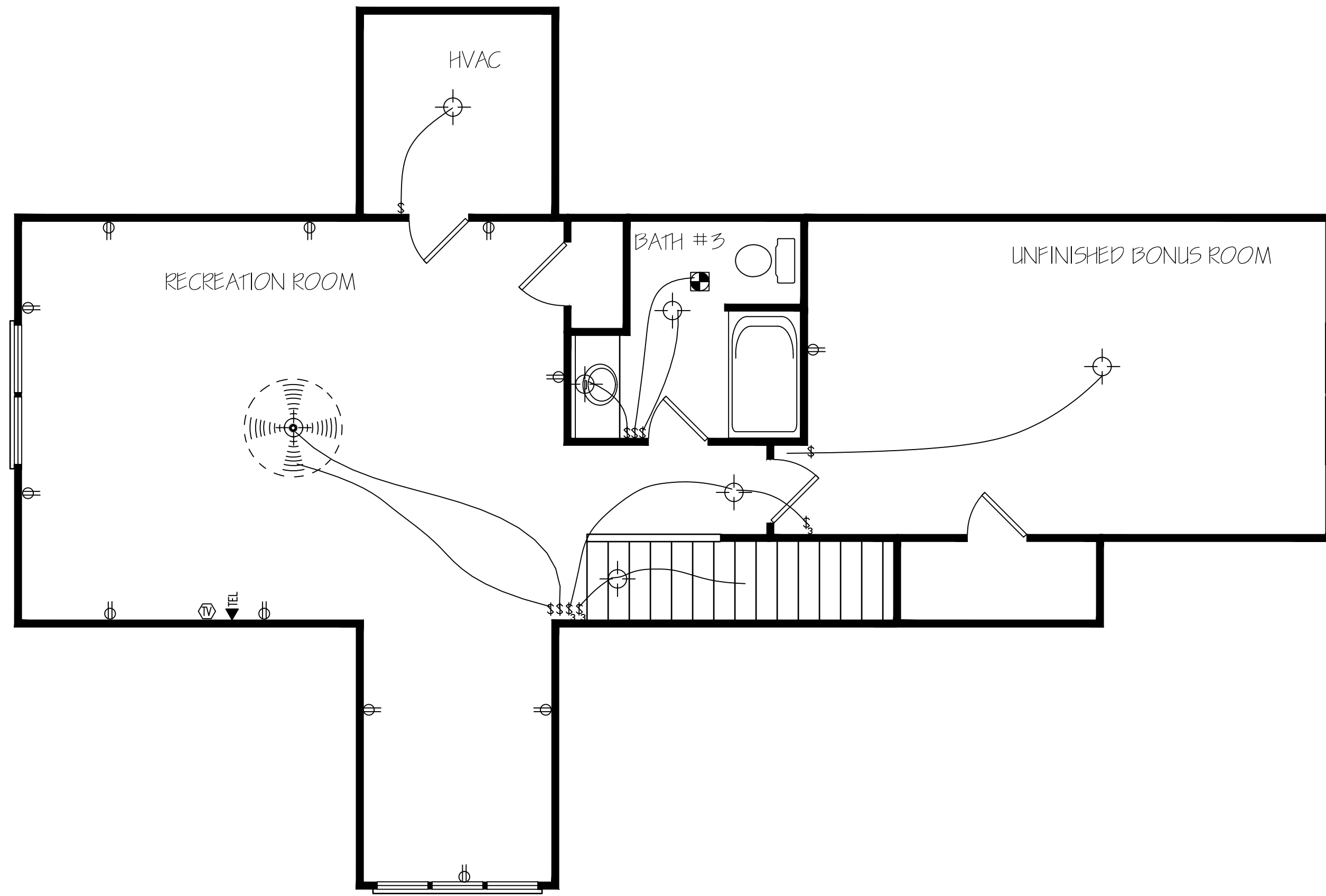
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PLAN NUMBER  
BG25-A05

OPTION #1

<b>E-1</b>	GARAGE	L	S
	DATE:	7/30/20	



HERO PACKAGE

SECOND FLOOR  
ELECTRICAL LAYOUT

NOTE: SWITCHED RECEPTACLES ARE HOT  
TOP AND SWITCHED BOTTOM

EXCLUSIVE RESIDENCE DESIGN FOR:

# WATERMARK HOMES

NAME: SUGARBERRY

LOT: 20 OAK HAVEN

# TM DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN  
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

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PLAN NUMBER  
BG25-A05

OPTION #1

E-2	GARAGE	L	S
	DATE:	7/30/20	





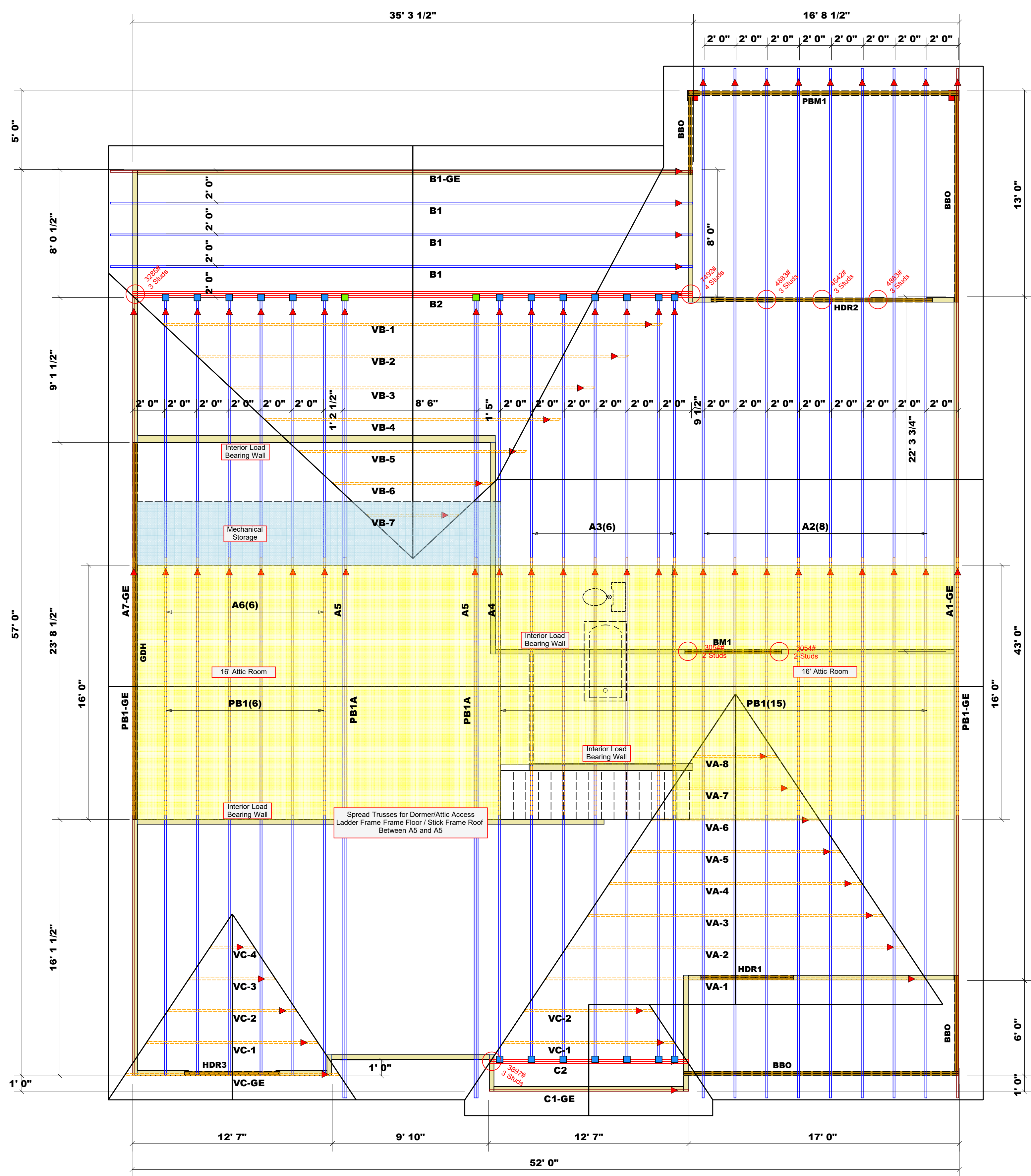
### ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

**THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.**  
These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. The individual design sheets for each truss design identified on the drawing are the responsibility of the building designer. No responsibility is assumed for the design of the roof and floor system and for the overall structure. The design of the truss support system including headers, beams, walls and columns is the responsibility of the building designer. For general guidance regarding trusses, consult ICC-ES E-1000 and ICC-ES E-1001 provided with the truss delivery package or online @ [www.comtech.com](http://www.comtech.com)

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 1500#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 1500#.

Signature: Anthony Williams



**Plumbing Drop Notes**  
1. Plumbing drop locations shown are NOT exact.  
2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.  
3. Adjust spacing as needed not to exceed 24\"/>

**Dimension Notes**  
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.  
2. All interior wall dimensions are to face of frame wall unless noted otherwise.  
3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

Roof Area = 4091.74 sq.ft.  
Ridge Line = 119.17 ft.  
Hip Line = 0 ft.  
Horiz. OH = 174.18 ft.  
Raked OH = 265.52 ft.  
Decking = 141 sheets

All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss (Reference Engineered Truss Drawing)  
Do Not Erect Trusses Backwards

**WALL SCHEDULE**  
— 1st Floor Brg. Wall  
- - - - - Non-Bearing Walls

Connector Information				Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header / Truss
■	HUS26	USP	20	Varies	16d/3-1/2" / 16d/3-1/2"
■	THD26-2	USP	2	Varies	16d/3-1/2" / 10d/3"

Products				
PlotID	Length	Product	Plies	Net Qty
BM1	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
HDR1	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
PBM1	17' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2
GDR	24' 0"	1-3/4"x 14" LVL Kerto-S	2	2
HDR2	14' 0"	2x10 SP No.2	2	2
HDR3	6' 0"	2x10 SP No.2	2	2

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.  
○ -- Denotes Reaction Greater than 3,000 lbs. Reaction / # of Studs

Truss Placement Plan  
SCALE: 1/4" = 1'-0"

COUNTY	Watermark Homes	Hammett County
ADDRESS	Lot 20 Oak Haven	Lot 20 Oak Haven
MODEL	Sugarberry	Roof
DATE REV.	7/6/20	8/3/20
DRAWN BY		Anthony Williams
SALESMAN	J0720-3454	Anthony Williams

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
Watermark Homes	Lot 20 Oak Haven	Sugarberry	7/6/20		J0720-3454

LOAD CHART FOR JACK STUDS					
BASED ON TABLES ENR202.1 & ENR202.2					
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS/BEAM			NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS/BEAM		
REQ'D STUDS FOR (1) 1" x 4" STUDS	REQ'D STUDS FOR (2) 2" x 4" STUDS	REQ'D STUDS FOR (3) 3" x 4" STUDS	REQ'D STUDS FOR (1) 1" x 4" STUDS	REQ'D STUDS FOR (2) 2" x 4" STUDS	REQ'D STUDS FOR (3) 3" x 4" STUDS
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				