

House Plan Zone, LLC.

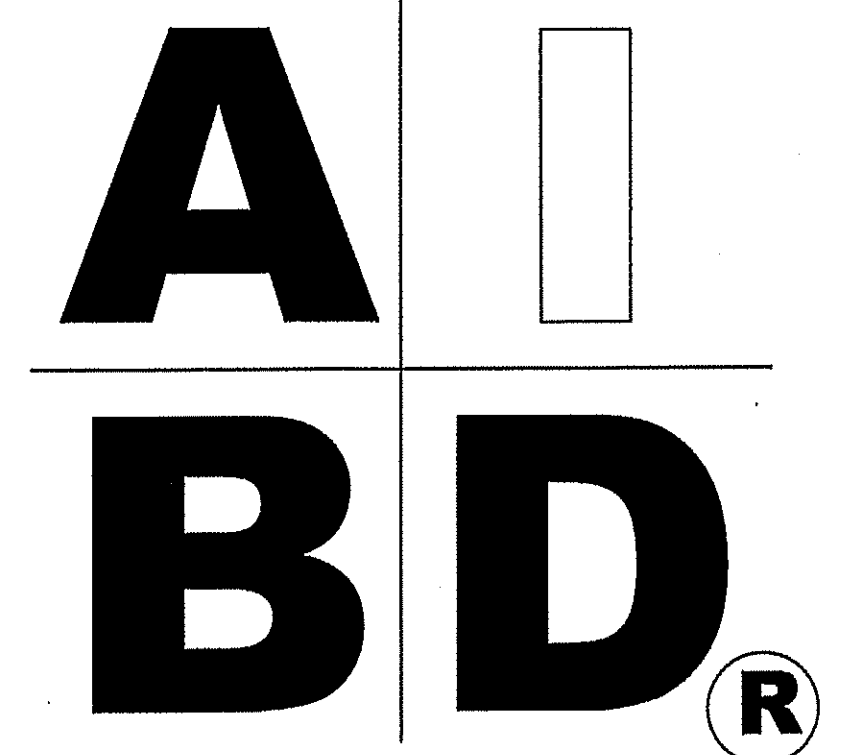


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STANDARD ABBREVIATIONS

@	AT	LT.	LIGHT
#	FOUND(S)	LIN.	LINEN
APPROX. APPROXIMATELY		MANUF. MANUFACTURER	
BASE.	BASEMENT	MAS.	MASONRY
BT	BETWEEN	MAX.	MAXIMUM
BLK.	BLOCK	MTL.	METAL
BLK'G	BLOCKING	MIN.	MINIMUM
BD.	BOARD	N.I.C. NOT IN CONTRACT	
BRD.	BOARD	O.C.	ON CENTER
BOT.	BOTTOM	O/C	ON CENTER
BLDG.	BUILDING	OPT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET	PG.	PAGE
COL.	COLUMN	PAN.	PANTRY
COLS.	COLUMNS	PL.	PLATE
CONC.	CONCRETE	P	PLATE
CMU	CONCRETE MASONRY UNIT	PLYMD	PLYWOOD
C.U.	CONDENSOR UNIT	PLYWD	PLYWOOD
CONN.	CONNECTION	POLY.	POLYETHYLENE
CONT.	CONTINUOUS	PBI	POUNDS PER SQUARE INCH
COVERG	COVERING	PRE-FAB	PREFABRICATED
CS	CRAWL SPACE	RE.	REFERENCE
DECO.	DECORATIVE	REF	REFRIGERATOR
DET	DETAIL	REINF.	REINFORCED
DIA.	DIAMETER	R	RESISTANCE
DPI	DISHWASHER	R.A.	RETURN AIR
DBL.	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQ'D	REQUIRED
D	DRYER	SCR.	SCREEN
EA.	EACH	SHLVs.	SHELVES
ELEV.	ELEVATION	SHR.	SHOWER
ENG.	ENGINEER	SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	S.P.	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK.	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
GA.	GAUGE	TR.	TRANSOM
GALV.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPSPUM	U.T.C.	UNDER THE COUNTER
HDR.	HEADER	UTIL.	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN.	VANITY
HT.	HEIGHT	VERT.	VERTICAL
HTS.	HEIGHTS	WH	WATER HEATER
HORIZ.	HORIZONTAL	W	WASHER
IN.	INCHES	WT.	WEIGHT
INCL.	INCLUDE	WIN.	WINDOW
INSUL.	INSULATION	WM.	WIRE MESH
JT.	JOINT	W	WITH
JST.	JOIST	WD.	WOOD
JETS.	JOISTS	WFCM	WOOD FRAME CONSTRUCTION MANUAL

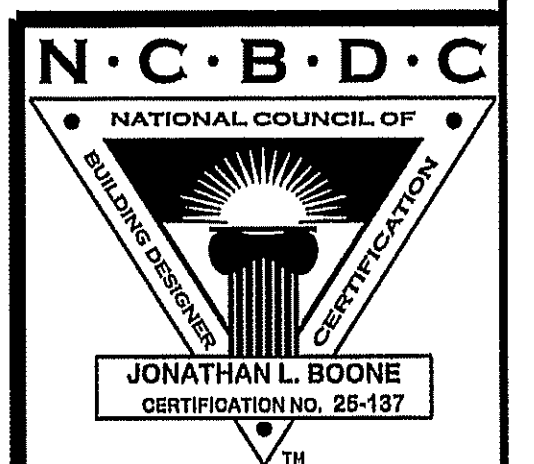
SHEET INDEX:

- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLAN
- 4 EXTERIOR VIEWS
- 5 SECTIONS & CABINETS
- 6 ROOF PLAN
- 7 ELECTRICAL PLAN



BB-1398

CODE DISCLAIMER:
 1. THESE PLANS WERE DESIGNED TO MEET IRC 2018 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
 3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2018 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
 4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
 5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

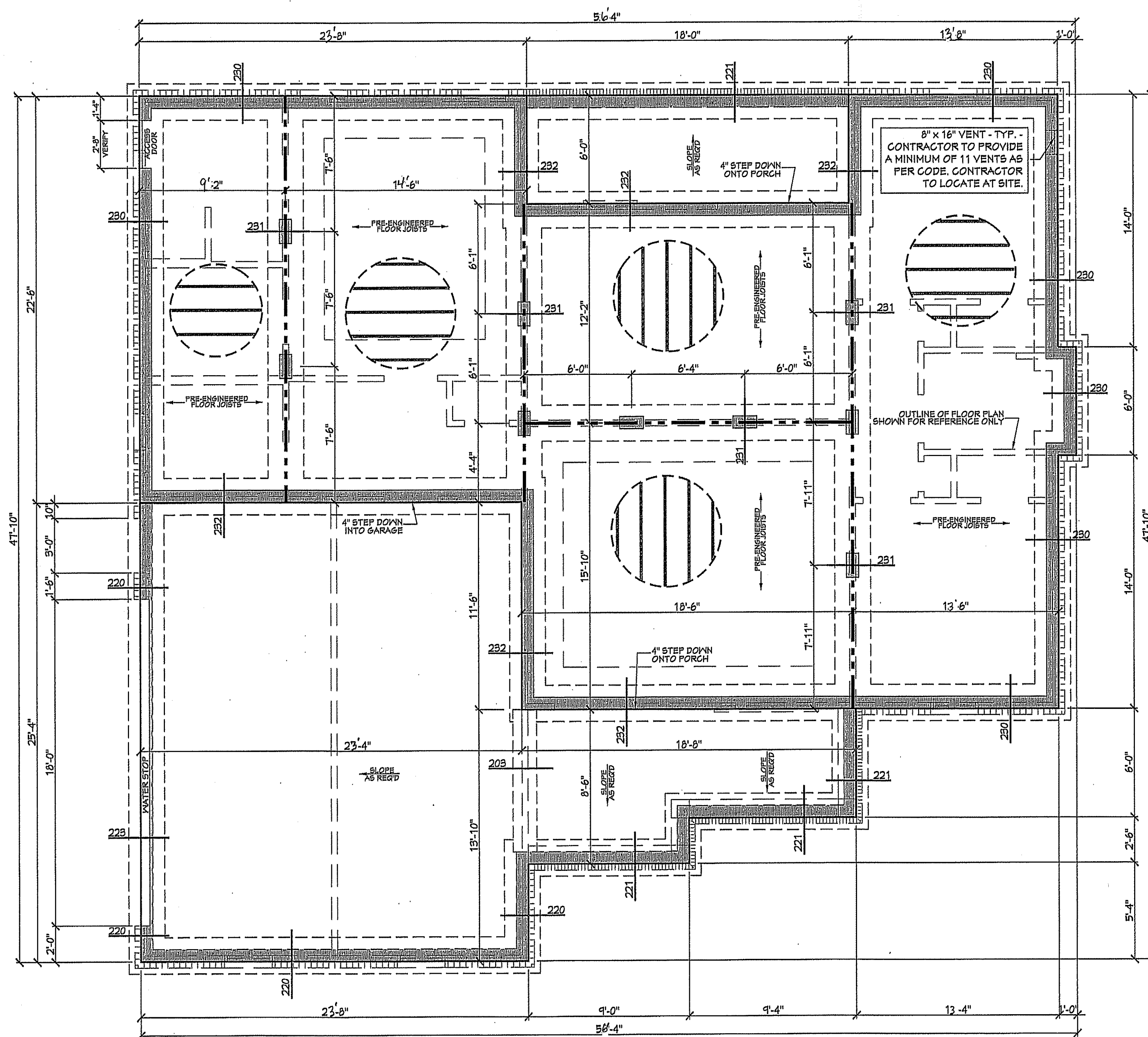


Date: 05/21/19

Drawn By: J.A.B.

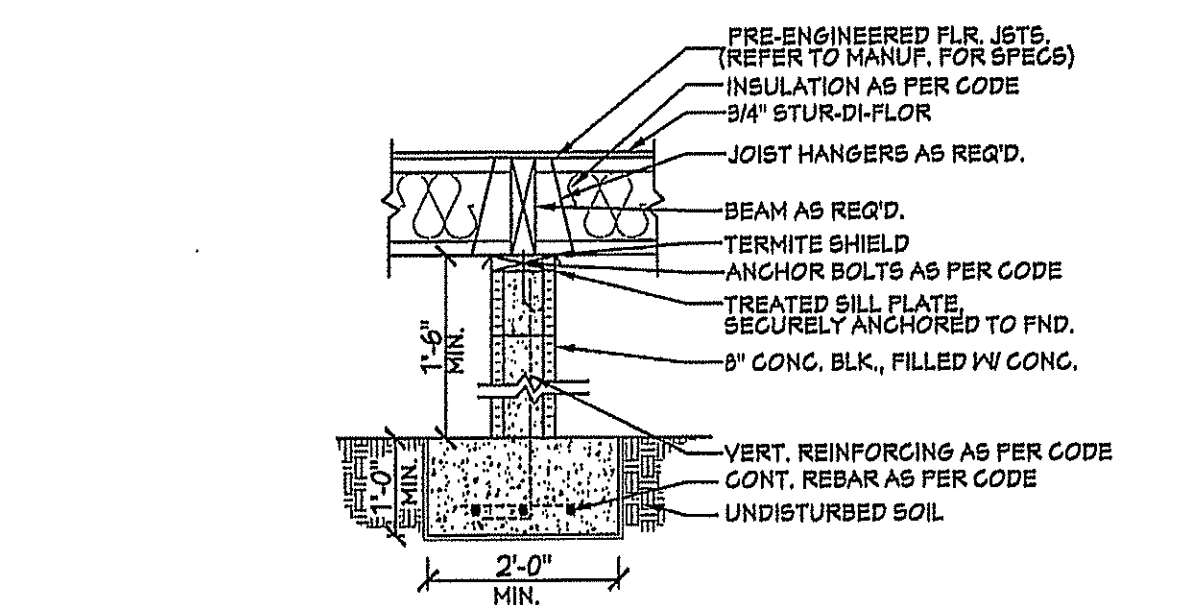
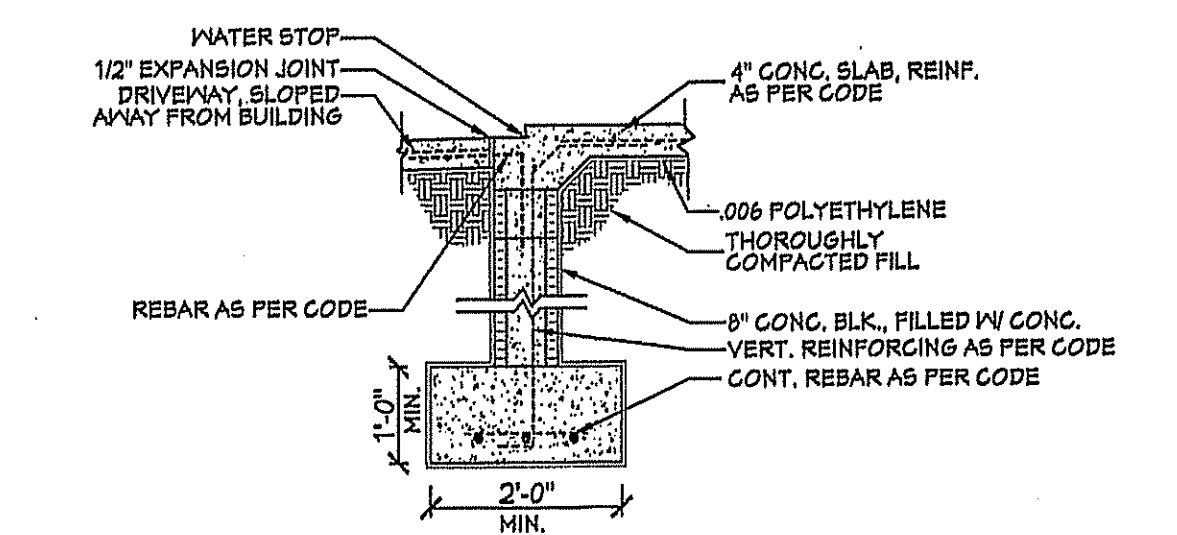
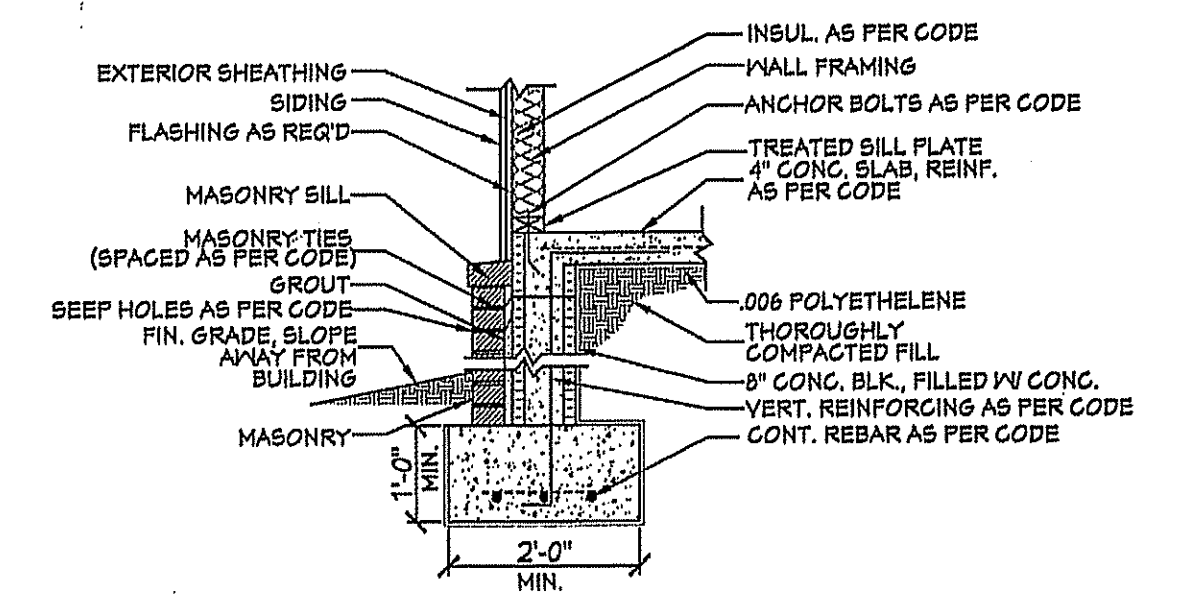
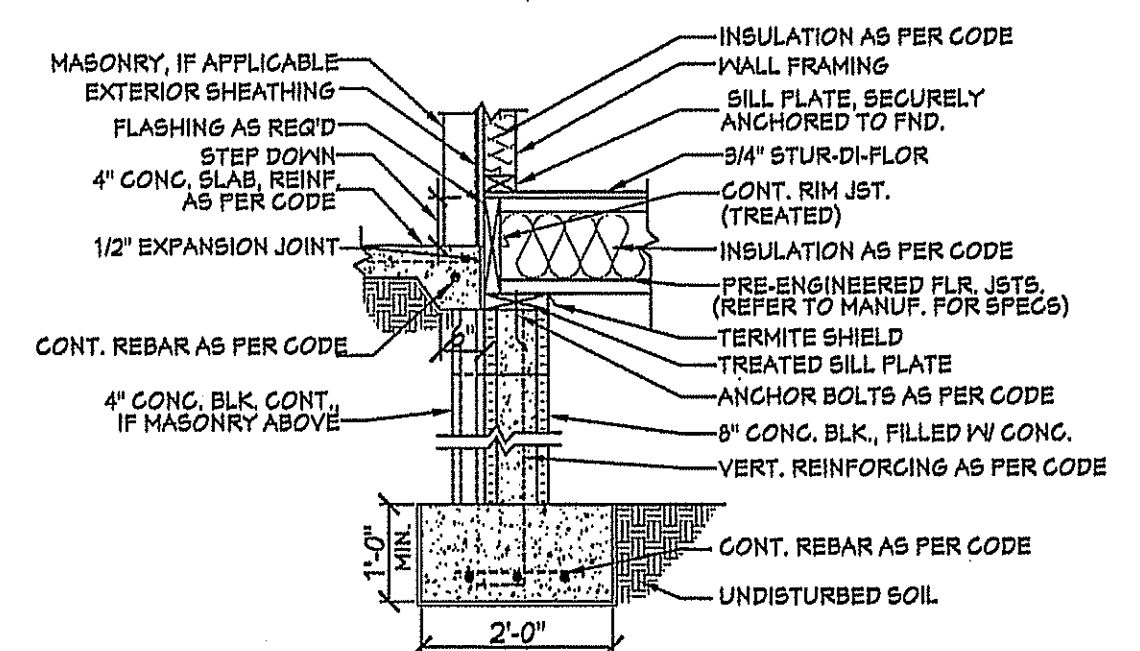
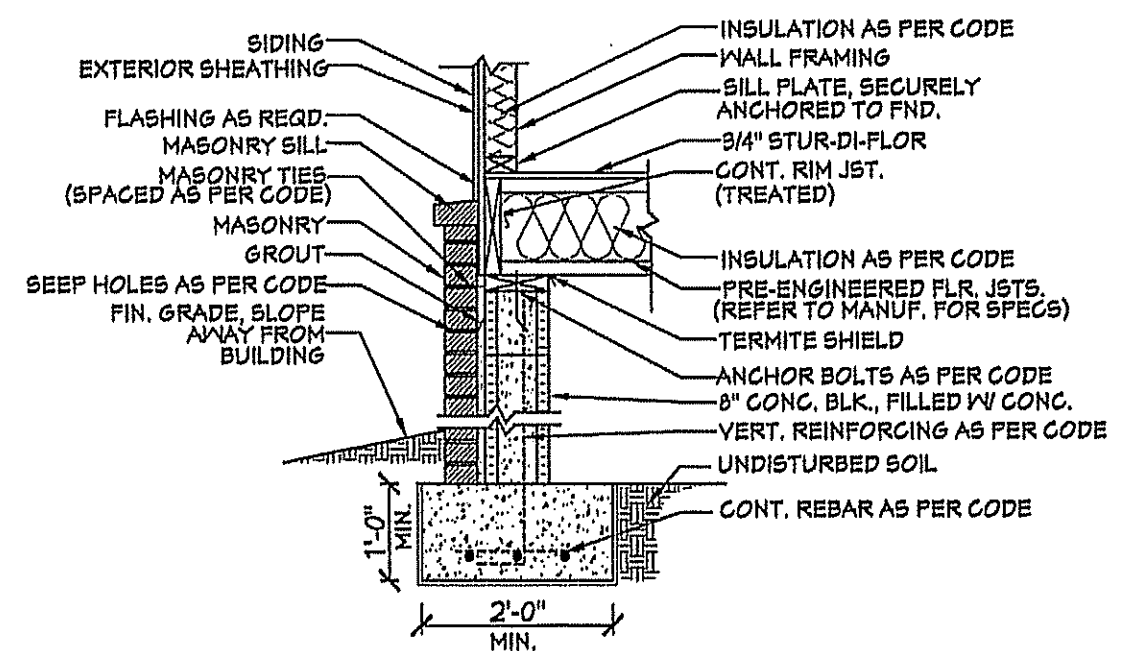
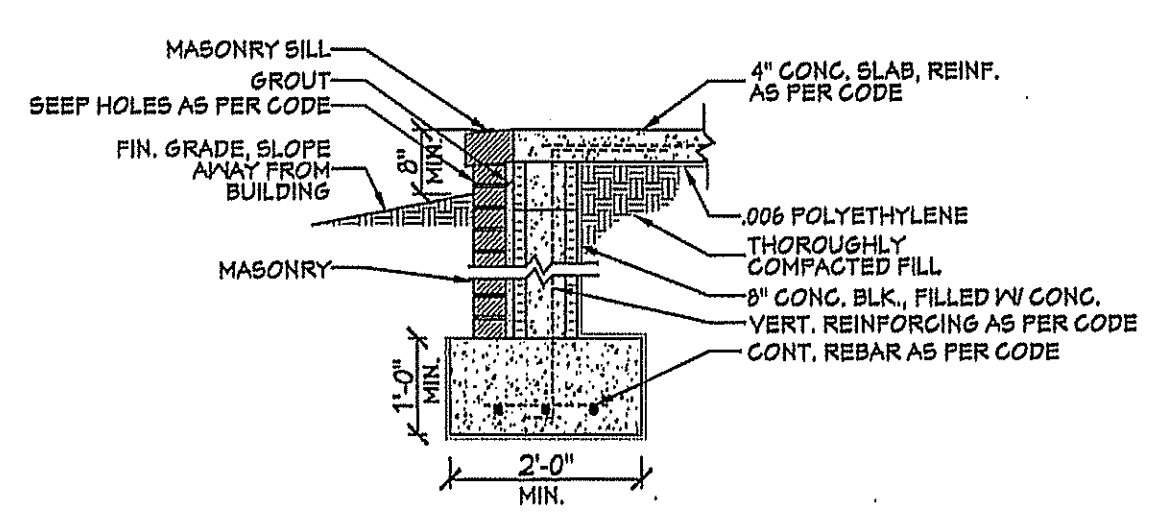
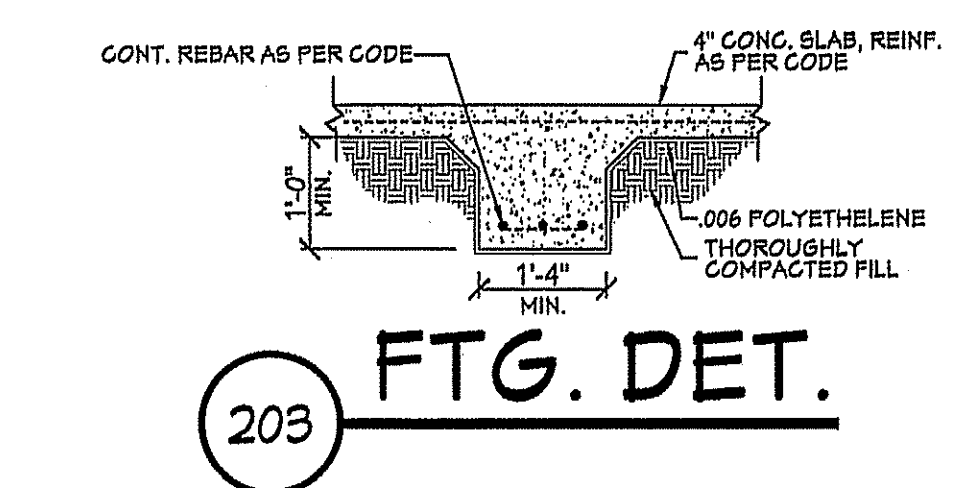
SHEET NUMBER

1



201 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

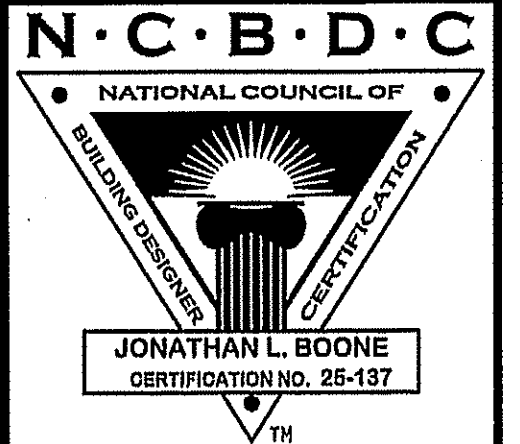
NOTE: PRE-ENGINEERED FLOOR JOISTS ARE SHOWN. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING, SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.



- CRAWLSPACE FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY CONTRACTOR
 2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
 4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
 5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.
 6. CONTRACTOR TO PROVIDE ADEQUATE DRAINAGE BASED ON EXISTING SITE CONDITIONS. VERIFY w/LOCAL CODES.
 7. REFER TO FLOOR JOIST MANUFACTURER FOR JOIST SIZING AND SPACING, CROSS BRACING REQUIREMENTS, AND BEAM SIZES.
 8. VERIFY THE QUANTITY AND LOCATION OF BRICK VENTS WITH ALL APPLICABLE CODES AT SITE.



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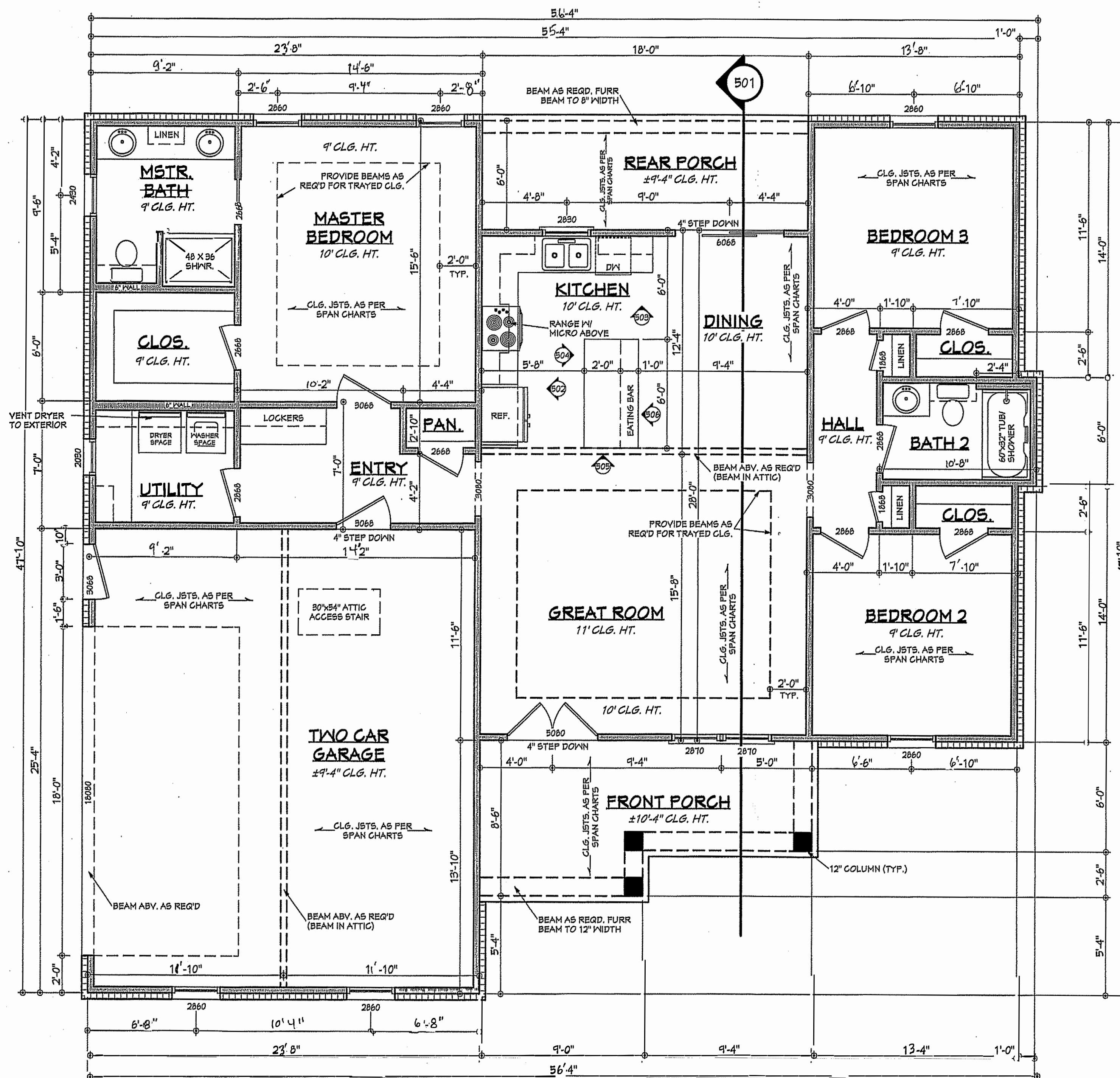


Pre-Drawn Plan ID:
BB-1398

Date:
05/21/19
Drawn By:
R.B.W.

SHEET NUMBER
2

House Plan Zone, LLC has prepared great care and skill in the development of these plans and the completion of these construction documents. However, the contractor is responsible for the design and construction of the building. House Plan Zone, LLC, assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design or construction. In addition to your local building codes, additional engineering may be required to comply with local, state and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



NOTES:

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF RAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
8. M1305.1.2 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE HIGH AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- EXCEPTIONS:
 - a. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
 - b. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
9. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
10. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
11. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
12. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
13. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
14. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1305.2

NOTE: CONTRACTOR TO LOCATE HVAC UNITS AND WATER HEATER AT SITE.

BB-1398 FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA:	1491	S.F. HEATED - WITHOUT MASONRY
	133	S.F. UNHEATED - FRONT PORCH
	600	S.F. UNHEATED - GARAGE
	108	S.F. UNHEATED - REAR PORCH
	841	S.F. TOTAL UNHEATED
	2332	S.F. TOTAL UNDER ROOF

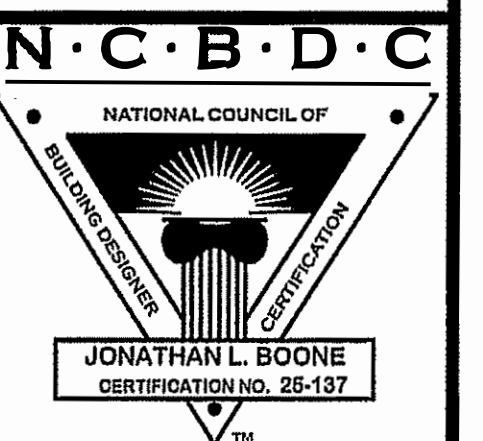


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Pre-Drawn Plan ID:

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House Plan Zone, LLC has prepared these plans and offers the information contained herein as a service to the public. The user assumes all responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in this design. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate local, state and federal authorities. In addition to your local building officials prior to construction. A professional engineering seal is required for construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

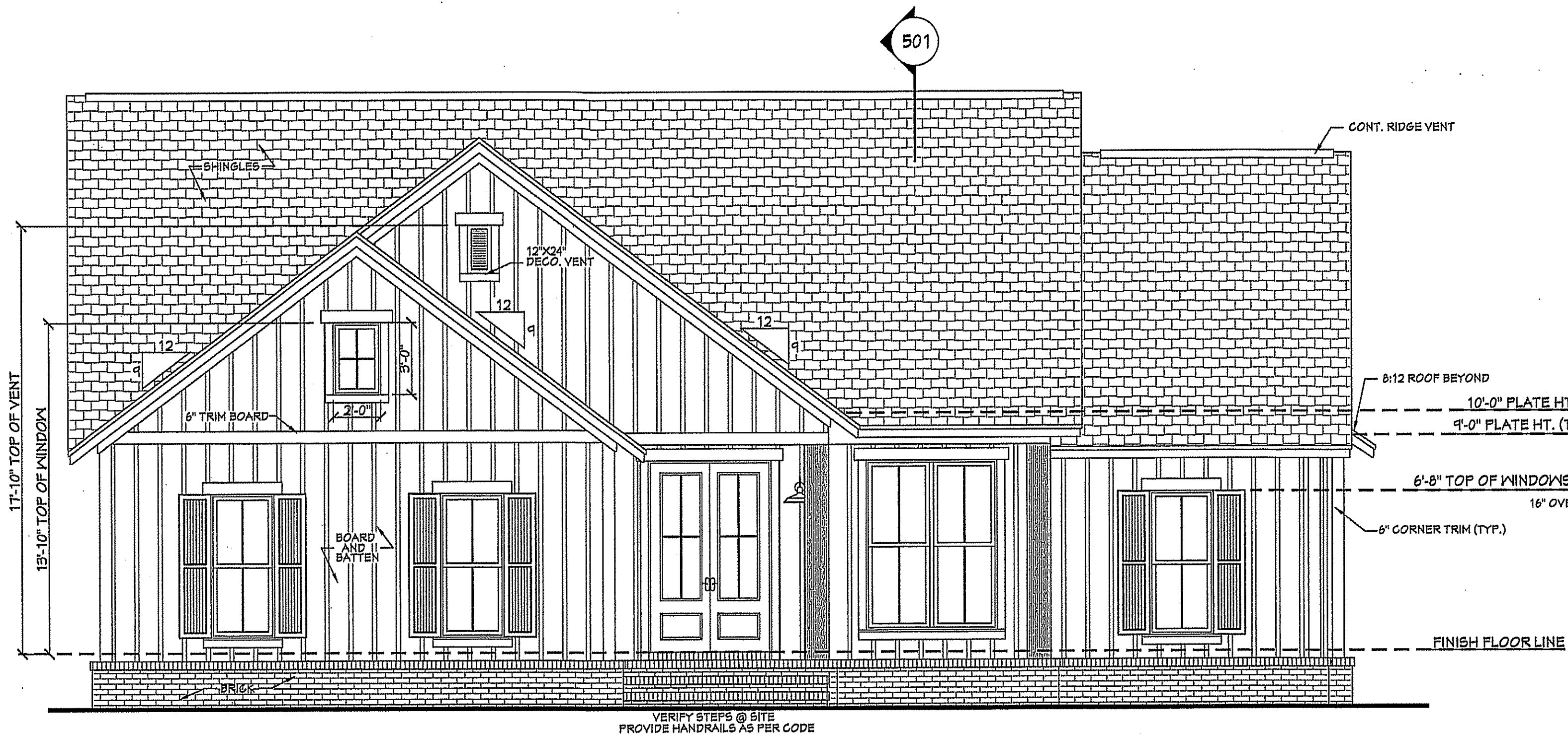
Date: 05/21/19

Drawn By: J.A.B.

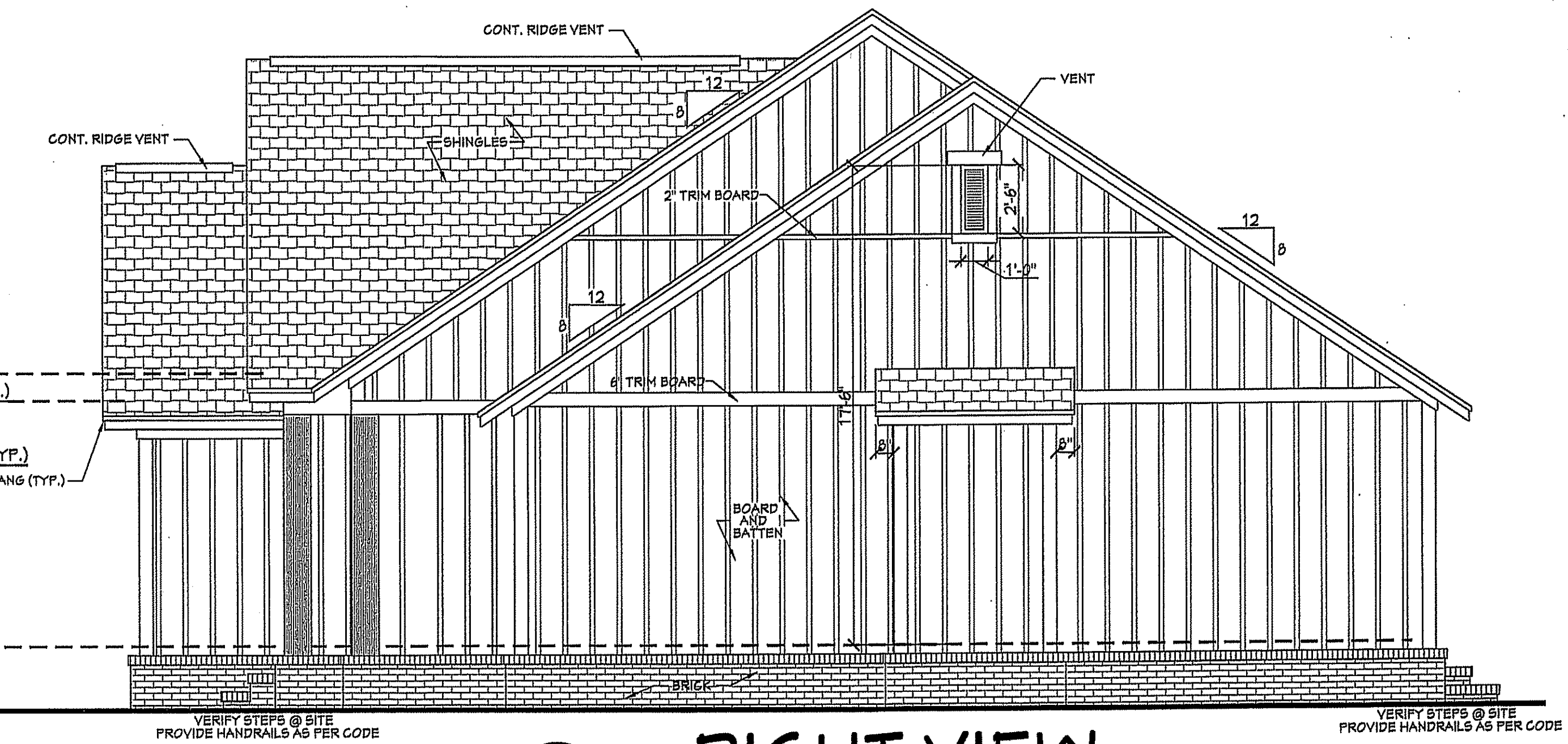
Project Name:

SHEET NUMBER

3



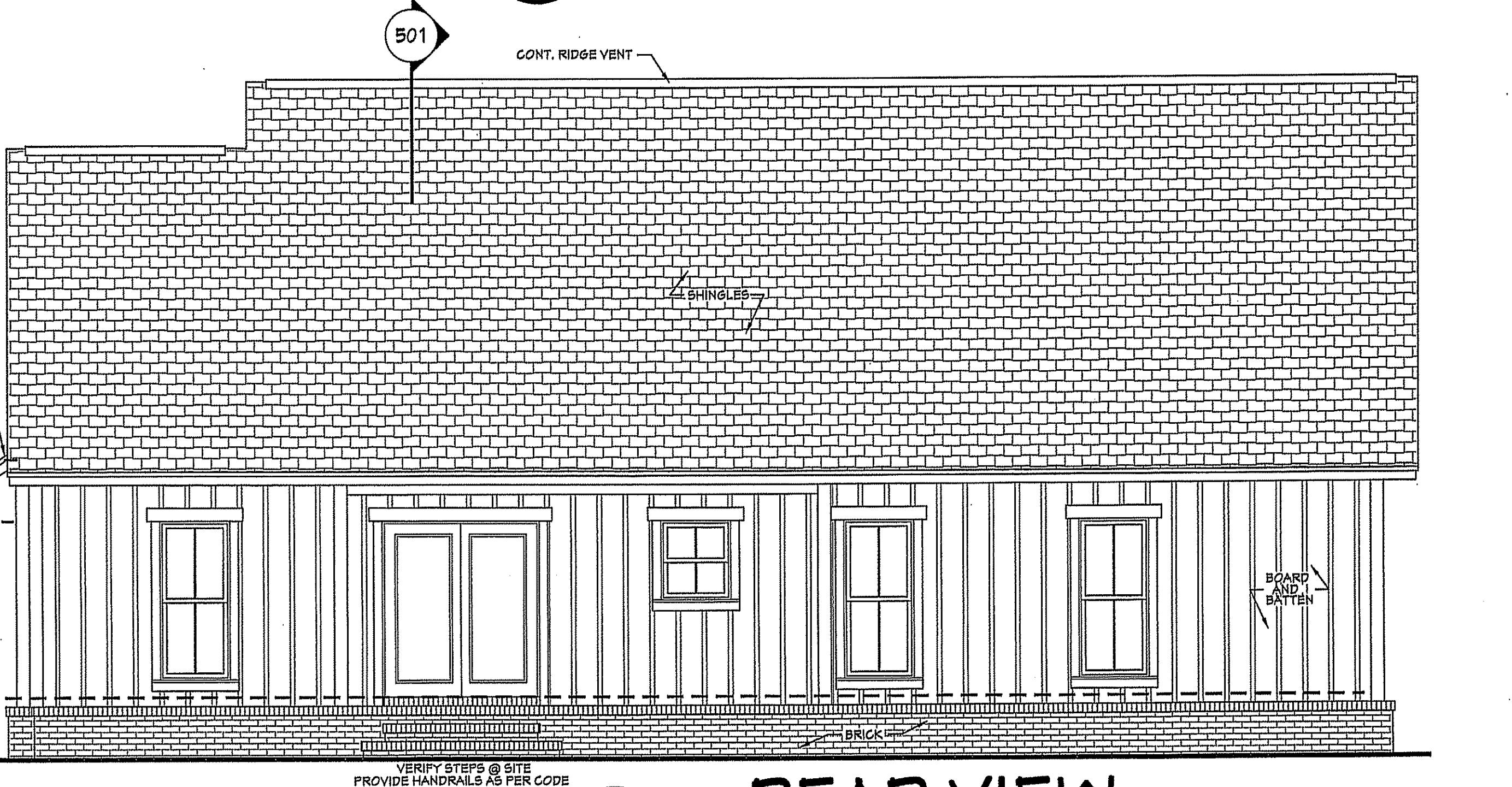
401 FRONT VIEW
SCALE 1/4" = 1'-0"



402 RIGHT VIEW
SCALE 1/4" = 1'-0"



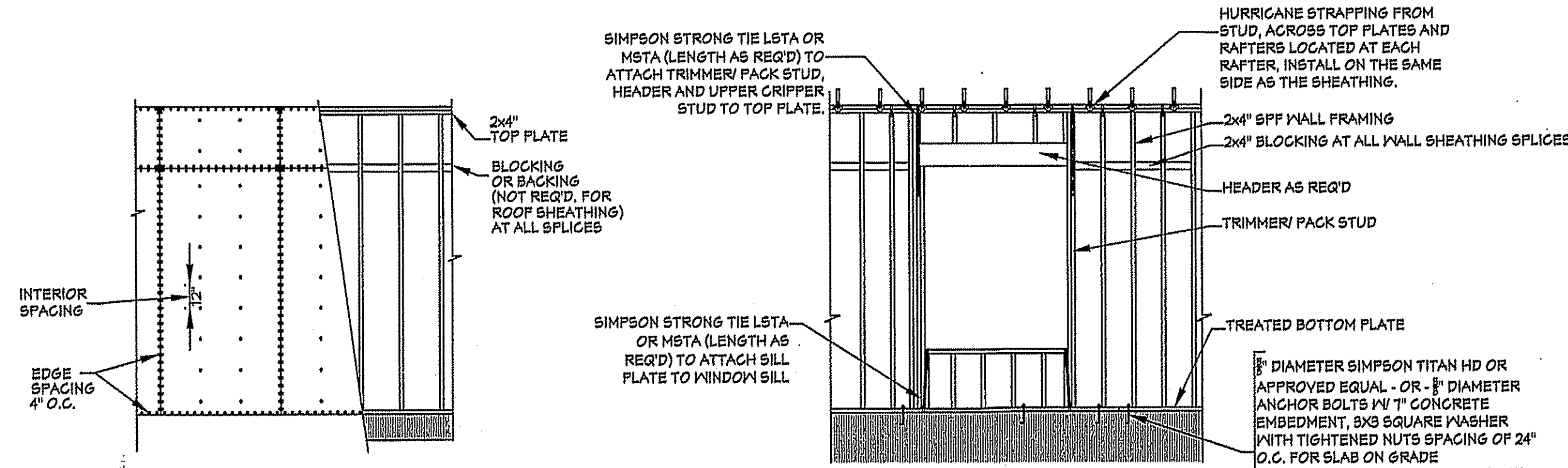
403 LEFT VIEW
SCALE 1/4" = 1'-0"



404 REAR VIEW
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



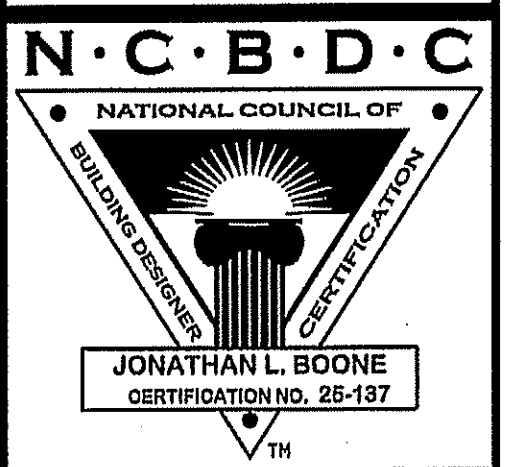
WALL/ROOF FASTENING DETAILS
SCALE 1/4" = 1'-0"

NAIL SIZE SPACING FOR WALL SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 12" O.C.
NAIL SIZE SPACING FOR ROOF SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 4" O.C.

- NOTES:**
1. ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
 2. PROVIDE 2x4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 3-10d NAILS ON EACH SIDE.
 3. SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
 4. EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.



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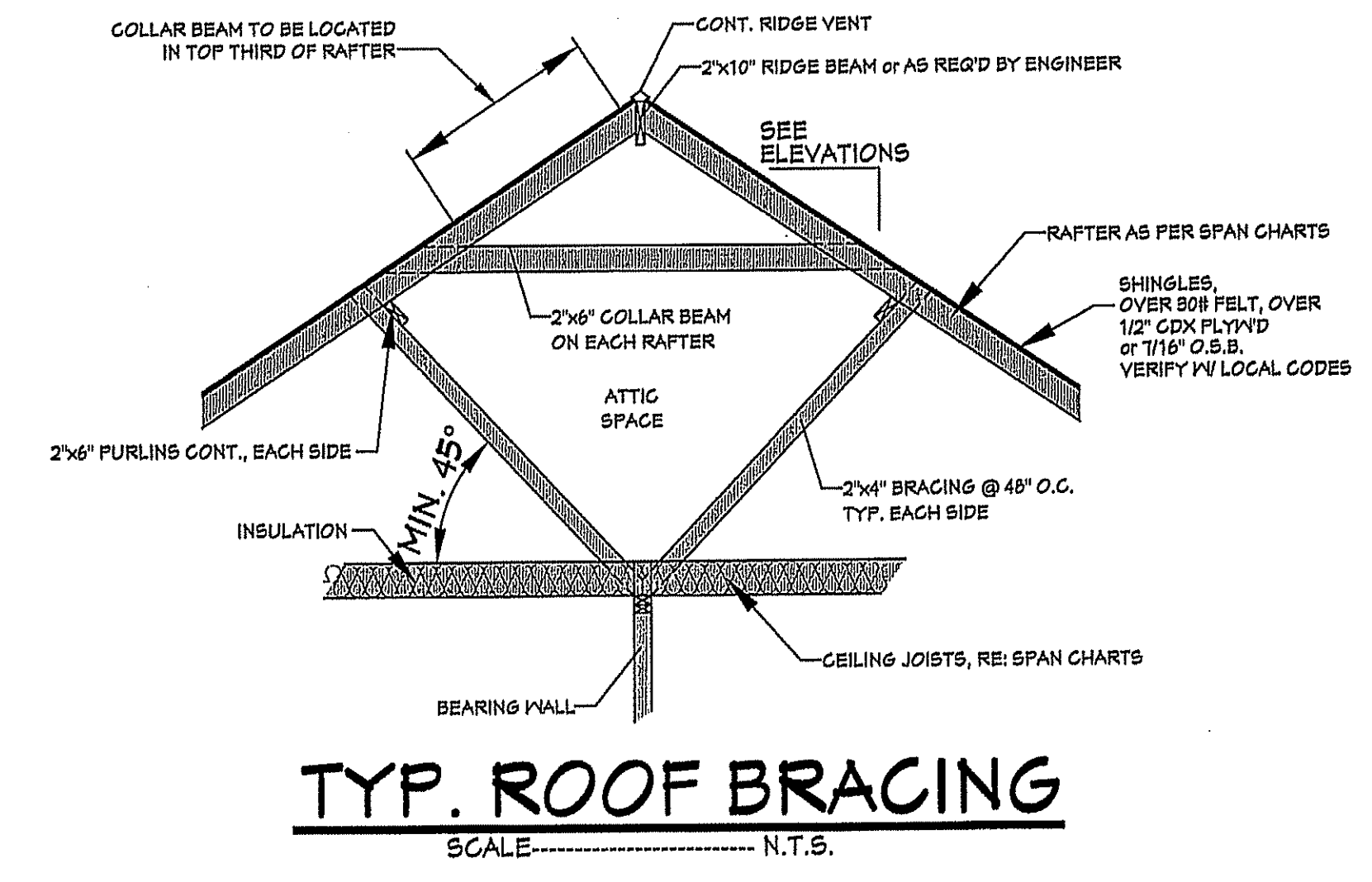
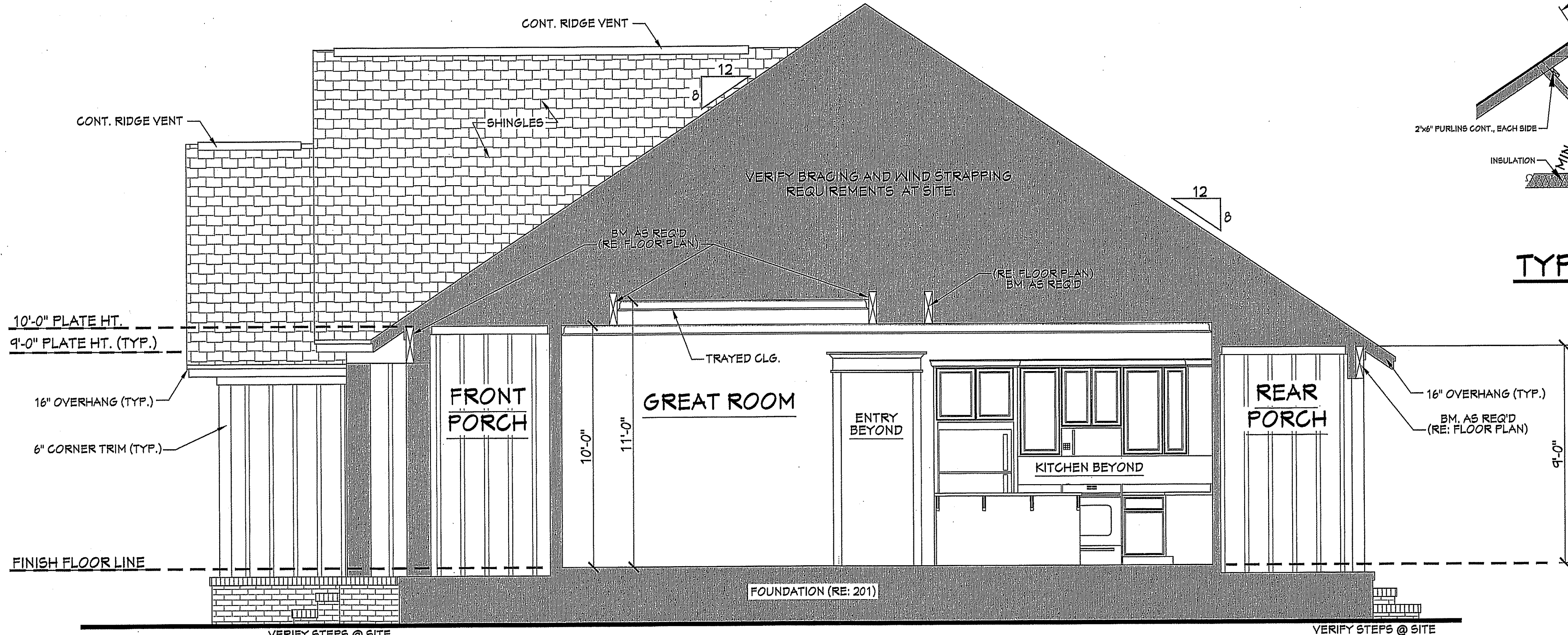
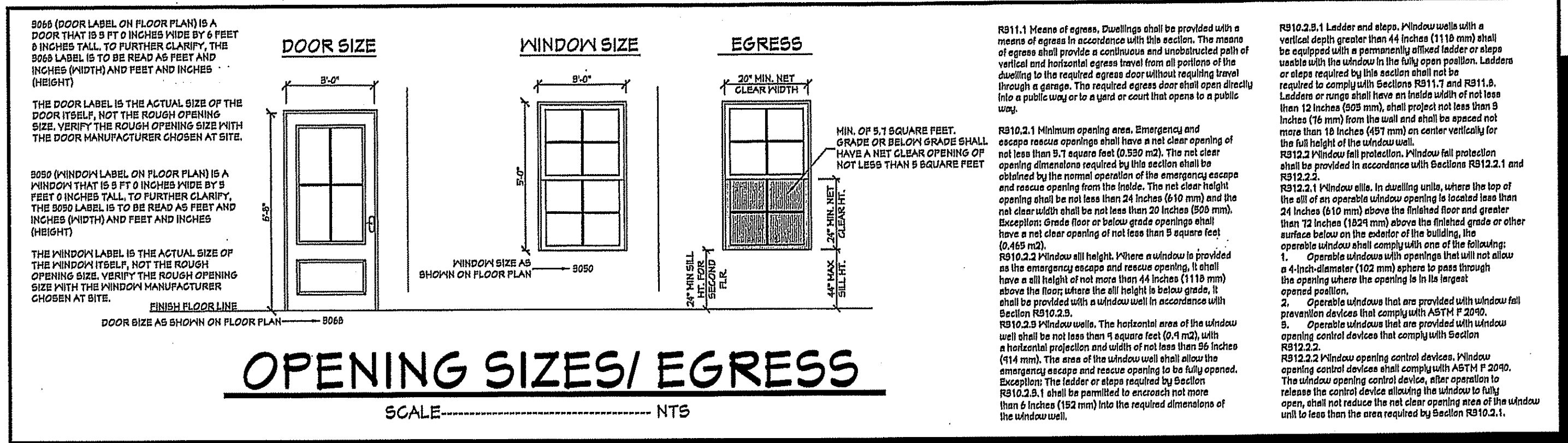
House Plan Zone, LLC has provided great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design, construction or other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

Date: 05/21/19
Drawn By: J.A.B.

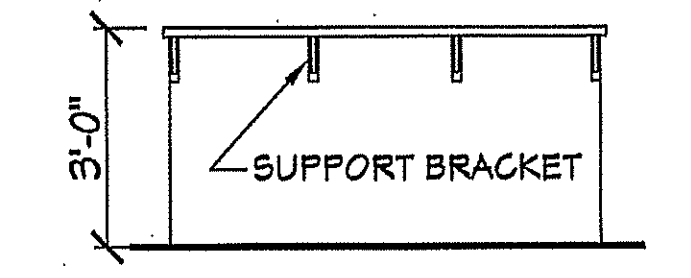
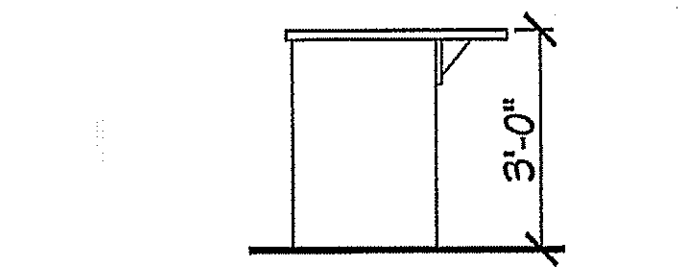
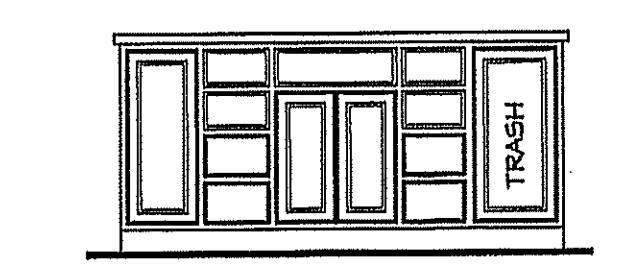
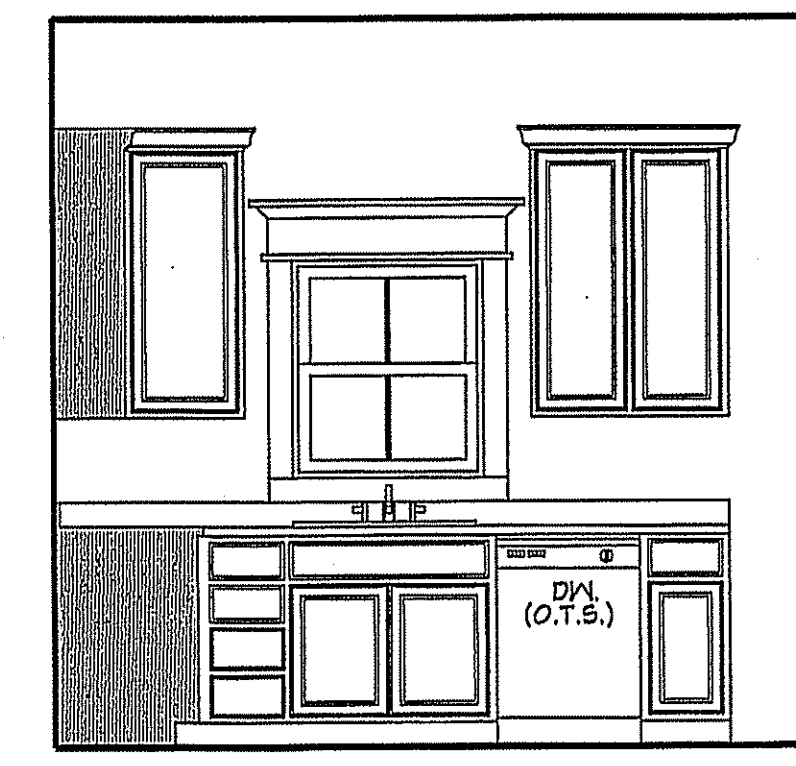
SHEET NUMBER
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CROSS SECTION NOTES:

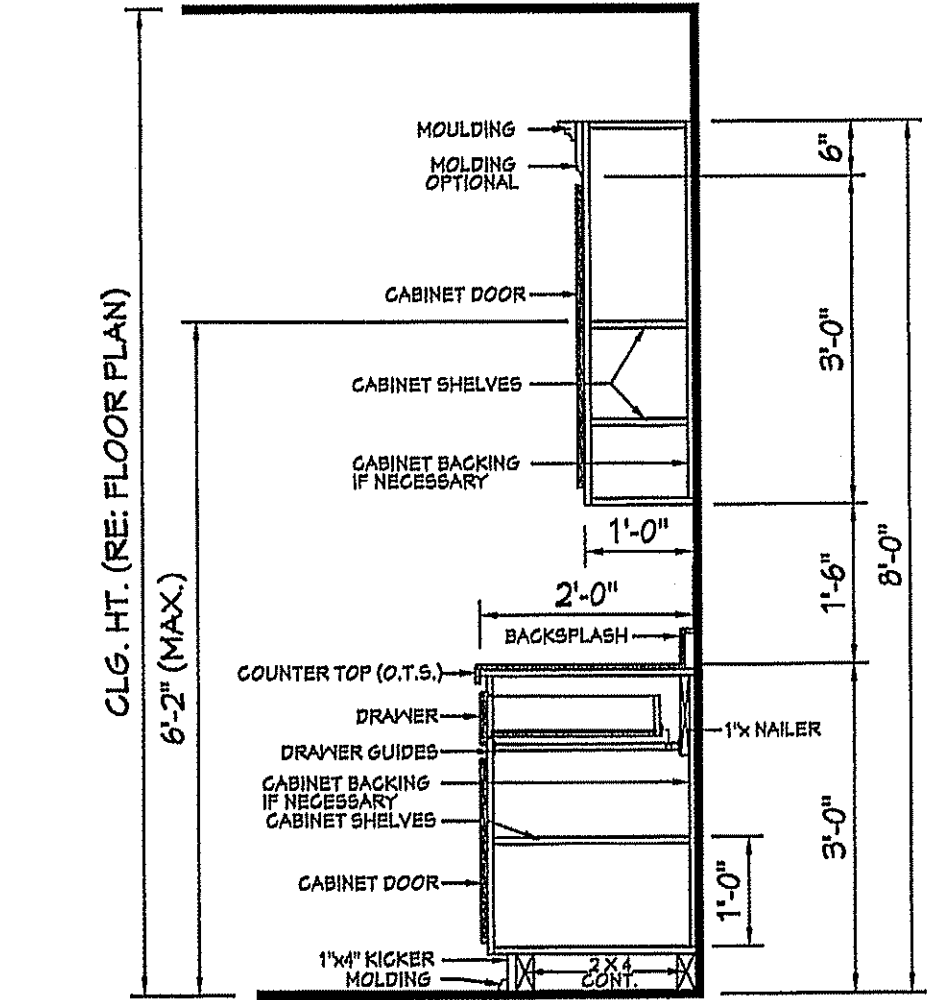
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



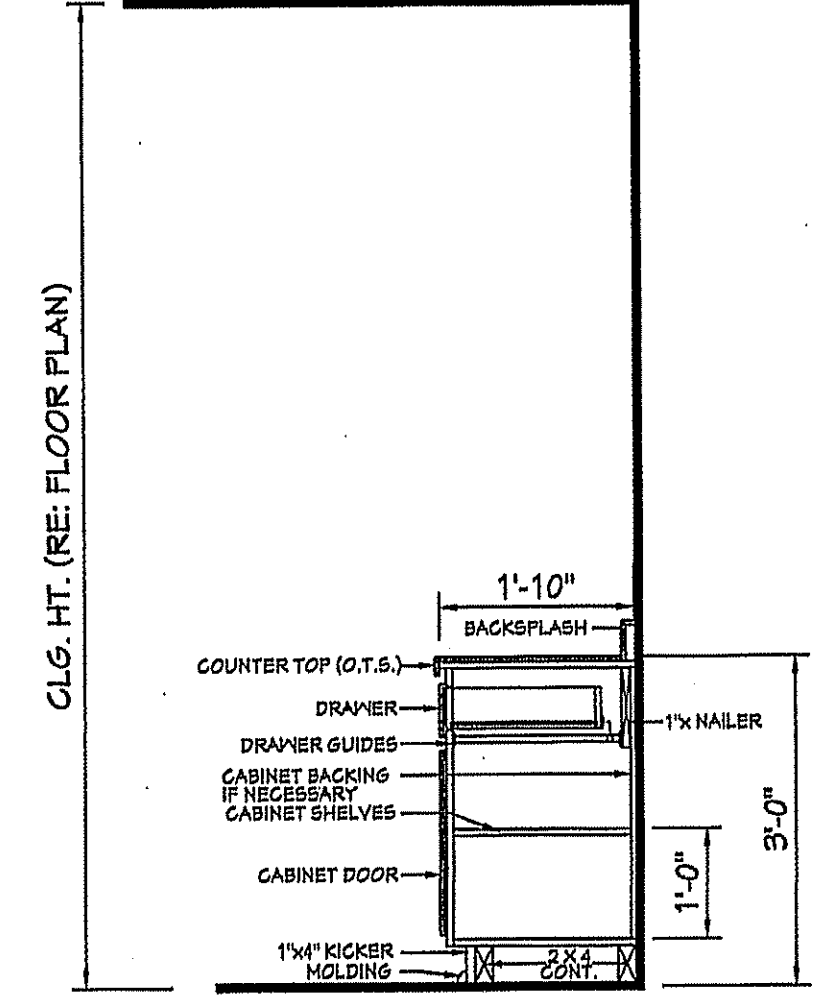
501 CROSS SECTION
SCALE----- 3/8" = 1'-0"



KITCHEN



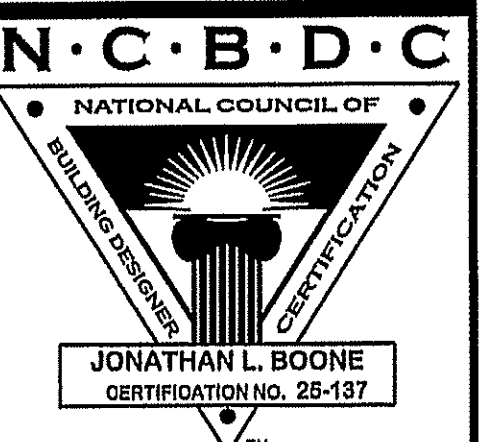
BATH



507 TYPICAL CABINET SECTIONS
SCALE----- N.T.S.



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Pre-Drawn Plan ID: **BB-1398**

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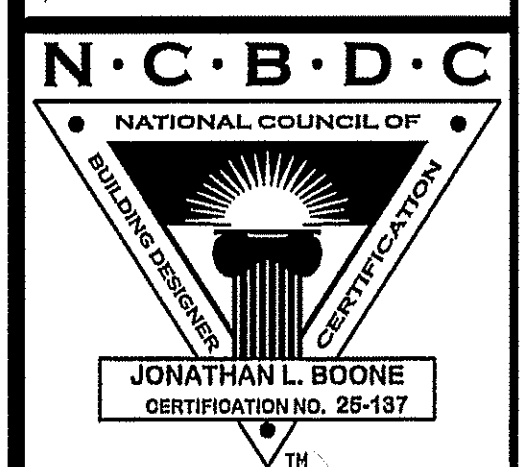
Date: 05/21/19
Drawn By: R.B.W.

SHEET NUMBER **5**

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Date: 05/21/19

Drawn By: J.A.B.

SHEET NUMBER

6

HIP/VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS...		THEN HIP/VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/RUN	SLOPE	RISE/RUN	SLOPE
1/12	8°	1/17	8°
2/12	10°	2/17	7°
3/12	14°	3/17	10°
4/12	18°	4/17	13°
5/12	23°	5/17	16°
6/12	27°	6/17	19°
7/12	30°	7/17	22°
8/12	34°	8/17	25°
9/12	37°	9/17	28°
10/12	40°	10/17	30°
11/12	42°	11/17	33°
12/12	45°	12/17	35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER LENGTH CHART

ROOF PITCH	FACTOR
3/12	1.05
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
16/12	1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR. CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(UNINHABITABLE ATTICS WITH LIMITED STORAGE, LIVE LOAD = 20psf, L/Δ=240) DEAD LOAD = 10psf)

IF HABITABLE ATTIC SPACE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2x4	12.0	4-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2x6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2x8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2x10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

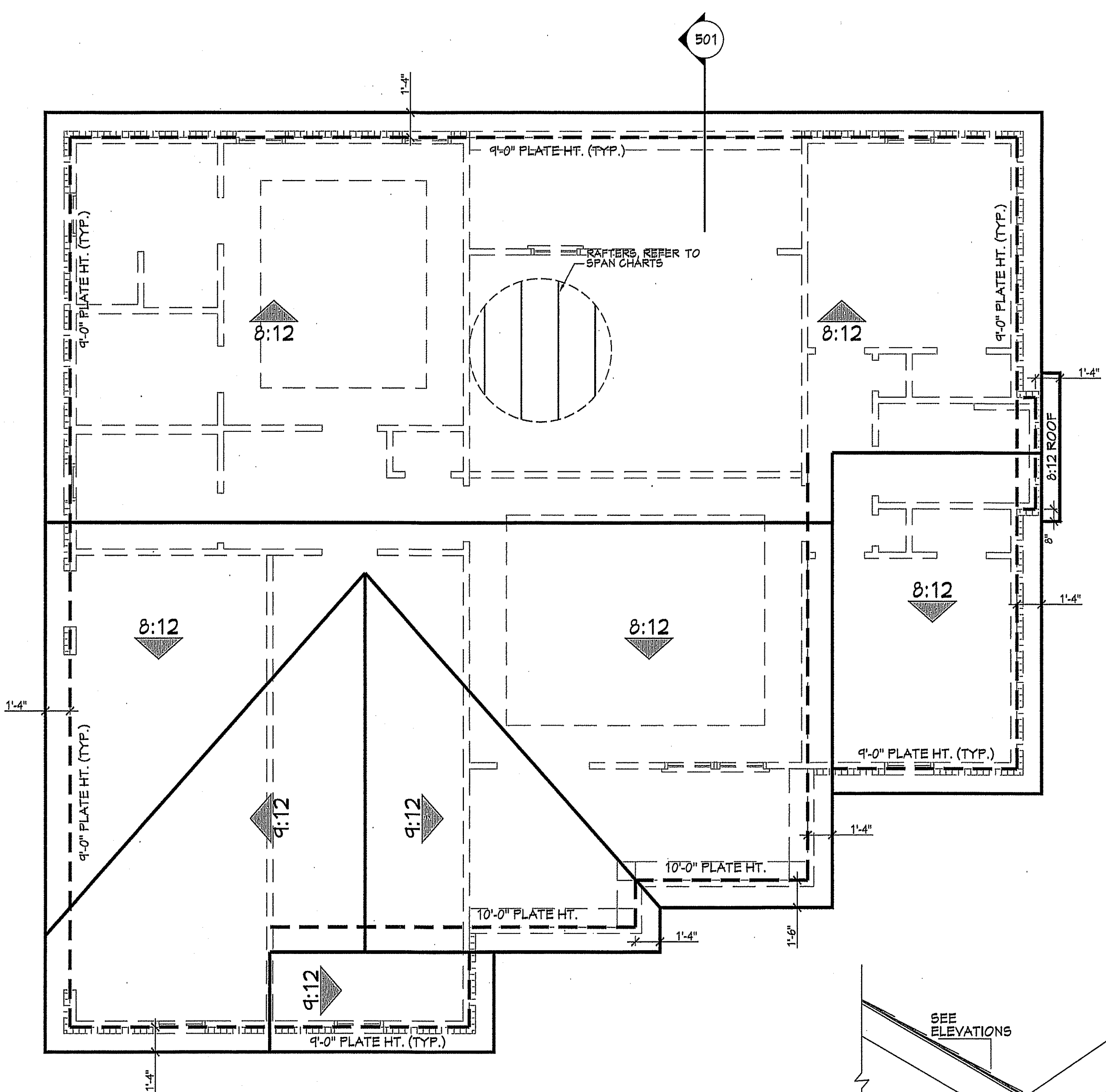
NOTES:
The above tables are based on the IRC 2018 TABLE R802.5.1(2)

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L/Δ=180 DEAD LOAD = 10psf

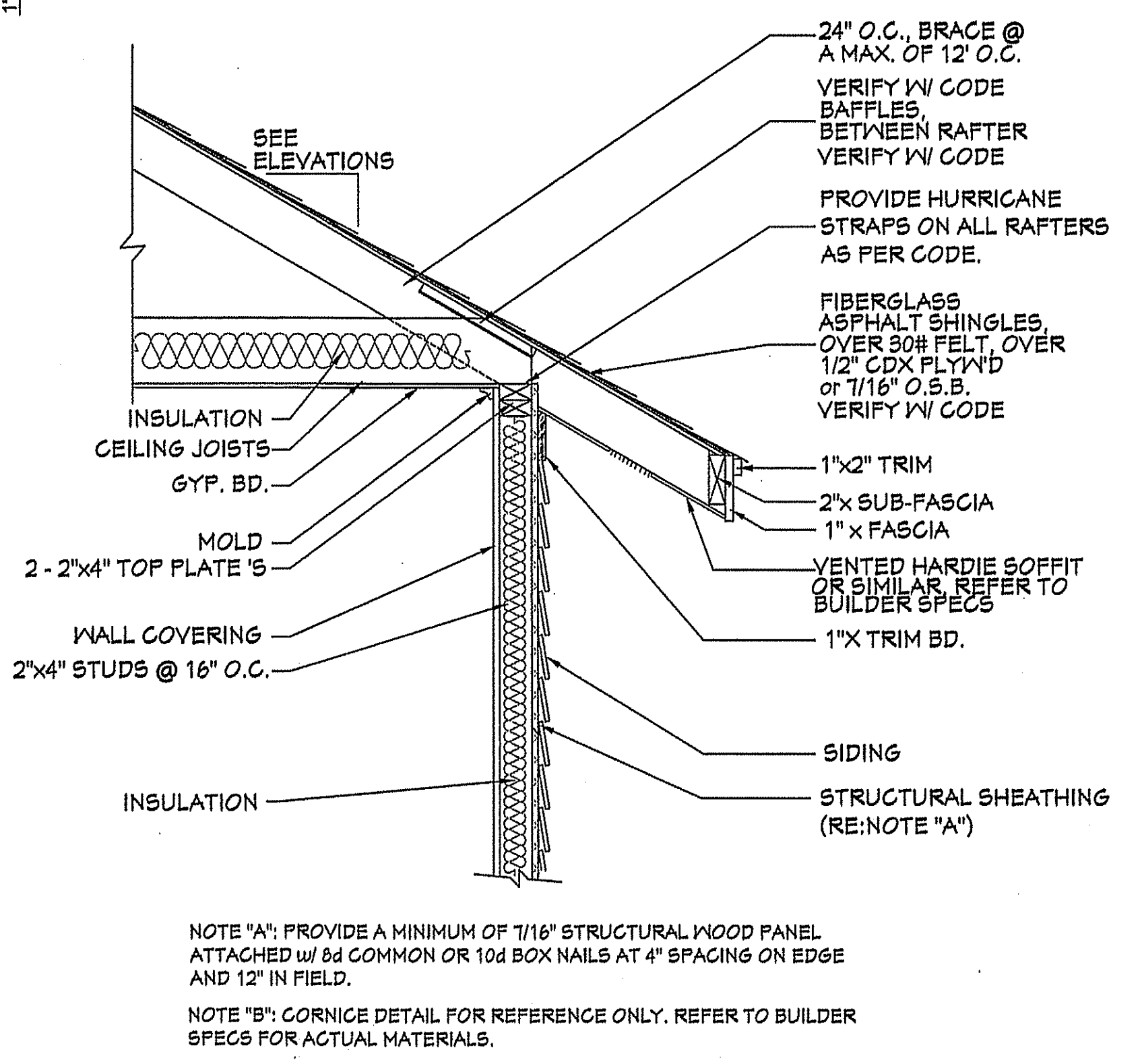
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2x6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2x8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2x10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2x12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

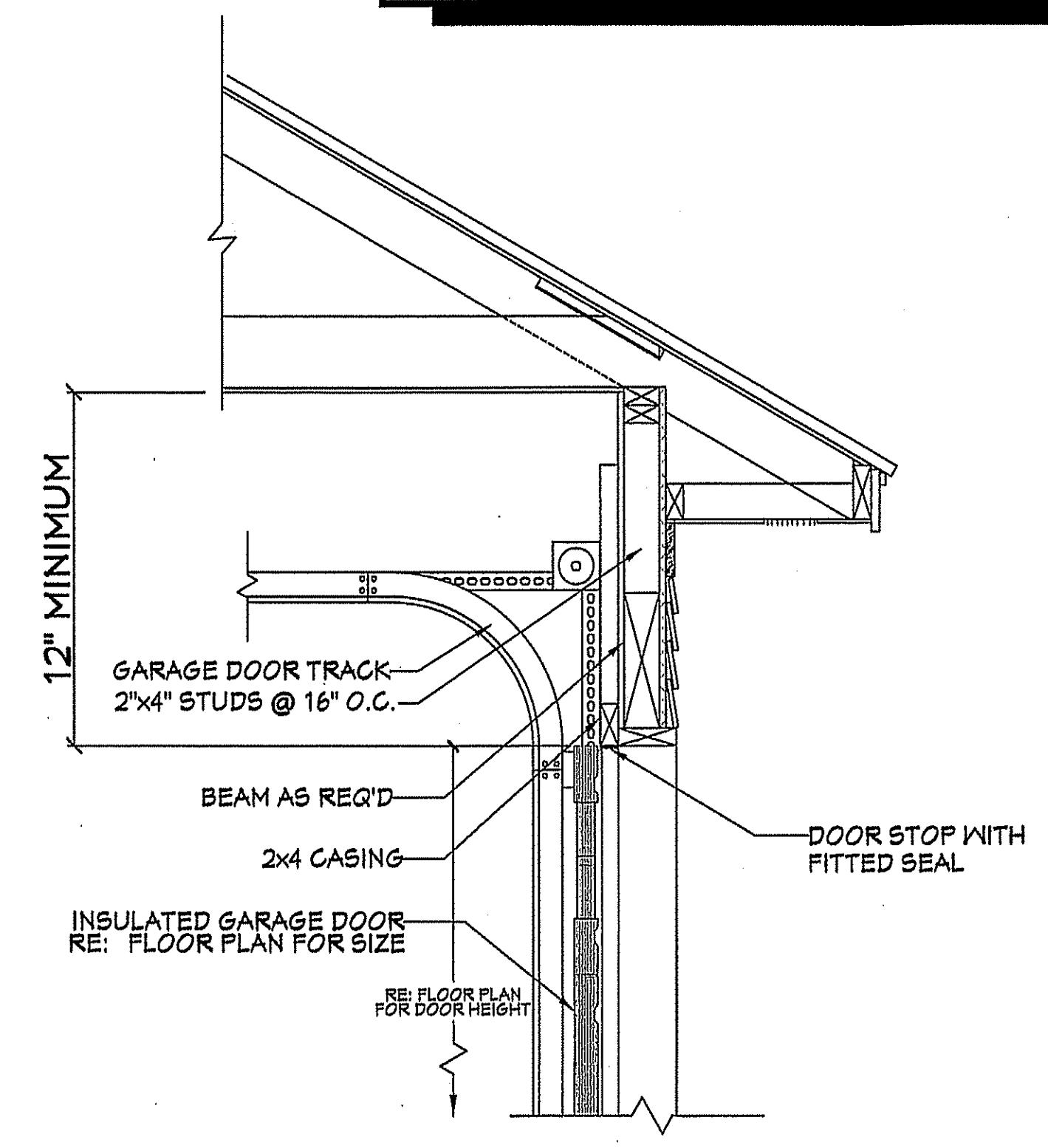


601 ROOF PLAN
SCALE: 1/4" = 1'-0"

- ROOF PLAN NOTES:**
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 - ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
 - ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
 - CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
 - CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



602 TYP. CORNICE DETAIL
SCALE: 3/4" = 1'-0"



603 GARAGE DOOR CLEARANCE
SCALE: N.T.S.
THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.