

Carriage Circle 1165 - 100 Spruce Hollow Circle, Spring Lake, 28390

Harnett County

Created: 10/1/2020

BUILD PER PLAN



2550 Capitol Drive
Suite 105
Creedmoor, NC 27522
919-528-1347

2334

The Nicklaus II - LH



SOUTH
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(919) 556-2206
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2550 Capitol Drive
Suite 105
Creedmoor, NC 27522
919-528-1347

	HERITAGE EUROPEAN			HERITAGE FARMHOUSE		
	UNHEATED	HEATED	HEATED S.F.	UNHEATED	HEATED	HEATED S.F.
FIRST FLOOR	0	0	0	0	0	0
SECOND FLOOR	0	0	0	0	0	0
REAR COVERED PORCH	0	0	0	0	0	0
FRONT PORCH	120	0	0	120	0	0
GARAGE	472	0	0	472	0	0
SUBTOTALS	642	0	0	642	0	0
TOTAL UNDER ROOF	2976			2976		

OPTIONS	
UNHEATED S.F.	HEATED S.F.
---	0
---	0
---	0
---	0
---	0
---	0
---	0
---	0
---	0
---	0
---	0

REVISION LOG					
Rev.	Description	Drawn By	Date	Brochure Required	Engineering Required
1					
2					
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ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
2.1	F1st Floor Plan
2.2	Second Floor Plan
3.A.0	Heritage European Front & Rear Elevations
3.A.1	Heritage European Left & Rear Elevations
3.A.2	Heritage European Roof Plan
3.B.0	Heritage Farmhouse Front & Rear Elevations
3.B.1	Heritage Farmhouse Left & Rear Elevations
3.B.2	Heritage Farmhouse Roof Plan
5.1.1	Crawl Foundation
5.1.2	Slab Foundation
5.2.1	Second Floor Framing
5.3.1	Attic Floor Framing
5.4.1	Roof Plan - Heritage European
5.4.2	Roof Plan - Heritage Farmhouse

2334 - THE NICKLAUS II - LH

Cover Sheet

OWNER:
SOUTH DESIGNS
ISSUE DATE:
05/05/2017
CURRENT REVISION DATE:
XXXXXXXXXX
SCALE:
1/8" = 1'-0"

0.0
SHEET

REV.#	DATE	DESCRIPTION
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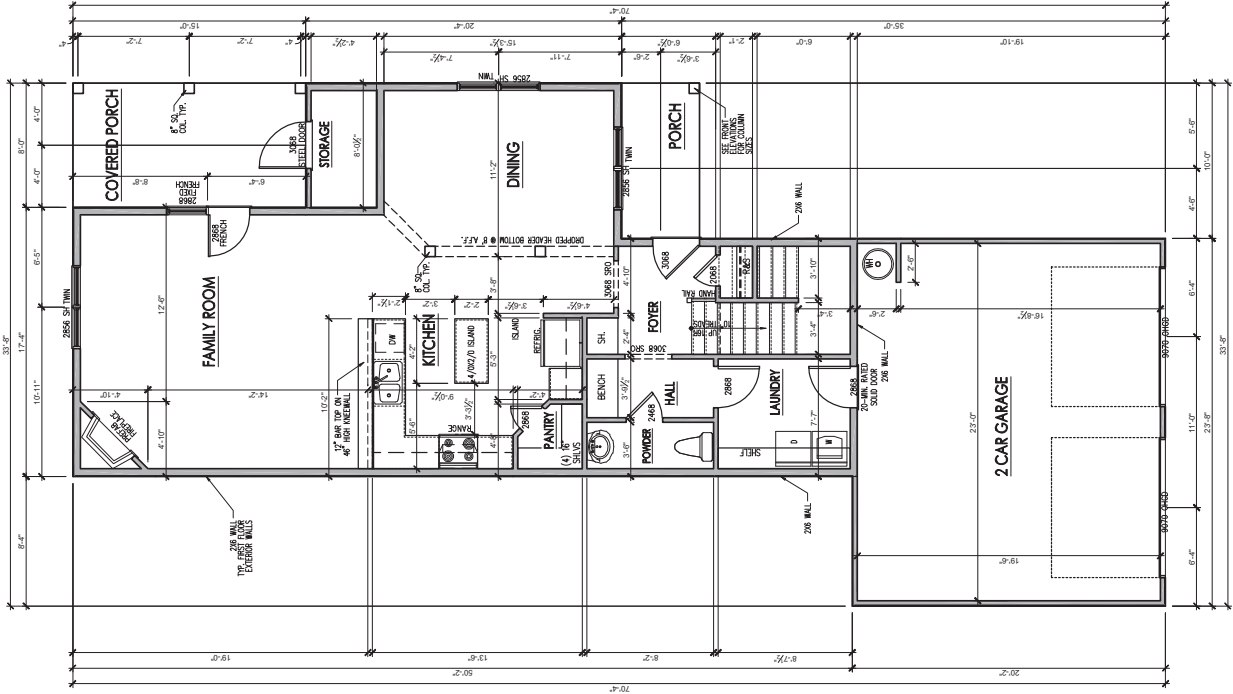


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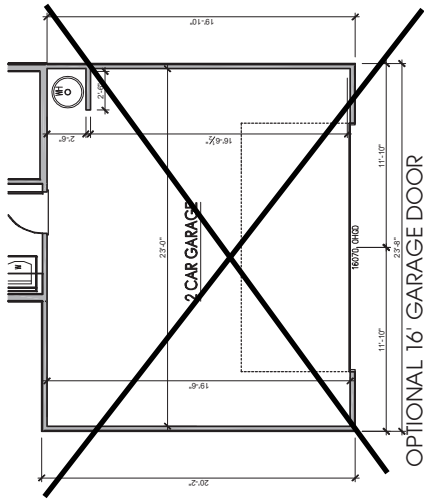
REV #	DESCRIPTION	DATE
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2334 - THE NICKLAUS II - LH
 First Floor Plan

DRAWN BY:	00000000
CHECKED BY:	00000000
CURRENT REVISION DATE:	XX/XX/XXXX
SCALE:	1/8" = 1'-0"
SHEET:	2.1



SQUARE FOOTAGE HERITAGE EUROPEAN & FARMHOUSE	
	HEATED S.F.
FIRST FLOOR	971
SECOND FLOOR	0
FRONT PORCH	50
COVERED PORCH	120
GARAGE	42
TOTAL	2384
OPTIONS	
	UNHEATED S.F.
	HEATED S.F.



OPTIONAL 16' GARAGE DOOR
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

General Floor Plan Notes

- General Floor Plan Notes shall apply unless noted otherwise on plan.
- Wall Heights: Typically 10'-1 1/2' at finished second floor, and 11'-0" at finished first floor. Double top plates do not need to occur at Vertical other top floor for any space with heights are noted on plans where they occur.
- Wall Thickness is typically 4" at exterior walls, 3 1/2" at interior walls. All walls are to be finished to back to provide minimum 2" insulation. All wall high shall be framed with 2x6 framing or greater and shall be finished to a specific condition where it occurs on plan.
- Header height shall be 4'-0" AFF of First floor and 7'-6" AFF of Second Floor unless noted otherwise.
- Jacks: Openings to be 3'-4" wide and 10' (1) 2x4 Jacks and 2x6 on each side. Openings greater than 10' shall have (2) 2x6 Jacks and 2x4 on each side.
- Softs, Coffered Ceilings, Tray Ceilings and other significant ceiling plan elements are shown on the plan. All soffits shall be finished to a specific condition unless specifically called out as included, excluded, or finished.
- Doors & Window Frames, where occurring near corners shall be a minimum 6" from corner, and doors at closets shall be centered on closet.
- Windows: Shall have at least (1) window in each sleeping room that meets egress. Built-in accessories shall be finished to match the window frame. Floor windows shall be finished with obscure glazing.
- Closets for clothing or coat storage shall be finished with a minimum 6" from corner. If for linen shall have 5 wood shelves, painted.
- See the code and be 10" deep. There shall be a maximum of 7 1/2" - unless noted otherwise.
- Headsets and doors at stairs shall be 34" above finished floor. Handrails of landing and overlooks of multilevel spaces shall be 36" above finished floor. Guards shall be 42" above finished floor. The space between handrails shall be 4" between guards.
- Attic Access shall be provided at attic area with a height greater than 30". Minimum clear attic height shall be 6'-0" minimum. Attic access doors in knee walls meeting minimum criteria are also acceptable.
- Garage Door to Living Space shall be 2'-8" x 6'-8" minimum. Garage door shall be 20 minutes fire rated and weather sealed.
- Garage Walls, as a minimum, shall be separated from living space and living space attic by installing 1/2" gypsum board on the garage side of the wall.

General Floor Plan Notes

1. Wall heights: Typically 10'-1 1/2" at first floor and 9'-0" at second floor. All walls are constructed using a double top plate. Space of double top plate do not need to occur at vertical corners. Top plate do not need to occur at vertical corners of other top plate layer. Special wall heights are noted on plans where they occur.
2. Wall thickness is typically 4" of exterior walls, 3 1/2" for interior walls. All walls shall be back up to plumbing fixtures. With girths that 10" high shall be formed with 2x4 framing or greater and shall be attached to a structural member where it occurs on plan.
3. Header height shall be 8'-0" AFF of first floor and 7'-6" AFF of second floor unless noted otherwise.
4. Jack's Openings up to 3'-4" wide shall have (1) 2x4 post and girder on each side. Openings greater than 3'-4" wide shall have (2) 2x4 post and girder on each side.
5. Soffits, Coffered Ceilings, Tidy Ceilings and other significant ceiling plan elements are shown on the plan. All ceiling elements shall be noted on the plan. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinetery.
6. Door & Window Frames, where occurring near exterior walls, shall be noted on the plan. Except for walls in closets with doors near outside doors of closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each room. Windows shall be noted on the plan. Windows with tempered glass or hazardous glazing areas with tempered glass shall be installed with obscure glazing.
8. Closets for clothing or coat storage and be noted on the plan. Closets for linen shall have a open wire shelving. Closet for patios shall have 5" wood shelves, painted.
9. See heads shall be 10' deep, raise shall be a minimum of 7'-0" in, unless noted otherwise.
10. Headers and Joists shall be noted on the plan. Headers and Joists shall be 2" above finished floor level. Headers shall be noted on the plan. Headers of landing and overbooks of mullered (sticks or bolsters) shall be spaced with no more than 4" between joists.
11. AEC Access shall be provided of all attic area with 4" x 4" framing. Access shall be 20" x 30". Full down stairs and access doors in knee wall meeting minimum clearances are also indicated.
12. Garage door to living spaces shall be 2'-8" x 6'-8" minimum. Garage doors shall be noted on the plan and weather sealed.
13. Garage Walls, as a minimum, shall be as poured from living space and living space shall be installed 1/2" gypsum board on the garage side of the wall.



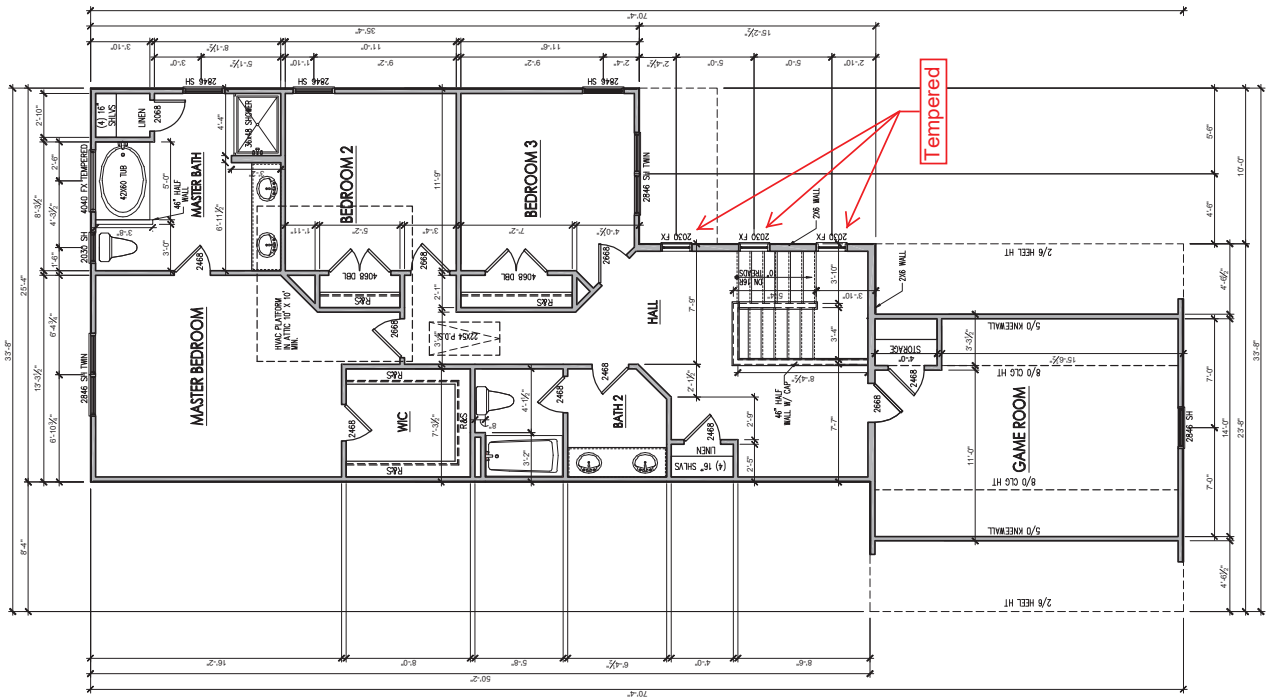
Wynn HOMES
 2557 Capitol Drive
 Suite 105
 Creedmoor, NC 27522
 919-526-1347

REV #	DATE	DESCRIPTION
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2334 - THE NICKLAUS II - LH
 Second Floor Plan

OWNER: SOUP DESIGN
 ISSUE DATE: 03/05/2017
 CURRENT REVISION DATE: XXXXXXXX

SCALE: 1/8" = 1'-0"
 SHEET: 2.2



SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0" ON 11X17, 1/4"=1'-0" ON 24X34



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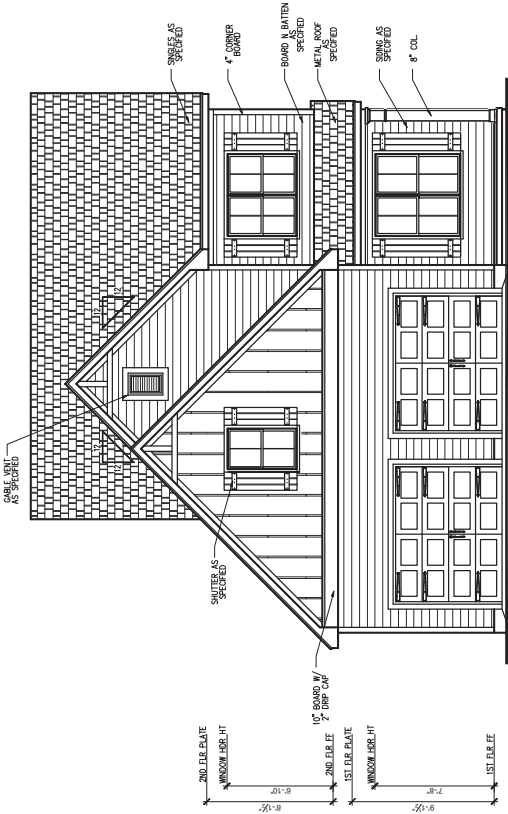
Wynn HOMES
 PROFESSIONAL HOME BUILDERS
 2550 Capital Drive
 Suite 105
 Creedmoor, NC 27522
 919-526-1347

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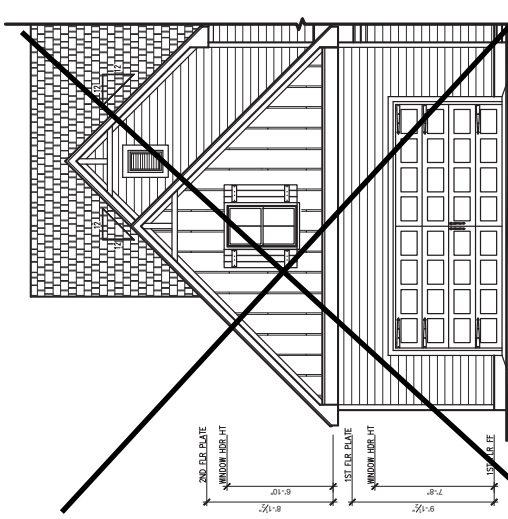
2334 - THE NICKLAUS II - LH
 Heritage Farmhouse Front & Right Elevations

OWNER: Soap Design
 ISSUE DATE: 05/05/2017
 CURRENT REVISION DATE: XXXXXXXX

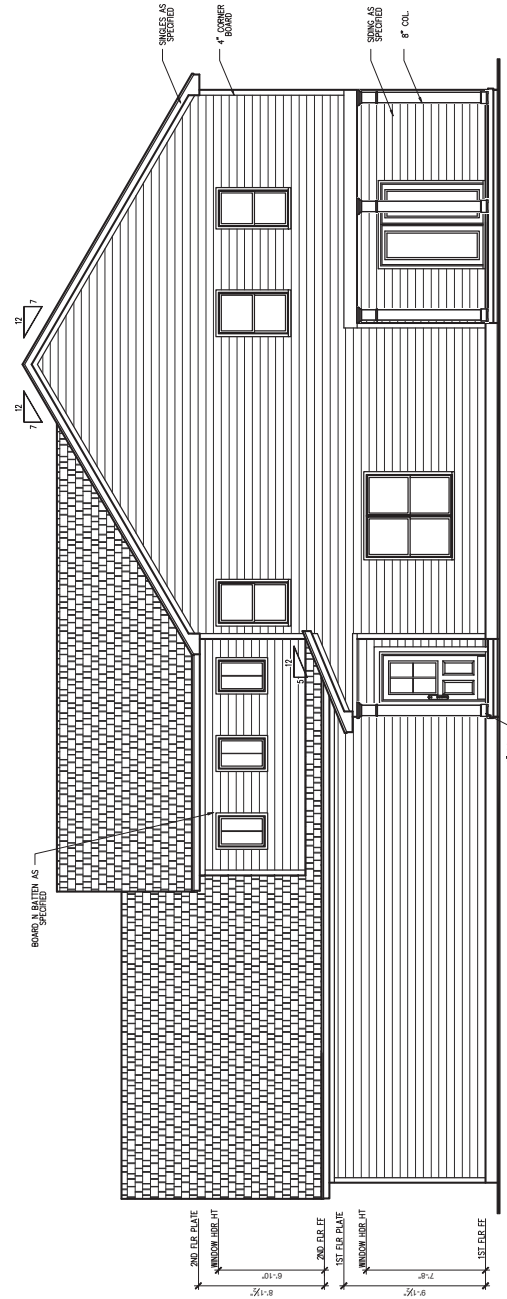
SCALE: 1/8" = 1'-0"
 SHEET: 3.B.0



FRONT ELEVATION - HERITAGE FARMHOUSE
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB



~~**FRONT ELEVATION - HERITAGE FARMHOUSE**
 SINGLE GARAGE DOOR OPTION
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB~~



RIGHT SIDE ELEVATION - HERITAGE FARMHOUSE
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB



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PROFESSIONAL REAL ESTATE
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REV.#	DESCRIPTION	DATE
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2334 - THE NICKLAUS II - LH
Heritage Farmhouse Left & Rear Elevations

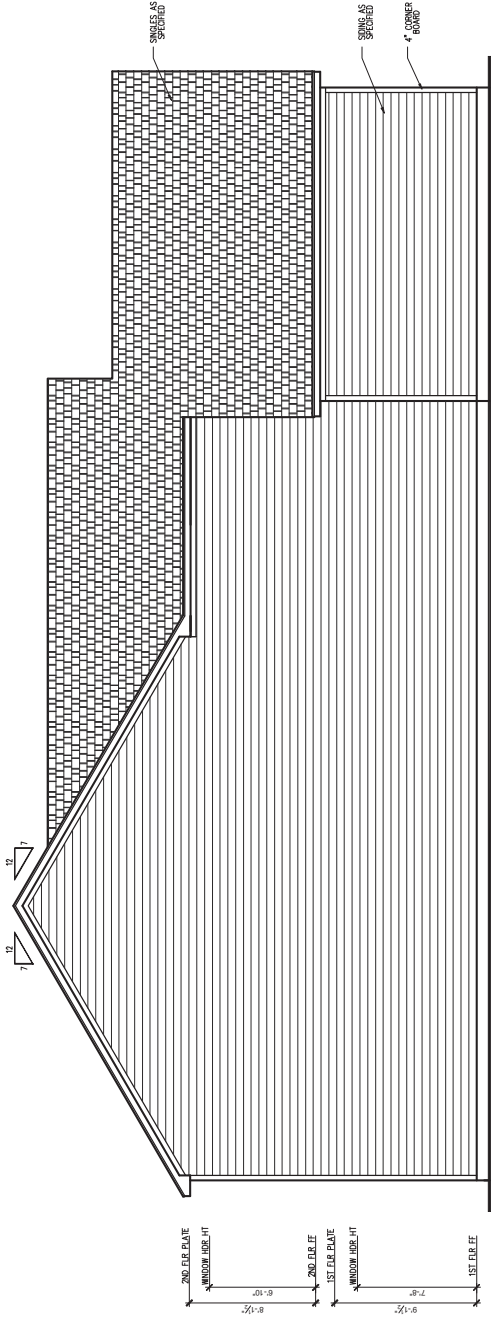
OWNER:
SOUTH DESIGNS

ISSUE DATE:
05/05/2017

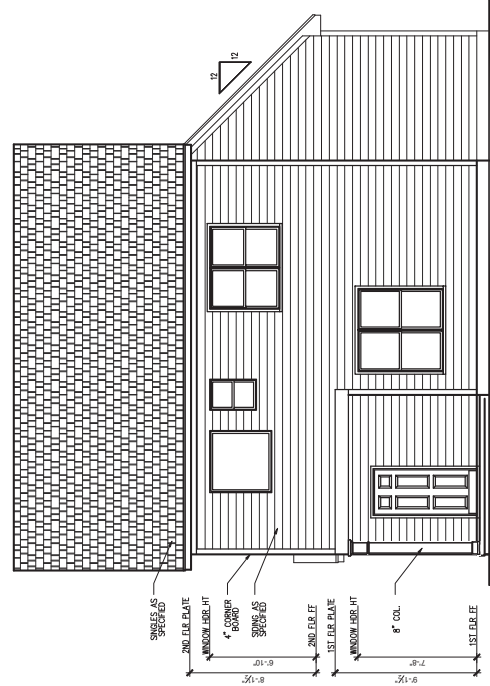
CURRENT REVISION/DRAWING:
XXXXXXXXXX

SCALE:
1/8" = 1'-0"

SHEET:
3.B.1



LEFT SIDE ELEVATION - HERITAGE FARMHOUSE
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7
MONOLITHIC SLAB



REAR ELEVATION - HERITAGE FARMHOUSE
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7
MONOLITHIC SLAB

*Engineers will have no liability for construction means, methods, materials, sequences, or timing. Any deviations or substitutions on plans are to be through the appropriate channels. Plans are to be through the appropriate channels. Plans are to be through the appropriate channels. Plans are to be through the appropriate channels.

TYNDALL
ENGINEERING & DESIGN, P.A.
10077-0000 - 2024-0000
3000 Pennsylvania Drive - Suite 100
Plymouth, PA 15002

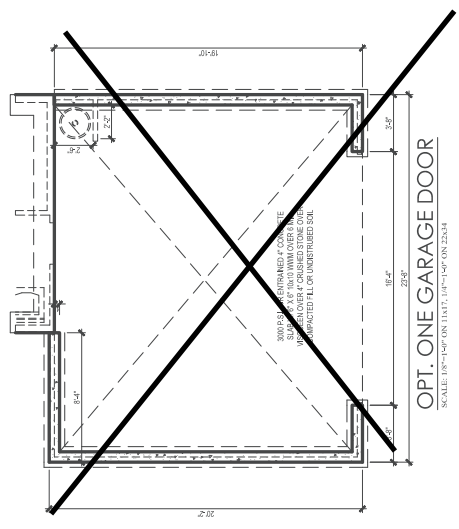
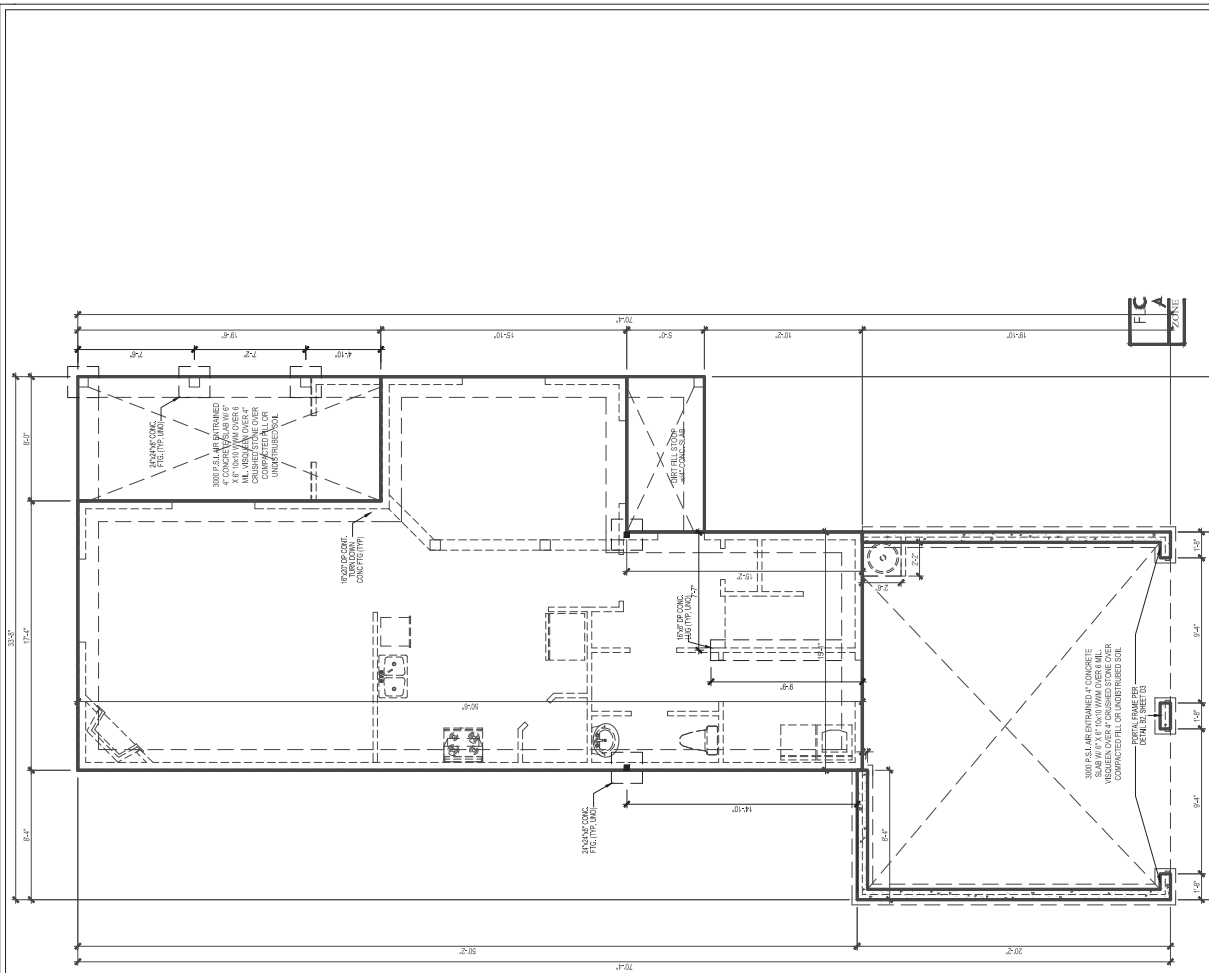


Client: WYNN HOMES
Plan: THE NICKLAUSI GARAGE LEFT



Project No.	1901070039	
Date	10/19/19	
Revised/By	RF	
Drawn/By	RF	
Scale	1/4" = 1'-0"	
Sheet	SET PLAN	
Revisions		
No.	Date	Remarks

Sheet Number: **S2**
2 of 4



*Excludes but does not include construction means, methods, techniques, sequences, etc. Any deviations or substitutions shall be approved in writing by the engineer. Plans are to be brought to the attention of the engineer by the contractor. Plans to be approved by the engineer shall be submitted to the engineer in accordance with the provisions of the contract documents. Plans to be approved by the engineer shall be submitted to the engineer in accordance with the provisions of the contract documents. Plans to be approved by the engineer shall be submitted to the engineer in accordance with the provisions of the contract documents.

TYNDALE
ENGINEERING & DESIGN, P.A.
10777-0000
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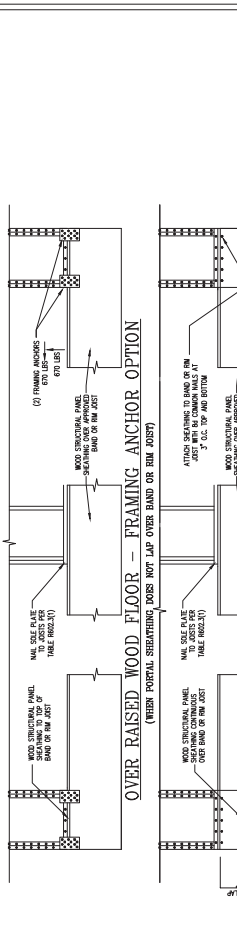
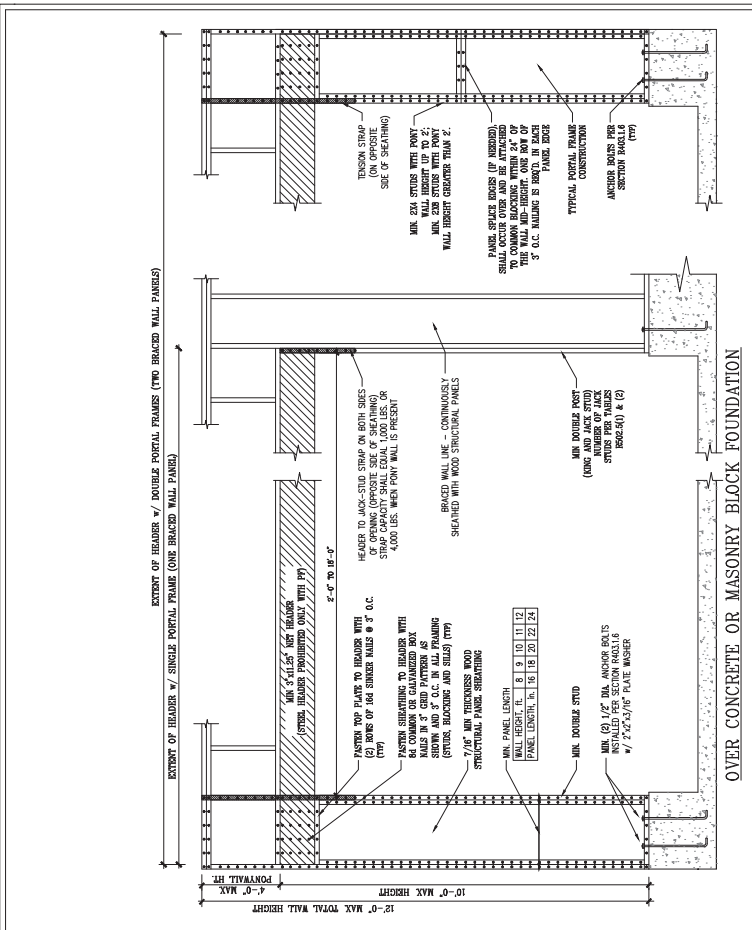


Client: WYNN HOMES
Plan: THE NICKLAUSI GARAGE LEFT

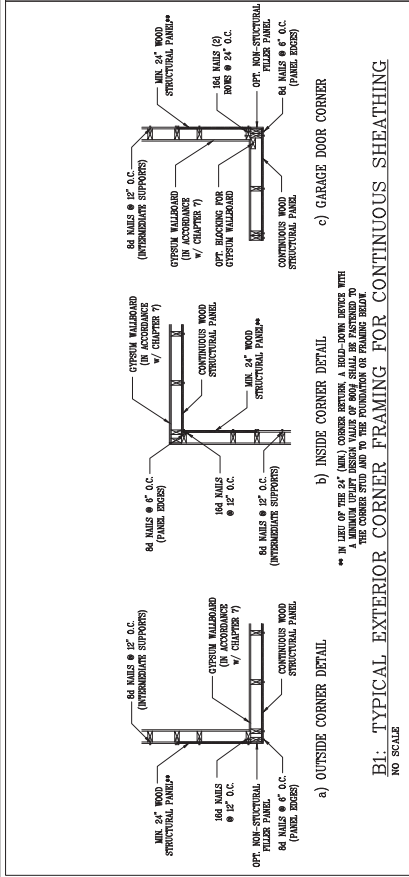


Project No.	1901101039	
Date	10/10/19	
Drawn/Checked By	ACS	
Project Name	PAT UNDERDECK	
Scale	NOT TO SCALE	
Revisions		
No.	Date	Remarks

Sheet Number: **D3**
3 of 3



B2: METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME
FIGURE B062.01



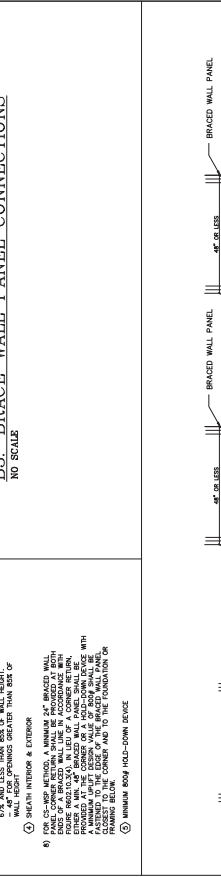
REQUIRED BRACED WALL PANEL CONNECTIONS

METHOD	MATERIAL	MIN. THICKNESS	MIN. PANEL DECS	REQUIRED CONNECTION
CS-RSP	WOOD STRUCTURAL PANEL	3/8"	64 COMMON NAILS @ 6" O.C.	64 COMMON NAILS @ 6" O.C.
CB	CYRUSIM BOARD	1/2"	54 DOUBLE NAIL*	54 DOUBLE NAIL*
RSP	WOOD STRUCTURAL PANEL	3/8"	64 COMMON NAILS @ 6" O.C.	64 COMMON NAILS @ 6" O.C.

*60% OVERLAP FOR PANEL JOISTS

B3: BRACE WALL PANEL CONNECTIONS
NO SCALE

1) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 2) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 3) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 4) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 5) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 6) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 7) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 8) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 9) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS. 10) 1/2" DIA. STEEL ROD WITH 1/2" DIA. WELDED WELLS AT EACH END TO BE EMBEDDED IN CONCRETE OR MASONRY AT INTERMEDIATE SUPPORTS.



B4: MASONRY STEM WALL SUPPORTING BRACED WALL PANELS
NOTE: BRACED WALL PANELS WHICH CONTAIN REBAR, THEREAD BOLTS AND ANCHOR BOLTS