

Carriage Circle 1165 - 100 Spruce Hollow Circle, Spring Lake, 28390

Harnett County

Created: 10/1/2020

BUILD PER PLAN



2550 Capitol Drive
Suite 105
Creedmoor, NC 27522
919-528-1347

2334

The Nicklaus II - LH



SQUARE FOOTAGE			
	HERITAGE EUROPEAN	HERITAGE FARMHOUSE	
	UNHEATED	HEATED	UNHEATED
FIRST FLOOR	0	0	0
SECOND FLOOR	0	133	0
REAR COVERED PORCH	0	0	0
FRONT PORCH	120	0	0
GARAGE	472	0	472
SUBTOTALS	642	2334	642
TOTAL UNDER ROOF	2976		2976

OPTIONS	
UNHEATED S.F.	HEATED S.F.
---	0
---	0
---	0
---	0
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REVISION LOG				
Rev	Description	Drawn By	Date	Engineering Required
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ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
2.1	First Floor Plan
2.2	Second Floor Plan
3.A.0	Heritage European Front & Rear Elevations
3.A.1	Heritage European Left & Right Elevations
3.A.2	Heritage European Roof Plan
3.B.0	Heritage Farmhouse Front & Rear Elevations
3.B.1	Heritage Farmhouse Left & Rear Elevations
3.B.2	Heritage Farmhouse Roof Plan
5.1.1	Crawl Foundation
5.1.2	Slab Foundation
5.2.1	Second Floor Framing
5.3.1	Attic Floor Framing
5.4.1	Roof Plan - Heritage European
5.4.2	Roof Plan - Heritage Farmhouse

2334 - THE NICKLAUS II - LH
Cover Sheet

DRAWN BY: Scott Dagna
ISSUE DATE: 03/05/2017
CURRENT REVISION DATE: XXXXXXXX
SCALE: 1/8" = 1'-0"
SHEET: 0.0



**SOUTH
DESIGNS**
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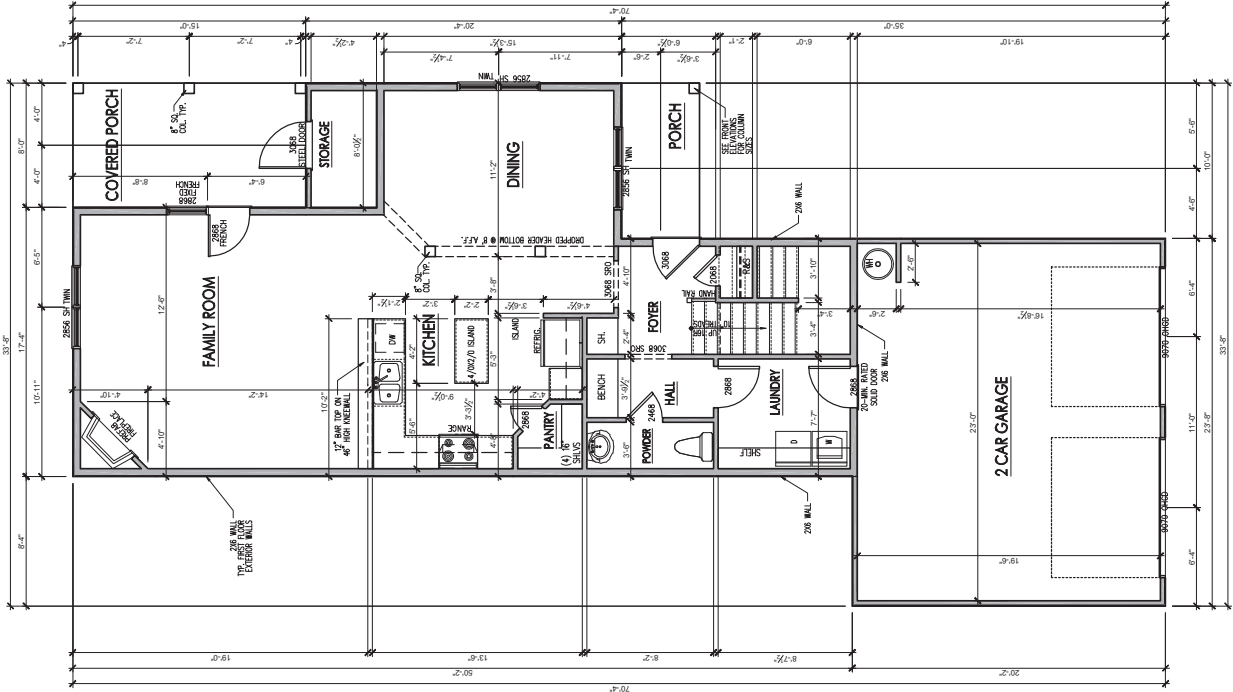
Wynn HOMES
2550 Capital Drive
Suite 105
Credmoor, NC 27522
919-528-1347

REV #	DESCRIPTION	DATE
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2334 - THE NICKLAUS II - LH
First Floor Plan

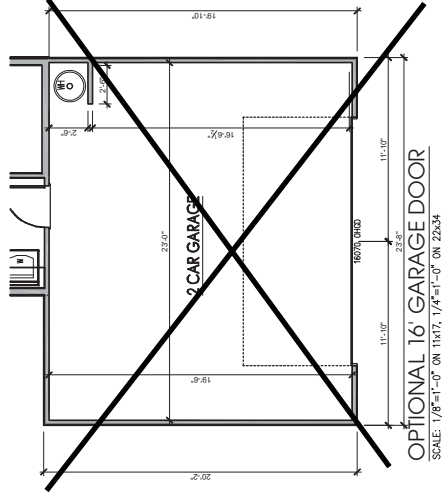
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SCALE: 1/8"=1'-0"
DATE: 08/02/2017

CURRENT REVISION DATE: [blank]
SCALE: 1/8"=1'-0"
SHEET: 2.1



SQUARE FOOTAGE HERITAGE EUROPEAN & FARMHOUSE	
UNHEATED S.F.	HEATED S.F.
FIRST FLOOR	971
SECOND FLOOR	0
FRONT PORCH	50
COVERED PORCH	120
GARAGE	42
TOTAL	2384

OPTIONS	
UNHEATED S.F.	HEATED S.F.



OPTIONAL 16' GARAGE DOOR
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

General Floor Plan Notes

- General Floor Plan Notes shall apply unless noted otherwise on plan.
- Wall Heights: Typically 10'-1 1/2' at first floor and second floor, and 11'-0" at third floor. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Headstuds shall be 2x4 or 2x6 unless noted otherwise.
- Joists: Openings to be 3'-4" wide and spaced 16" on center.
- Softs, Coffered Ceilings, Tray Ceilings and other significant ceiling plan elements are shown on the plan. All soffits shall be finished with 5/8" gypsum board. All interior walls shall be finished with 5/8" gypsum board. All exterior walls shall be finished with 1/2" gypsum board.
- Doors & Window Frames, where occurring near exterior walls, shall be minimum 1 3/8" thick. All exterior doors shall be finished with 1 3/8" thick. All exterior windows shall be finished with 1 3/8" thick. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Windows: Shall have at least (1) window in each sleeping room that meets egress. Shall be provided with minimum clear height of 20" above sill. All exterior windows shall be finished with 1 3/8" thick. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Closets for clothing or coat storage shall be provided with minimum clear height of 7'-6" and shall have 5 wood shelves, painted. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- See the code and be 10' deep. There shall be a maximum of 7'-6" unless noted otherwise.
- Headstuds and Joists at ends shall be 3x4 above openings. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Attic Access shall be provided at all attic areas with a height greater than 30". Minimum clear attic height shall be 7'-0" above finished floor. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Garage Door to Living Space shall be 2'-8" x 6'-8" minimum. All exterior walls shall be finished with 1/2" gypsum board. All interior walls shall be finished with 5/8" gypsum board.
- Garage Walls, as a minimum, shall be separated from living space and living space shall be finished with 1/2" gypsum board on the garage side of the wall.

General Floor Plan Notes

1. Wall heights: Typically 10'-1 1/2" at first floor and 9'-0" at second floor. All walls are constructed using a double top plate. Space of double top plate do not need to occur at vertical corners. Space of double top plate do not need to occur at other top plate layer. Special wall heights are noted on plans where they occur.
2. Wall thickness is typically 4" of exterior walls, 3 1/2" of interior walls. All walls are to be finished back up to plumbing fixtures. With grades that 10' high shall be finished with 2x6 framing or greater and shall be finished with 1/2" gypsum board on both sides on plan.
3. Header height shall be 8'-0" AFF of first floor and 7'-6" AFF of second floor unless noted otherwise.
4. Jack's Openings up to 3'-4" wide shall have (1) 2x4 post and girder on each side. Openings greater than 3'-4" wide shall have (2) 2x4 post and girder on each side. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinetery.
5. Soffits, Coffered Ceilings, Tidy Callings and other significant plan elements are shown on the floor plan. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinetery.
6. Door & Window Frames, where occurring near exterior walls, shall be finished with 1/2" gypsum board with tapered glass or insulating glass panels. Face windows shall be installed with obscure glazing.
7. Closets for clothing or coat storage and built-in wardrobes shall be finished with 1/2" gypsum board for linen that have a open wire shelves. Closet for pattern shall have 5" wood shelves, painted. Moment of 1/2" x 1" unless noted otherwise.
8. Handrails and Guardrails shall be 36" above finished floor and shall be finished with 1/2" gypsum board. Handrails of landing and overbooks of multilevel (stairs or balconies) shall be spaced with no more than 4" between guard.
9. A.B.C. Access shall be provided of all attic area with 30" minimum clear height. All doors shall be 20" x 30". Full down stairs and access doors to knee walk meeting minimum clearances are also acceptable.
10. Garage door to living spaces shall be 2'-8" x 6'-8" minimum. All doors shall be finished with 1/2" gypsum board and weather sealed.
11. Garage Walls, as a minimum, shall be as spaced from living space and living space shall be finished with 1/2" gypsum board on the garage side of the wall.



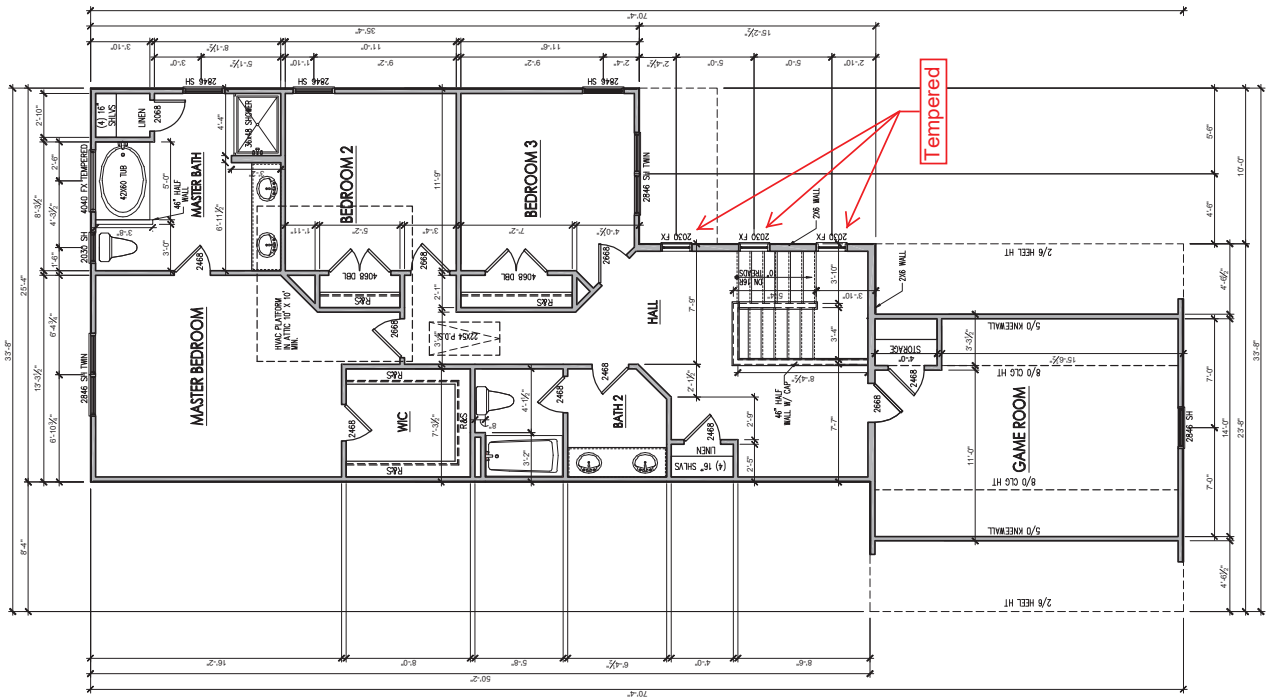
Wynn HOMES
 PROFESSIONAL & RESIDENTIAL
 2557 Capitol Drive
 Suite 105
 Creedmoor, NC 27522
 919-526-1347

REV #	DATE	DESCRIPTION
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2334 - THE NICKLAUS II - LH
 Second Floor Plan

OWNER: SOAP DESIGN
 ISSUE DATE: 03/05/2017
 CURRENT REVISION DATE: XXXXXXXX

SCALE: 1/8" = 1'-0"
 SHEET: 2.2



SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0" ON 11X17, 1/4"=1'-0" ON 24X34



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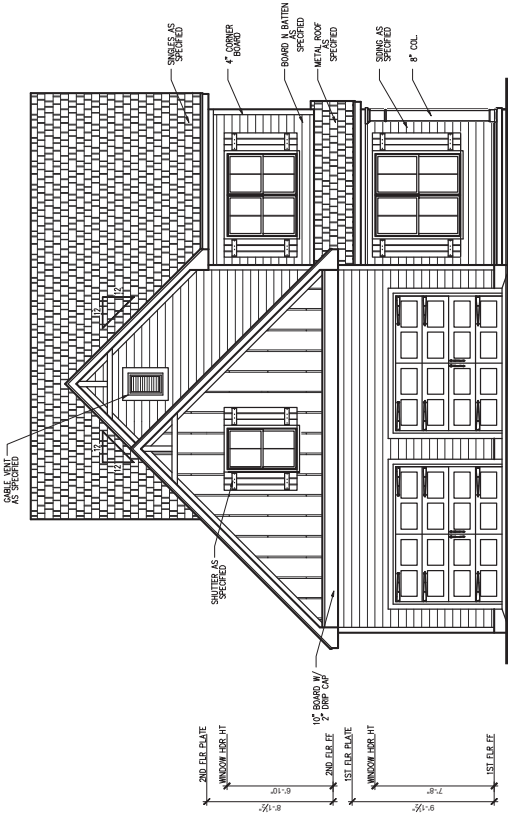
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2334 - THE NICKLAUS II - LH
 Heritage Farmhouse Front & Right Elevations

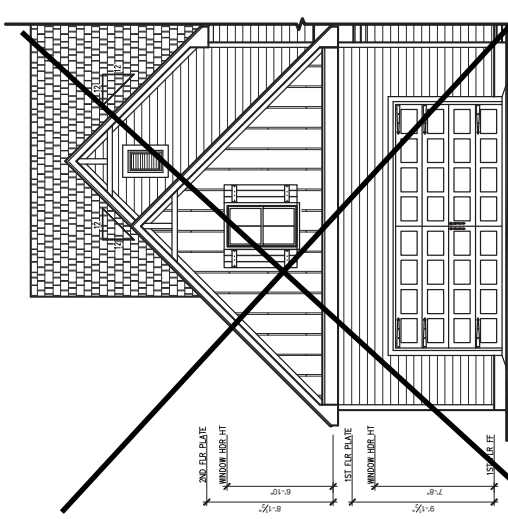
OWNER: Soap Design
 ISSUE DATE: 05/05/2017
 CURRENT REVISION DATE: XXXXXXXX

SCALE: 1/8" = 1'-0"

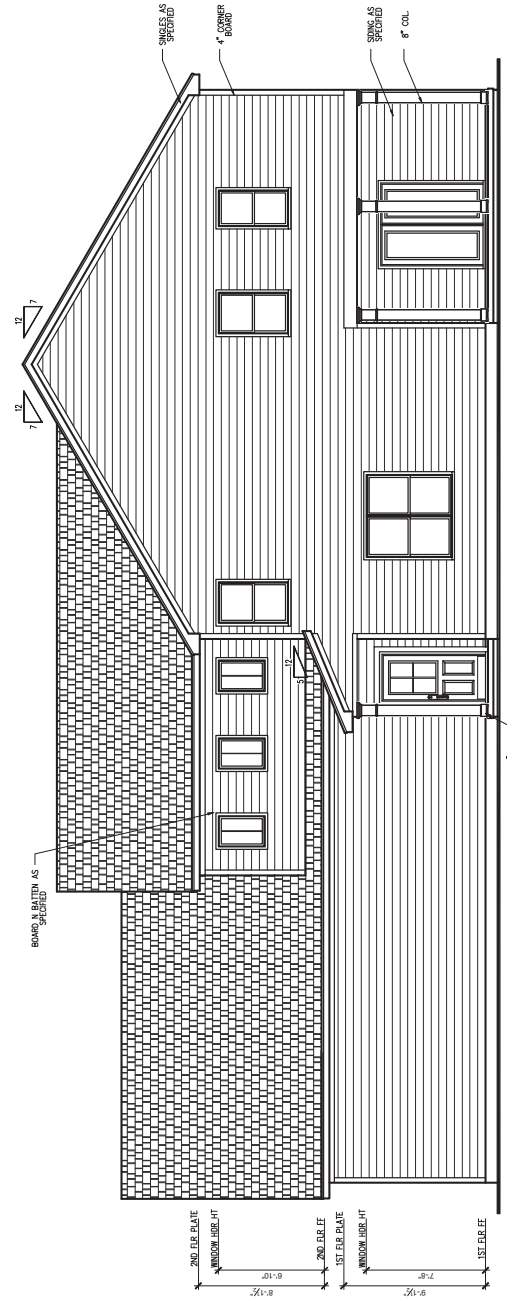
SHEET: 3.B.0



FRONT ELEVATION - HERITAGE FARMHOUSE
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB



~~**FRONT ELEVATION - HERITAGE FARMHOUSE**
 SINGLE GARAGE DOOR OPTION
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB~~



RIGHT SIDE ELEVATION - HERITAGE FARMHOUSE
 SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x17
 MONOLITHIC SLAB



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REV.#	DESCRIPTION	DATE
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2334 - THE NICKLAUS II - LH
Heritage Farmhouse Left & Rear Elevations

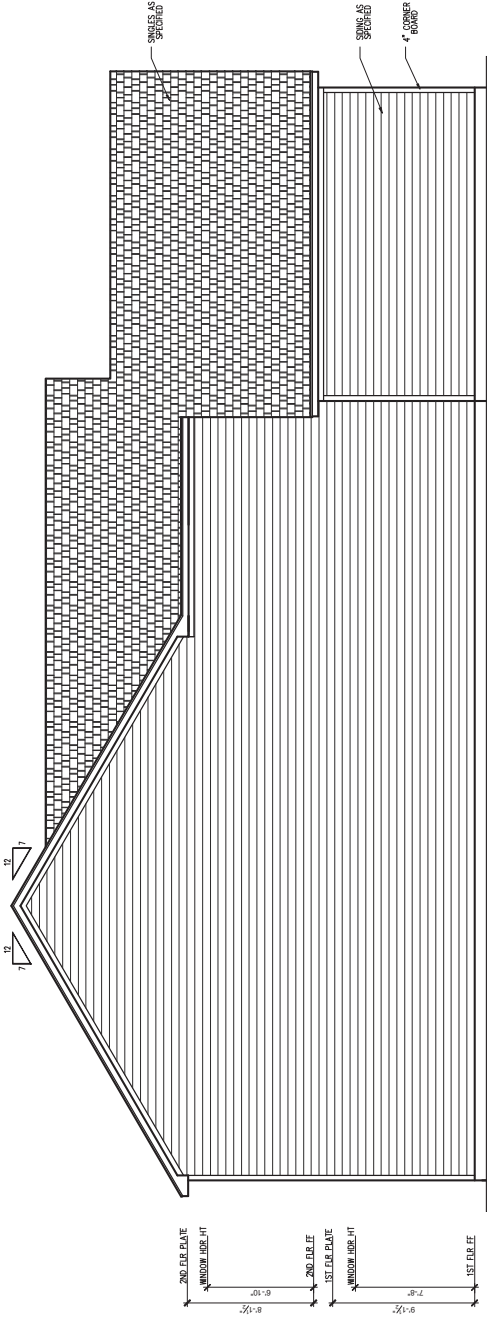
OWNER:
SOUTH DESIGNS

ISSUE DATE:
05/05/2017

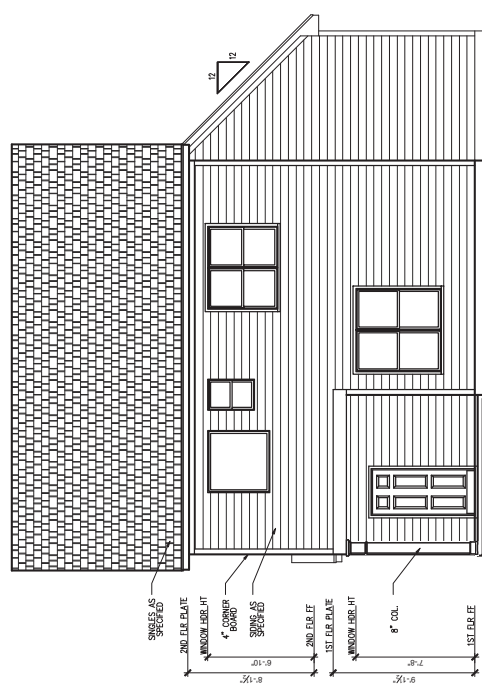
CURRENT REVISION/DRAWING:
XXXXXXXXXX

SCALE:
1/8" = 1'-0"

SHEET:
3.B.1



LEFT SIDE ELEVATION - HERITAGE FARMHOUSE
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7
MONOLITHIC SLAB



REAR ELEVATION - HERITAGE FARMHOUSE
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7
MONOLITHIC SLAB

*Engineers will issue and include construction means, methods, materials, sequences, etc. as part of the contract documents. Any deviations or discrepancies in plans are to be brought to the attention of the Engineer immediately. Plans are to be read in conjunction with the contract documents. Plans are to be read in conjunction with the contract documents. Plans are to be read in conjunction with the contract documents.

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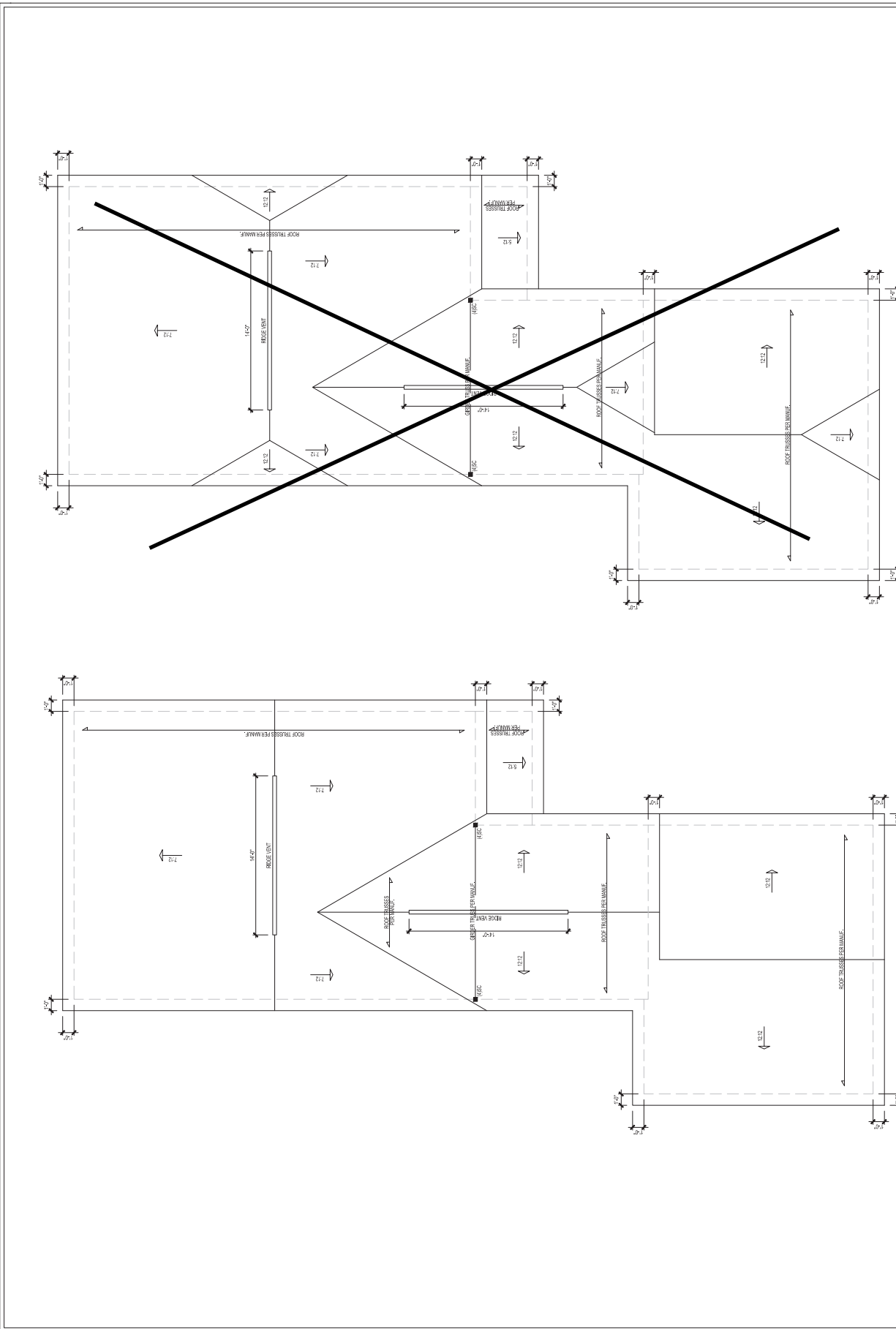


Client: WYNN HOMES
Plan: THE NICKLAUS II GARAGE LEFT



Project No.	19011710039
Date	11/19
Revised/By:	
RF	
PAV	
CHK	
SEF PLAN	

Sheet Number: **S4**
4 of 4



ROOF PLAN - EUROPEAN
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

ROOF PLAN - FARMHOUSE
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

Engineer has been provided construction means, methods, techniques, sequences, and timing of construction. Any deviations or substitutions shall be approved in writing by the Engineer. Plans are to be submitted to the appropriate authority for approval. Plans are to be submitted to the appropriate authority for approval. Plans are to be submitted to the appropriate authority for approval.

TYNDALL ENGINEERING & DESIGN, P.A. 1777 W. 11th Street, Suite 200, Phoenix, AZ 85002. T 602.998.8888. F 602.998.8889. www.tyndall.com

WYNN HOMES THE NICKLAUSI GARAGE LEFT

PROFESSIONAL SEAL PRENTICE A. TAYLOR, JR. 024809 ENGINEER IN CHARGE

Table with columns: NO., DATE, REVISIONS, REMARKS. Includes fields for PROJECT, DATE, DRAWING NO., SCALE, SHEET NO., TOTAL SHEETS.

Sheet Number: DI 1 of 3

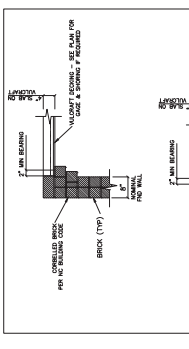
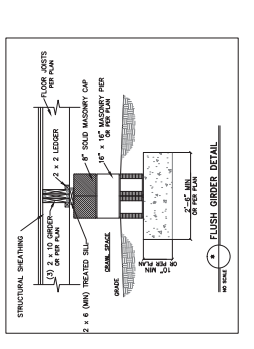
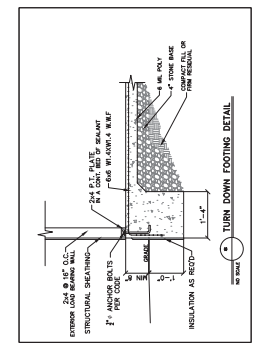
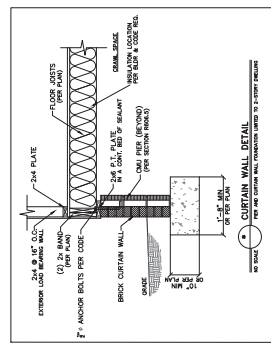
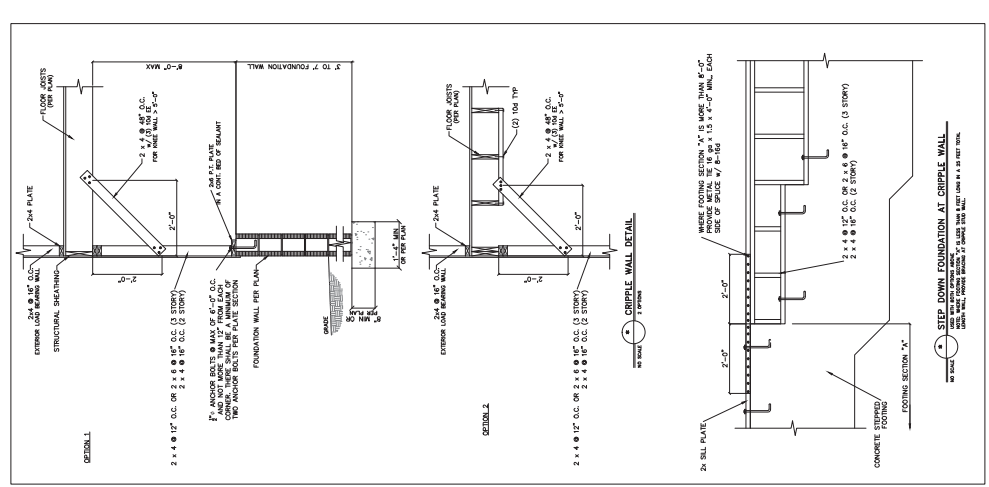
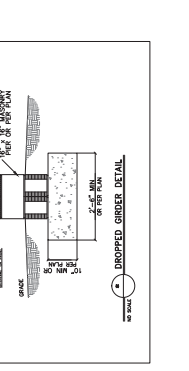
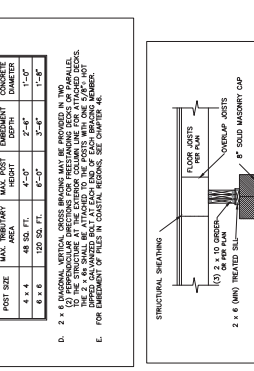


Table with columns: ALT. UNIT, MAX. VALUE, MINIMUM ABERRATIONS. Lists various units and their maximum values for common construction details.

- 1) MAXIMUM HEIGHT OF DECK SUPPORT POSTS AS FOLLOWS: Table with columns: POST SIZE, MAX. POST HEIGHT.
2) THIS TABLE IS BASED ON MAX. 2 TREATED LAGS PER JOIST...
3) DECK SHALL BE BRANDED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS...



1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
2) DESIGN LOADS: Table with columns: LIVE LOAD (PSF), DEAD LOAD (PSF), DEFLECTION. Lists design loads for various areas.
3) MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
4) GROUND BENEATH FOUNDATION SHALL BE 24" COMPRESSIVE STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES...

5) ALL FRAMING LAMBER SHALL BE 2X6 (OR 2X8 FOR 800 PSF BASED ON 24" O.C.) UNLESS OTHERWISE NOTED.
6) MAXIMUM DEPTH OF UNLINED FILL AGAINST FOUNDATION WALLS SHALL BE LESS THAN 4'-0" WITHOUT USING SUFICIENT WALL THICKNESS, TIE, AND UNLINED BLOCKED BRIDGE.
7) ALL LOAD BEARING EXTERIOR HEADERS SHALL BE AT LEAST (2) 2x6 (U.A.O.) REFER TO TABLE 1102.1(1) & (2) FOR JACK STUD AND JOIST SUPPORTS FROM BEAM SUPPORTS TO PERMISSIBLE SPANS AND BEAMS SHALL BE 2x10 (U.A.O.) FOR 800 PSF AND 2x12 (U.A.O.) FOR 1200 PSF UNLESS OTHERWISE NOTED.

Table 1102.1 CLIMATE ZONES 3-5-5. Table with columns: CLIMATE ZONE, WIND SPEED (MPH), FLOOR AREA (SQ. FT.), WIND EXPOSURE, WIND DIRECTION, WIND PERIOD, WIND EFFECTIVE PERIOD, WIND EFFECTIVE PERIOD, WIND EFFECTIVE PERIOD.

8) FLOOR FINISHES SHALL BE 1.5" THICK CONCRETE OR 1.5" THICK GYP-CORED CONCRETE OR 1.5" THICK GYP-CORED CONCRETE OR 1.5" THICK GYP-CORED CONCRETE...
9) WALL AND ROOF CLADDING VENTS SHALL BE PROVIDED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3'-11" AND FULL FLANGE WITH...
10) ALL LOAD BEARING EXTERIOR HEADERS SHALL BE AT LEAST (2) 2x6 (U.A.O.) REFER TO TABLE 1102.1(1) & (2) FOR JACK STUD AND JOIST SUPPORTS FROM BEAM SUPPORTS TO PERMISSIBLE SPANS AND BEAMS SHALL BE 2x10 (U.A.O.) FOR 800 PSF AND 2x12 (U.A.O.) FOR 1200 PSF UNLESS OTHERWISE NOTED.

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11) FOUNDATION DRAINAGE-CAMP PROTECT UNDER FOOTING AND AT EACH END OF THE WALL.
12) WALL AND ROOF CLADDING VENTS SHALL BE PROVIDED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3'-11" AND FULL FLANGE WITH...
13) FOR ROOF SLOPES FROM 2/12 THROUGH 4/12, RAISER TO INSTALL 2 LAYERS OF 15# FIBER PAPER.

*Figures and notes are not to be construed as a contract. They are for reference only. All dimensions are in feet and inches unless otherwise specified. Any dimensions in parentheses are for information only. Plans are to be drawn by the contractor. Plans are to be drawn by the contractor. Plans are to be drawn by the contractor. Plans are to be drawn by the contractor.

TYPDALL
ENGINEERING & DESIGN, P.A.
10778 Lehigh Valley Blvd.
Lehigh Valley, PA 18018



CLIENT:
WYNN HOMES

PLAN:
THE NICKLAUSI
GARAGE LEFT



PROJECT: 19011010039

DATE: 10/20/19

DESIGNED BY: []

AC'S: []

CHECKED BY: []

DATE: []

SCALE: NOT TO SCALE

REVISIONS:

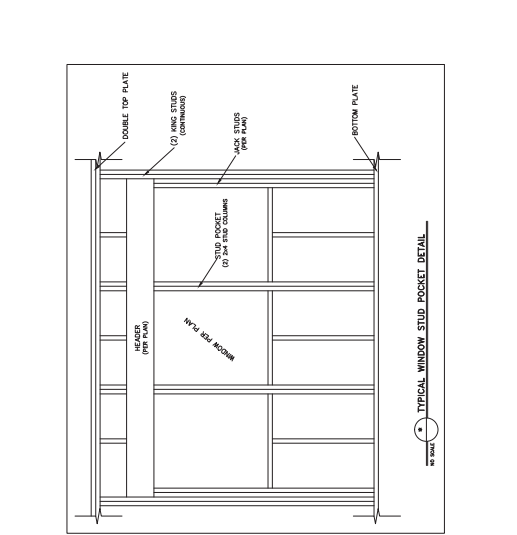
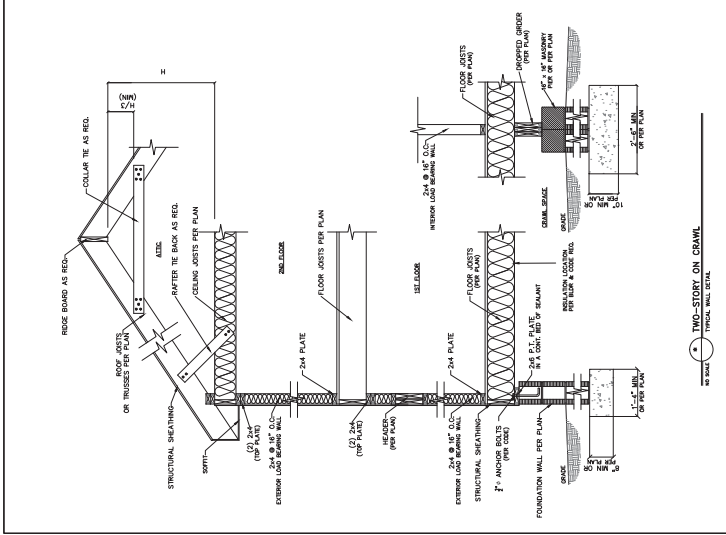
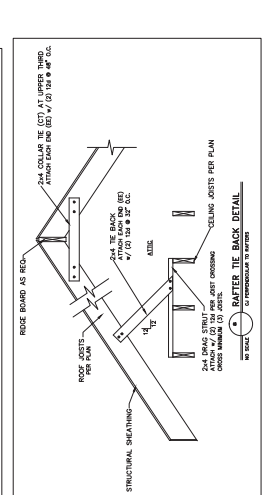
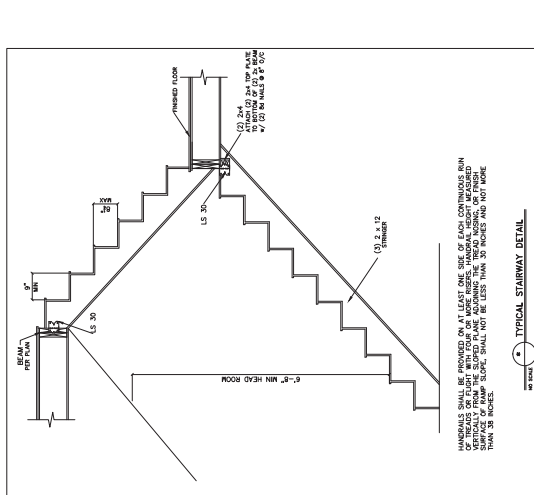
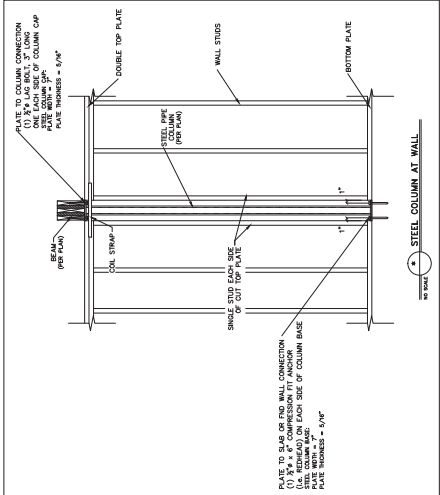
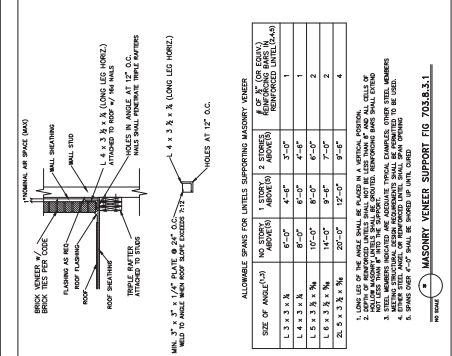
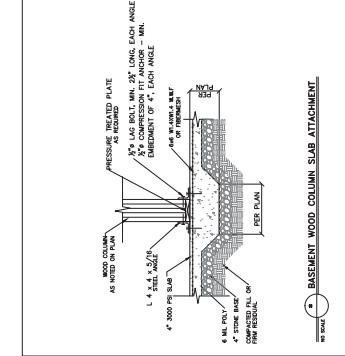
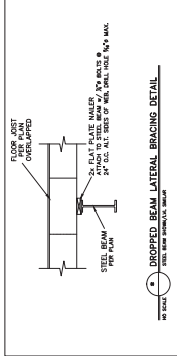
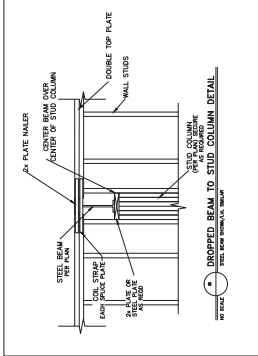
NO.	DATE	REVISIONS	REMARKS

SHEET NUMBER:
D2

2 of 3

HARDWARE CROSS-REFERENCE CHART

PRODUCT NUMBER	DESCRIPTION
MS1	MASONRY WALL BOARD
MS2	WOOD STRUCTURAL PANEL
MS3	WOOD JOIST
MS4	WOOD STUD
MS5	WOOD ANGLE
MS6	WOOD BRACKET
MS7	WOOD TRUSS
MS8	WOOD GIRDER
MS9	WOOD BEAM
MS10	WOOD COLUMN
MS11	WOOD POST
MS12	WOOD JOIST
MS13	WOOD STUD
MS14	WOOD ANGLE
MS15	WOOD BRACKET
MS16	WOOD TRUSS
MS17	WOOD GIRDER
MS18	WOOD BEAM
MS19	WOOD COLUMN
MS20	WOOD POST
MS21	WOOD JOIST
MS22	WOOD STUD
MS23	WOOD ANGLE
MS24	WOOD BRACKET
MS25	WOOD TRUSS
MS26	WOOD GIRDER
MS27	WOOD BEAM
MS28	WOOD COLUMN
MS29	WOOD POST
MS30	WOOD JOIST
MS31	WOOD STUD
MS32	WOOD ANGLE
MS33	WOOD BRACKET
MS34	WOOD TRUSS
MS35	WOOD GIRDER
MS36	WOOD BEAM
MS37	WOOD COLUMN
MS38	WOOD POST
MS39	WOOD JOIST
MS40	WOOD STUD
MS41	WOOD ANGLE
MS42	WOOD BRACKET
MS43	WOOD TRUSS
MS44	WOOD GIRDER
MS45	WOOD BEAM
MS46	WOOD COLUMN
MS47	WOOD POST
MS48	WOOD JOIST
MS49	WOOD STUD
MS50	WOOD ANGLE
MS51	WOOD BRACKET
MS52	WOOD TRUSS
MS53	WOOD GIRDER
MS54	WOOD BEAM
MS55	WOOD COLUMN
MS56	WOOD POST
MS57	WOOD JOIST
MS58	WOOD STUD
MS59	WOOD ANGLE
MS60	WOOD BRACKET
MS61	WOOD TRUSS
MS62	WOOD GIRDER
MS63	WOOD BEAM
MS64	WOOD COLUMN
MS65	WOOD POST
MS66	WOOD JOIST
MS67	WOOD STUD
MS68	WOOD ANGLE
MS69	WOOD BRACKET
MS70	WOOD TRUSS
MS71	WOOD GIRDER
MS72	WOOD BEAM
MS73	WOOD COLUMN
MS74	WOOD POST
MS75	WOOD JOIST
MS76	WOOD STUD
MS77	WOOD ANGLE
MS78	WOOD BRACKET
MS79	WOOD TRUSS
MS80	WOOD GIRDER
MS81	WOOD BEAM
MS82	WOOD COLUMN
MS83	WOOD POST
MS84	WOOD JOIST
MS85	WOOD STUD
MS86	WOOD ANGLE
MS87	WOOD BRACKET
MS88	WOOD TRUSS
MS89	WOOD GIRDER
MS90	WOOD BEAM
MS91	WOOD COLUMN
MS92	WOOD POST
MS93	WOOD JOIST
MS94	WOOD STUD
MS95	WOOD ANGLE
MS96	WOOD BRACKET
MS97	WOOD TRUSS
MS98	WOOD GIRDER
MS99	WOOD BEAM
MS100	WOOD COLUMN



- 1) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)
- 2) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)
- 3) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)
- 4) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 5) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3
- 6) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3
- 7) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 8) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3
- 9) EXTERIOR BRACED WALL PANELS (BWP) SHALL BE PROVIDED WITH ANCHOR BOLTS AND WOOD STRAPS AS SHOWN IN SECTION 10002.11 (UNTYPED) TO BE ATTACHED TO THE EXISTING CONCRETE FOUNDATION AT INTERMEDIATE SUPPORTS.
- 10) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 11) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 12) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 13) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 14) INTERMEDIATE SIZES OF THE JOIST NO. 12
- 15) INTERMEDIATE SIZES OF THE JOIST NO. 12

STRUCTURAL SHEATHING NOTES

1) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)

2) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)

3) 2x8 WOOD STUDS AT 12" O.C. (INTERMEDIATE SUPPORTS)

4) INTERMEDIATE SIZES OF THE JOIST NO. 12

5) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3

6) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3

7) INTERMEDIATE SIZES OF THE JOIST NO. 12

8) JOISTS SHALL BE PRELIMINARILY CHECKED FOR DEFLECTION AS PER METHOD NO. 3

9) EXTERIOR BRACED WALL PANELS (BWP) SHALL BE PROVIDED WITH ANCHOR BOLTS AND WOOD STRAPS AS SHOWN IN SECTION 10002.11 (UNTYPED) TO BE ATTACHED TO THE EXISTING CONCRETE FOUNDATION AT INTERMEDIATE SUPPORTS.

10) INTERMEDIATE SIZES OF THE JOIST NO. 12

11) INTERMEDIATE SIZES OF THE JOIST NO. 12

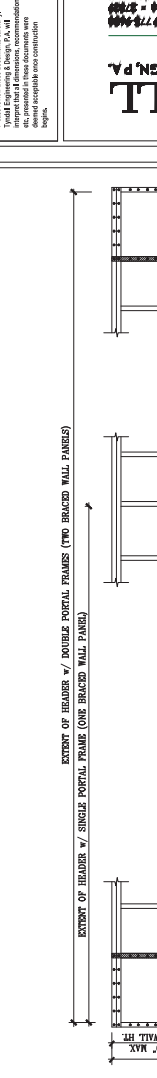
12) INTERMEDIATE SIZES OF THE JOIST NO. 12

13) INTERMEDIATE SIZES OF THE JOIST NO. 12

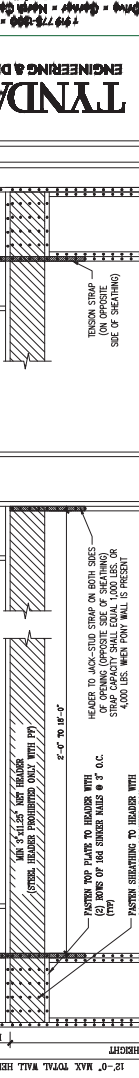
14) INTERMEDIATE SIZES OF THE JOIST NO. 12

15) INTERMEDIATE SIZES OF THE JOIST NO. 12

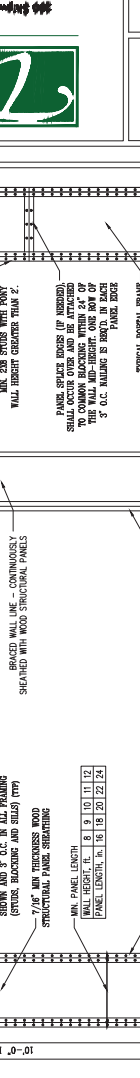
B1: TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING
NO SCALE



B2: BRACE WALL PANEL CONNECTIONS
NO SCALE



B3: MASONRY STEM WALL SUPPORTING BRACED WALL PANELS
NOTE: BWP'S WHICH CONTAIN REBAR, THEROIDS AND ANCHOR BOLTS



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PROFESSIONAL SEAL

PREMISE A ENGINEER

024899

1501

Client: WYNN HOMES

Plan: THE NICKLAUSH GARAGE LEFT

Scale: NOT TO SCALE

Revisions:

No.	Date	Remarks

Sheet Number: **D3**

3 of 3

- REVISIONS**
- | No. | Date | Remarks |
|-----|------|---------|
| | | |
- Scale:** NOT TO SCALE

Client: WYNN HOMES

Plan: THE NICKLAUSH GARAGE LEFT

Scale: NOT TO SCALE

Revisions:

No.	Date	Remarks

Sheet Number: **D3**

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