

**BUILD PER PLAN**



2550 Capitol Drive  
 Suite 105  
 Creedmoor, NC 27522  
 919-528-1347

# 2334 The Nicklaus II - LH



**Wynn HOMES**  
 PROFESSIONAL HOME BUILDERS  
 2550 Capitol Drive  
 Suite 105  
 Creedmoor, NC 27522  
 919-528-1347

	HERITAGE EUROPEAN			HERITAGE FARMHOUSE		
	UNHEATED	HEATED	HEATED	UNHEATED	HEATED	HEATED
FIRST FLOOR	0	133	0	0	91	0
SECOND FLOOR	0	133	0	0	133	0
<b>REAR COVERED PORCH</b>	0	0	0	0	0	0
FRONT PORCH	120	0	0	120	0	0
GARAGE	472	0	0	472	0	0
SUBTOTALS	642	2334	642	642	2334	2334
TOTAL UNDER ROOF	2976			2976		

	OPTIONS	
	UNHEATED S.F.	HEATED S.F.
---	0	0
---	0	0
---	0	0
---	0	0
---	0	0
---	0	0
---	0	0
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REVISION LOG					
Rev.	Description	Drawn By	Date	Sheets Affected	Engineering Required
1					
2					
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23					
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25					

ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
2.1	First Floor Plan
2.2	Second Floor Plan
3.A.0	Heritage European Front & Rear Elevations
3.A.1	Heritage European Left & Right Elevations
3.A.2	Heritage European Roof Plan
3.B.0	Heritage Farmhouse Front & Right Elevations
3.B.1	Heritage Farmhouse Left & Rear Elevations
3.B.2	Heritage Farmhouse Roof Plan
5.1.1	Crawl Foundation
5.1.2	Slab Foundation
5.2.1	Second Floor Framing
5.3.1	Attic Floor Framing
5.4.1	Roof Plan - Heritage European
5.4.2	Roof Plan - Heritage Farmhouse

2334 - THE NICKLAUS II - LH

Cover Sheet

DRAWN BY: South Designs  
 ISSUE DATE: 03/05/2017  
 CURRENT REVISION DATE: XXXXXXXX  
 SCALE: 1/8" = 1'-0"  
 SHEET: 0.0



**SOUTH DESIGNS**  
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 (919) 556-2238  
 www.southdesigns.com



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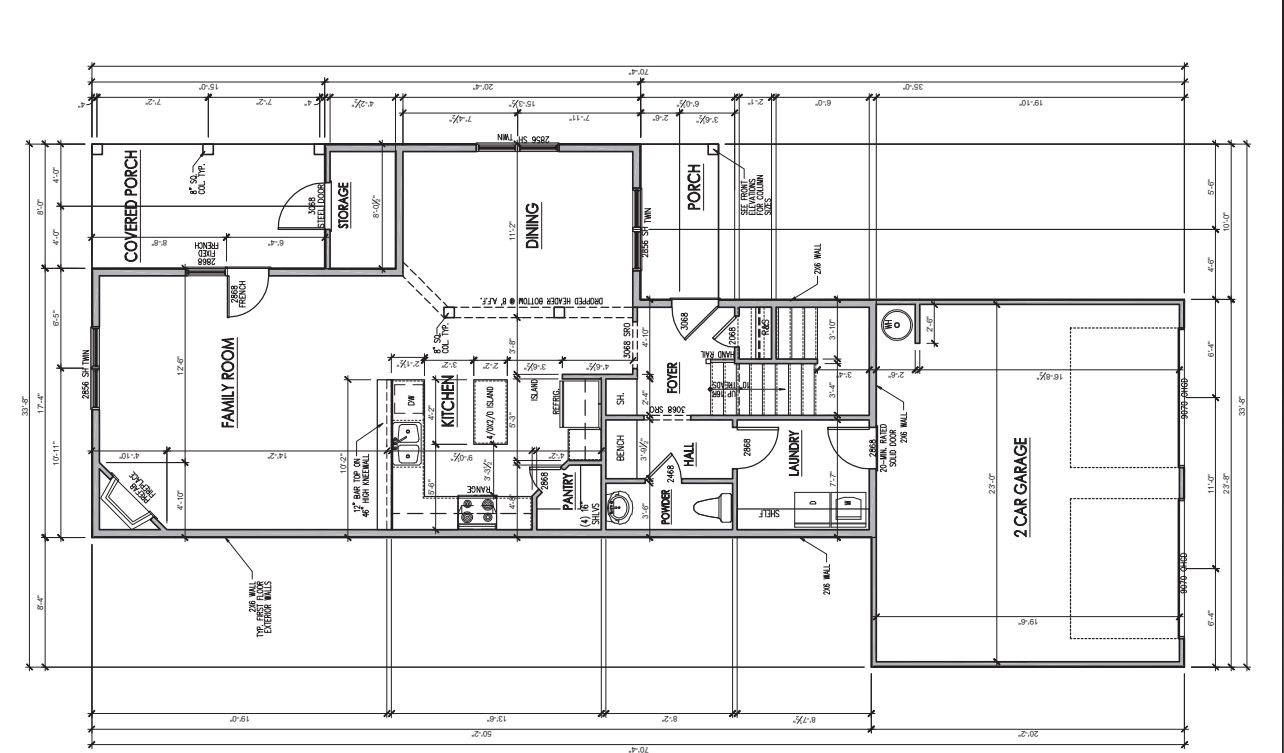
REV #	DESCRIPTION	DATE
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2334 - THE NICKLAUS II - LH  
 First Floor Plan

DRAWN BY: [Blank]  
 CHECKED BY: [Blank]  
 ISSUE DATE: 09/23/2017  
 CURRENT REVISION DATE: [Blank]

SCALE: [Blank]  
 1/8" = 1'-0"  
 1/4" = 1'-0"

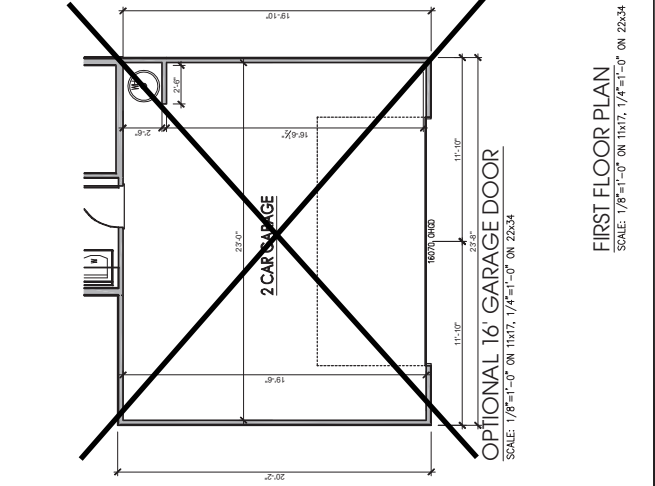
2.1  
 SHEET



	UNHEATED S.F.	HEATED S.F.
FIRST FLOOR	0	971
SECOND FLOOR	0	1533
FRONT PORCH	50	0
COVERED PORCH	120	0
GARAGE	422	0
TOTAL	642	2334

	UNHEATED S.F.	HEATED S.F.



**OPTIONAL 16' GARAGE DOOR**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**General Floor Plan Notes**  
 General Floor Plan Notes shall apply unless noted otherwise on plan.

- Wall Height: Typically 10'-1 1/2' at finished and second floor, and 9'-10" at finished on first floor. Double Top Plates do not need to occur at Vertical Core Line for exterior walls. Space heights are noted on plans where they occur.
- Wall Thickness is typically 4" at exterior walls, 3 1/2" at interior walls. All wall openings shall be 2" above the top of the framing. The top edge of the framing shall be 2" above the top of the framing. All openings shall be 2" above the top of the framing. All openings shall be 2" above the top of the framing.
- Header height shall be 4'-0" AFD of first floor and 7'-6" AFD of second floor unless noted otherwise.
- Jacks: Openings to 3'-4" wide shall have (1) 2x4 jack and stiff on each side. Openings greater than 3'-4" wide shall have (2) 2x6 jacks, stiff on each side.
- Softs, Coffered Ceilings, Tray Ceilings and other Applique ceiling plan elements are shown on the plan for informational purposes only. They are not included unless specifically called out as included. Abbreviations include soffit over wall cavity.
- Door & Window Frames, where occurring near corners, shall be minimum 10' from corner. Corner doors at closets shall be centered on closet.
- Windows: Shall have at least (1) window in each sleeping room that meets egress. Built-in egress windows shall have minimum height 20" above floor. Floor windows shall be installed at 48" above going.
- Closets for clothing or coat storage shall be built-in with a minimum floor-to-ceiling height. The closet door shall have a 5 wood shelve, painted. See the code and be 10" deep. There shall be a maximum of 75/8", unless noted otherwise.
- Headsets and Guards at stairs shall be 34" above finished floor and shall be 4" above finished floor. Handrails of landing and overalls of multiple level stairs shall be 36" above finished floor. Guards shall be 36" above finished floor. Guards shall be 36" above finished floor. Guards shall be 36" above finished floor.
- Attic Access shall be provided at all attic areas with a height greater than 30". Minimum clear attic height shall be 7'-6". Minimum clear attic height shall be 7'-6". Minimum clear attic height shall be 7'-6".
- Garage Door to Living Space shall be 2'-8" x 6'-8" minimum height. Garage doors shall be 20 minutes fire rated and weather sealed.
- Garage Walls, as a minimum, shall be separated from living space and living space attic by installing 1/2" gypsum board on the garage side of the wall.

**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall heights: Typically 10'-1 1/2" at first floor and 9'-0" at second floor. All walls shall be constructed using a double top plate. Space of double top plate shall be noted on all vertical walls. Top plate shall be noted on all other top floor walls. Special wall heights are noted on plans where they occur.
2. Wall thickness is typically 4" of exterior walls, 3 1/2" for interior walls. All walls shall be back up to plumbing fixtures. Wall girths that 10" high shall be formed with 2x4 framing or greater and shall be noted on all exterior walls where it occurs on plan.
3. Header height shall be 8'-0" AFF of first floor and 7'-6" AFF of second floor unless noted otherwise.
4. Jack's Openings up to 3'-4" wide shall have (1) 2x4 post and girder on each side. Openings greater than 3'-4" wide shall have (2) 2x4 post and girder on each side. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinetery.
5. Soffits, Coffered Ceilings, Tidy Callings and other significant plan elements are shown on the plan. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinetery.
6. Door & Window Frames, where occurring near exterior walls, shall be noted on plan. Except for walls in closets with doors near outside doors of closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each room. Windows shall be noted on plan. Windows shall be noted on plan with temporary glass or glazing area. Floor windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage and built-in closets shall be noted on plan. Closets for linen shall have a open wire shelving. Closets for pantries shall have 5" wood shelves, painted.
9. Door heads shall be 10' deep. Uses shall be a minimum of 1 3/4" unless noted otherwise.
10. Headers and doors shall be noted on plan. Headers and doors shall be noted on plan. Headers of loadings and overbooks of mullered (sticks or bolsters) shall be spaced with no more than 4" between girders.
11. AEC Access shall be provided of all attic areas with 4" x 4" framing. Access shall be noted on plan. Access doors shall be 20' x 30". Full down stairs and access doors shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan.
12. Garage door to living spaces shall be 2'-8" x 6'-8" minimum. Access shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan.
13. Garage Walls, as a minimum, shall be as spaced from living space and living space shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan. Access doors shall be noted on plan.



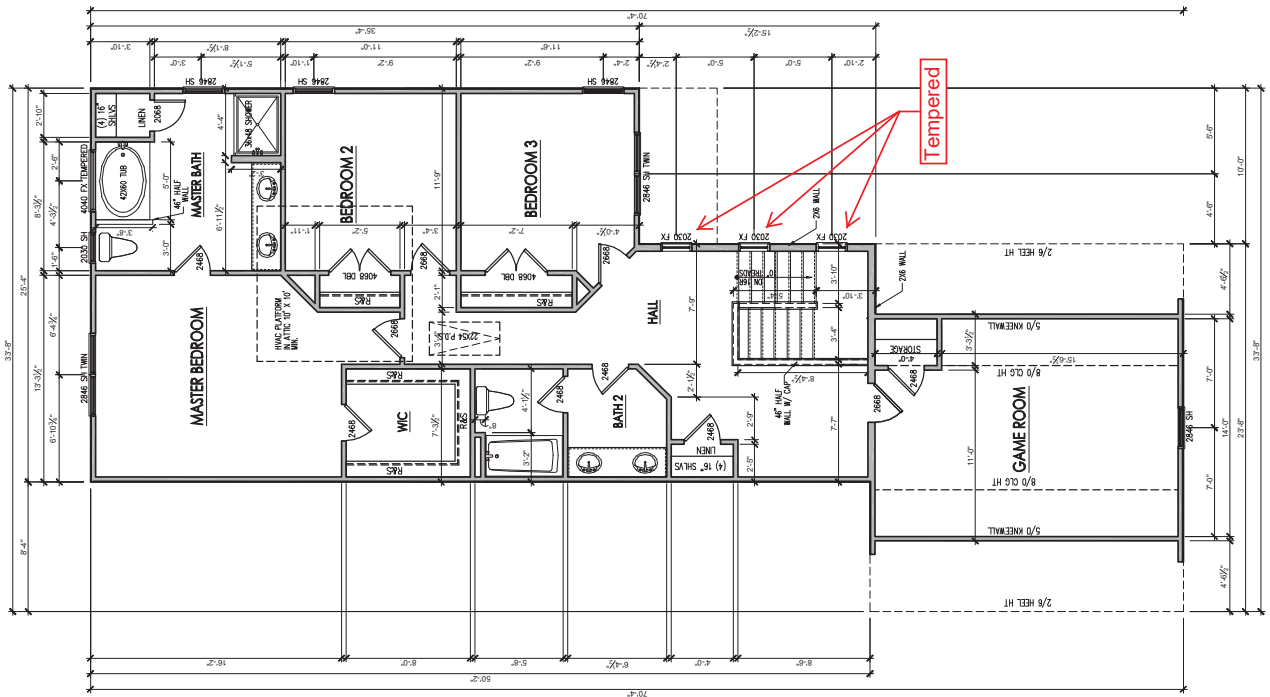
**Wynn HOMES**  
 2557 Capitol Drive  
 Suite 105  
 Creedmoor, NC 27522  
 919-526-1347

REV #	DATE	DESCRIPTION
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**2334 - THE NICKLAUS II - LH**  
 Second Floor Plan

OWNER: [REDACTED]  
 SOUP DESIGN  
 ISSUE DATE: 03/05/2017  
 CURRENT REVISION DATE: XXXXXXXX

SCALE: 1/8" = 1'-0"  
 SHEET: 2.2



**SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0" ON 11X17, 1/4"=1'-0" ON 24X34



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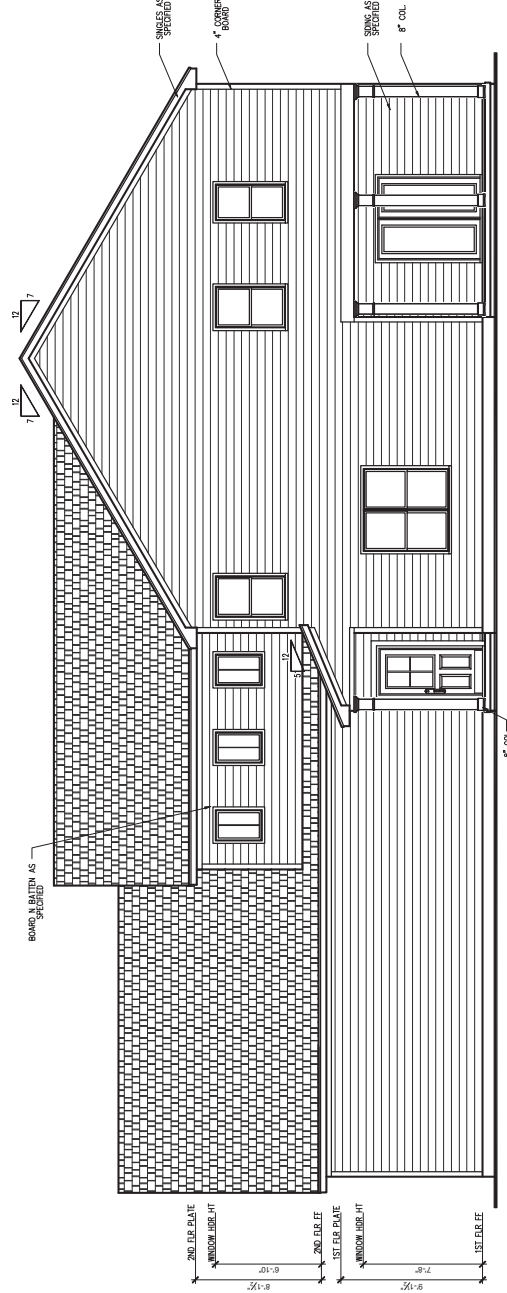
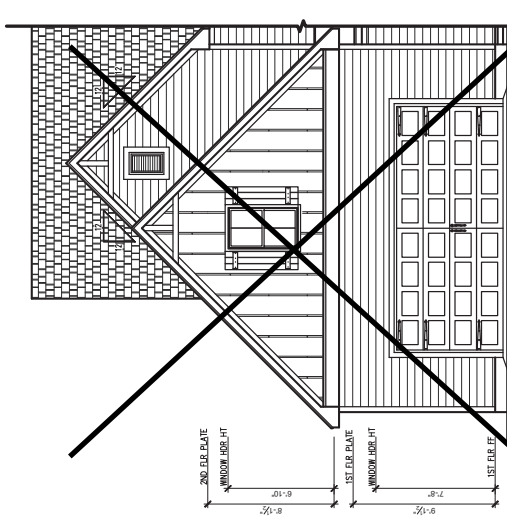
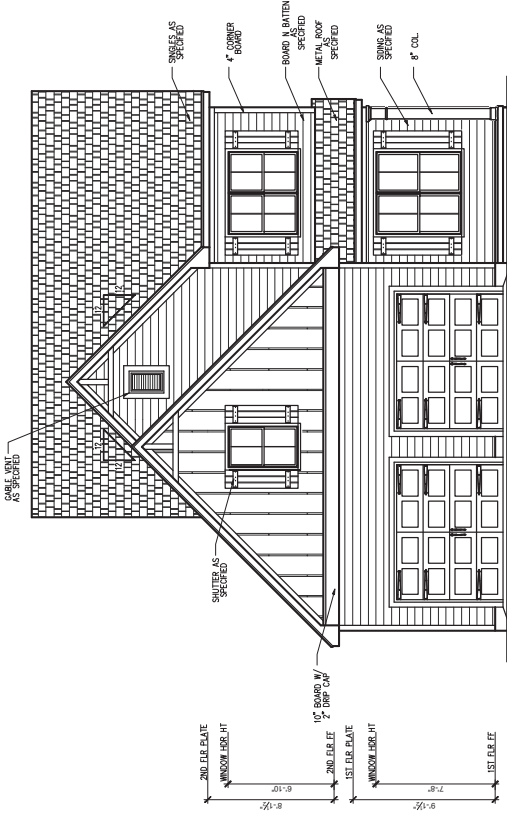
REV #	DESCRIPTION	DATE
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**2334 - THE NICKLAUS II - LH**  
 Heritage Farmhouse Front & Right Elevations

OWNER:  
 South Design  
 ISSUE DATE:  
 05/05/2017  
 CURRENT REVISION/LINK:  
 XXXXXXXXX

SCALE:  
 1/8" = 1'-0"

**3.B.0**  
 SHEET





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HOMES**  
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2597 Capitol Drive  
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Credmoor, NC 27522  
919-526-1347

REV.#	DESCRIPTION	DATE
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**2334 - THE NICKLAUS II - LH**  
Heritage Farmhouse Left & Rear Elevations

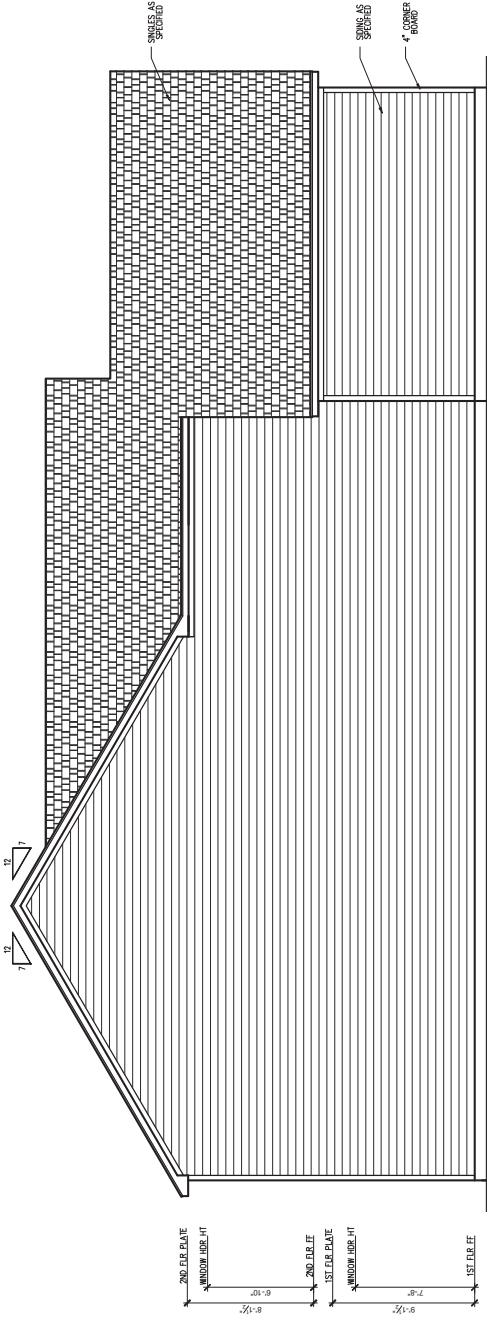
OWNER:  
South Designs

ISSUE DATE:  
05/05/2017

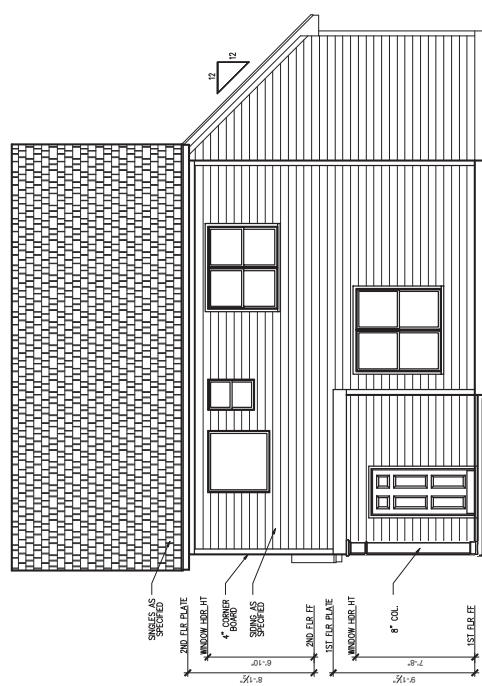
CURRENT REVISION/DATE:  
XXXXXXXXXX

SCALE:  
1/8" = 1'-0"

SHEET:  
3.B.1



**LEFT SIDE ELEVATION - HERITAGE FARMHOUSE**  
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7  
**MONOLITHIC SLAB**



**REAR ELEVATION - HERITAGE FARMHOUSE**  
SCALE: 1/4" = 1'-0" ON 2334, 1/8" = 1'-0" ON 11x7  
**MONOLITHIC SLAB**

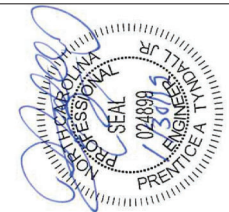




\*Engineers and their staff shall be liable for construction means, methods, techniques, sequences, and safety practices, and shall be responsible for the safety of the construction. Any deviations or departures from the approved plans shall be through the appropriate channels. Plans are to be used for the construction of the project. Plans to be used for the construction of the project. Plans to be used for the construction of the project. Plans to be used for the construction of the project. Plans to be used for the construction of the project.

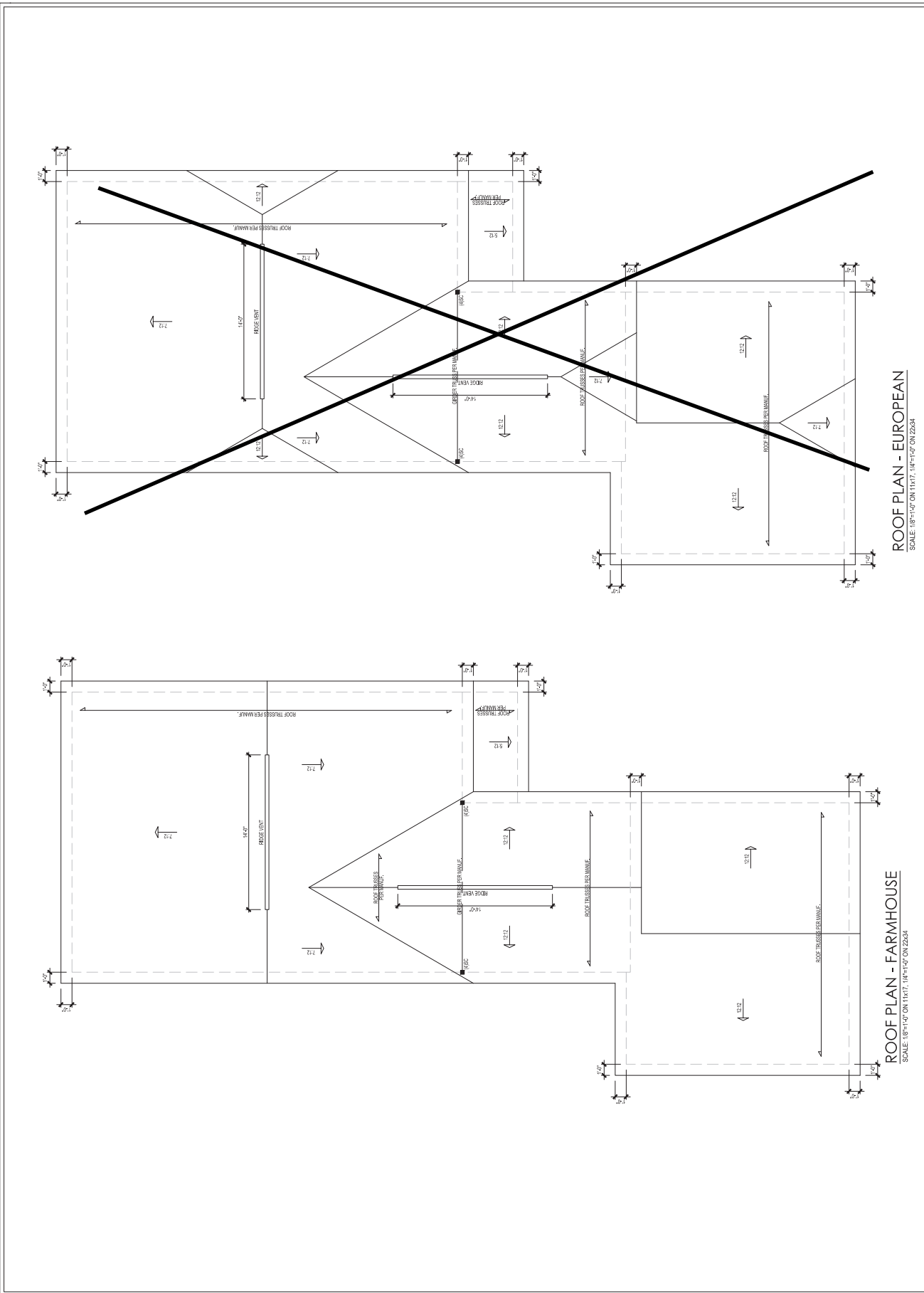
333 Springhouse Drive - Garage - 8/21/2019  
 ENGINEERING & DESIGN, P.A.  


Client: WYNN HOMES  
 Plan: THE NICKLAUSII GARAGE LEFT



Project No.	19017010039	
Date	8/21/19	
Prepared by	BS	
Reviewed by	BS	
Drawn by	BS	
Scale	SEE PLAN	
REVISIONS		
No.	Date	Remarks

Sheet Number: **S4**  
 4 of 4







\*Figures and notes are for general construction means, methods, techniques, sequences, etc. unless otherwise indicated. Any deviation or interpretation of these drawings shall be the responsibility of the contractor. Plans are to be brought to the attention of the architect and approved in writing before construction begins. Plans are to be brought to the attention of the architect and approved in writing before construction begins. Plans are to be brought to the attention of the architect and approved in writing before construction begins.

**TYNDALL**  
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Suite 200  
Charlotte, NC 28217  
704.399.1234  
www.tyndall.com

Client: WYNN HOMES  
Plan: THE NICKLAUSI GARAGE LEFT

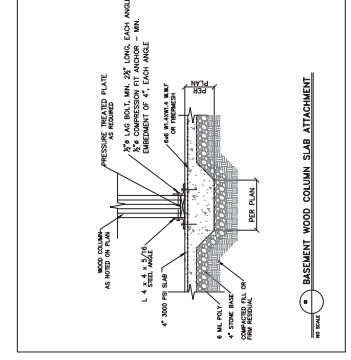
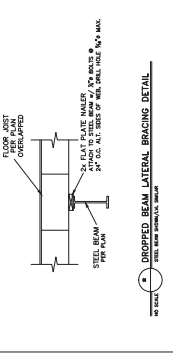
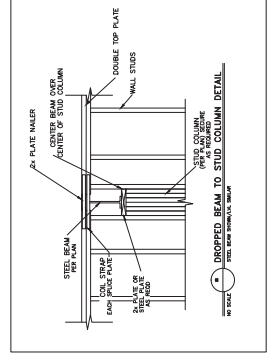
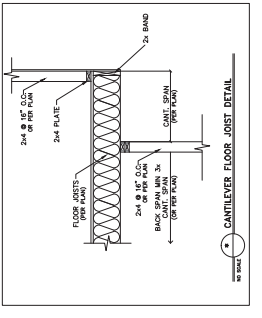
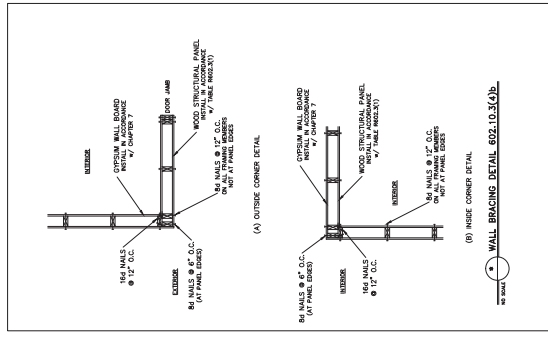


Project No.	1901.01.0039	
Date	10/10/19	
Drawn/Checked By	ACS	
Scale	AS SHOWN	
Sheet No.	1	
Sheet Title	WALL BRACING	
Scale	NOT TO SCALE	
Revisions		
No.	Date	Remarks

Sheet Number: **D2**  
2 of 3

**HARDWARE CROSS-REFERENCE CHART**

PRODUCT NUMBER	DESCRIPTION
MS1	MASONRY WALL BRACING
MS2	MASONRY WALL BRACING
MS3	MASONRY WALL BRACING
MS4	MASONRY WALL BRACING
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MS98	MASONRY WALL BRACING
MS99	MASONRY WALL BRACING
MS100	MASONRY WALL BRACING



ALLOWABLE SPANS FOR LEVELS SUPPORTING MASONRY VENEER

SIZE OF PANEL (L x W)	NO. STORIES	1 STORY	2 STORIES	3 STORIES	4 STORIES	5 STORIES	6 STORIES	7 STORIES	8 STORIES	9 STORIES	10 STORIES
1. 3' x 3' x 8'	1	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	2	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	3	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	4	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	5	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	6	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	7	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	8	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	9	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
1. 3' x 3' x 8'	10	4'-0"	3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

1. LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION.  
2. VERTICAL ANCHORS SHALL BE PLACED AT 12" O.C. ALONG THE ENTIRE LENGTH OF THE ANGLE.  
3. STEEL ANCHORS SHALL BE PLACED AT 12" O.C. ALONG THE ENTIRE LENGTH OF THE ANGLE.  
4. OTHER TYPES AND SIZES OF ANCHORS SHALL BE APPROVED BY THE ARCHITECT.  
5. OTHER TYPES AND SIZES OF ANCHORS SHALL BE APPROVED BY THE ARCHITECT.

WYNN  
MASONRY VENEER SUPPORT FIG 703.8.3.1

