

Carriage Circle 1166 - 96 Spruce Hollow Circle, Spring Lake, 28390  
 Harnett County  
 Created: 10/1/2020

**BUILD PER PLAN**



2550 Capitol Drive  
 Suite 105  
 Creedmoor, NC 27522  
 919-528-1347

# 2334 The Nicklaus II - LH



**SOUTH  
 DESIGNS**  
 (919) 556-2206  
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2550 Capitol Drive  
 Suite 105  
 Creedmoor, NC 27522  
 919-528-1347

SQUARE FOOTAGE			
	HERITAGE EUROPEAN	HERITAGE FARMHOUSE	
	UNHEATED	HEATED	HEATED
FIRST FLOOR	0	0	0
SECOND FLOOR	0	133	133
REAR COVERED PORCH	0	0	0
FRONT PORCH	120	0	0
GARAGE	472	0	472
SUBTOTALS	642	2334	2334
TOTAL UNDER ROOF	2976		2976

OPTIONS	
	UNHEATED S.F.   HEATED S.F.
---	0   0
---	0   0
---	0   0
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REVISION LOG				
Rev	Description	Drawn By	Date	Engineering Required
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ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
2.1	First Floor Plan
2.2	Second Floor Plan
3.A.0	Heritage European Front & Right Elevations
3.A.1	Heritage European Left & Rear Elevations
3.A.2	Heritage European Roof Plan
3.B.0	Heritage Farmhouse Front & Right Elevations
3.B.1	Heritage Farmhouse Left & Rear Elevations
3.B.2	Heritage Farmhouse Roof Plan
5.1.1	Crawl Foundation
5.1.2	Slab Foundation
5.2.1	Second Floor Framing
5.3.1	Attic Floor Framing
5.4.1	Roof Plan - Heritage European
5.4.2	Roof Plan - Heritage Farmhouse

2334 - THE NICKLAUS II - LH  
 Cover Sheet

DRAWN BY: South Designs  
 ISSUE DATE: 05/05/2017  
 CURRENT REVISION DATE: XXXXXXXX  
 SCALE: 1/8" = 1'-0"  
 SHEET: 0.0



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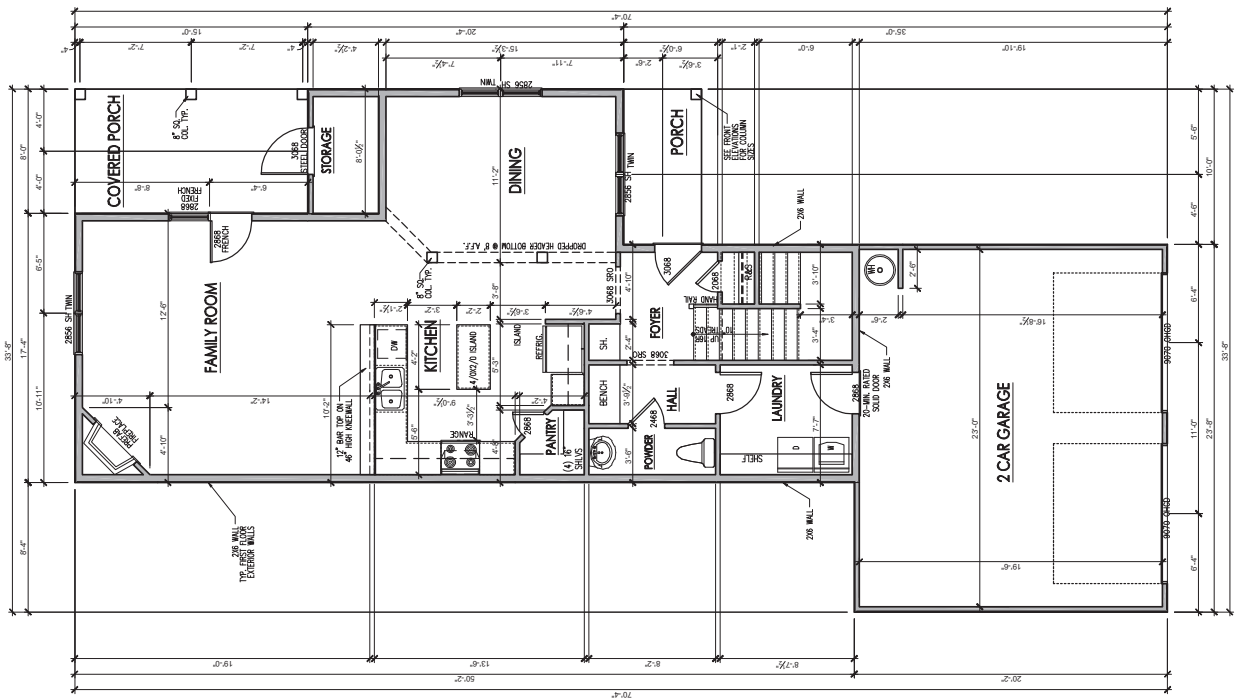


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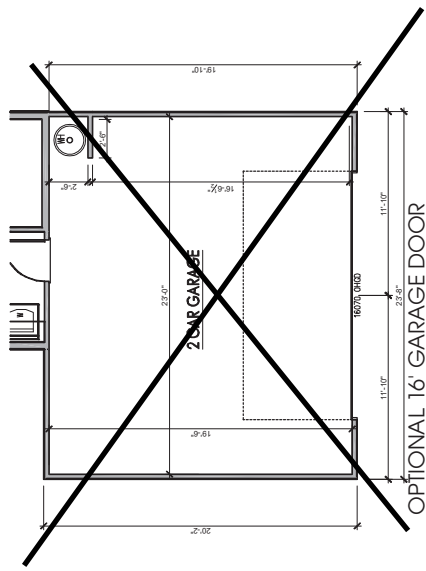
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**2334 - THE NICKLAUS II - LH**  
 First Floor Plan

DRAWN BY: [blank]  
 CHECKED BY: [blank]  
 ISSUE DATE: 03/02/2017  
 CURRENT REVISION DATE: [blank]  
 SCALE: 1/8"=1'-0"  
 SHEET: 2.1



SQUARE FOOTAGE HERITAGE EUROPEAN & FARMHOUSE		HEATED S.F.
FIRST FLOOR	0	971
SECOND FLOOR	0	1553
FRONT PORCH	50	0
COVERED PORCH	120	0
GARAGE	422	0
TOTAL	642	2334
<b>OPTIONS</b>		HEATED S.F.
UNHEATED S.F.		



**OPTIONAL 16' GARAGE DOOR**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**General Floor Plan Notes**

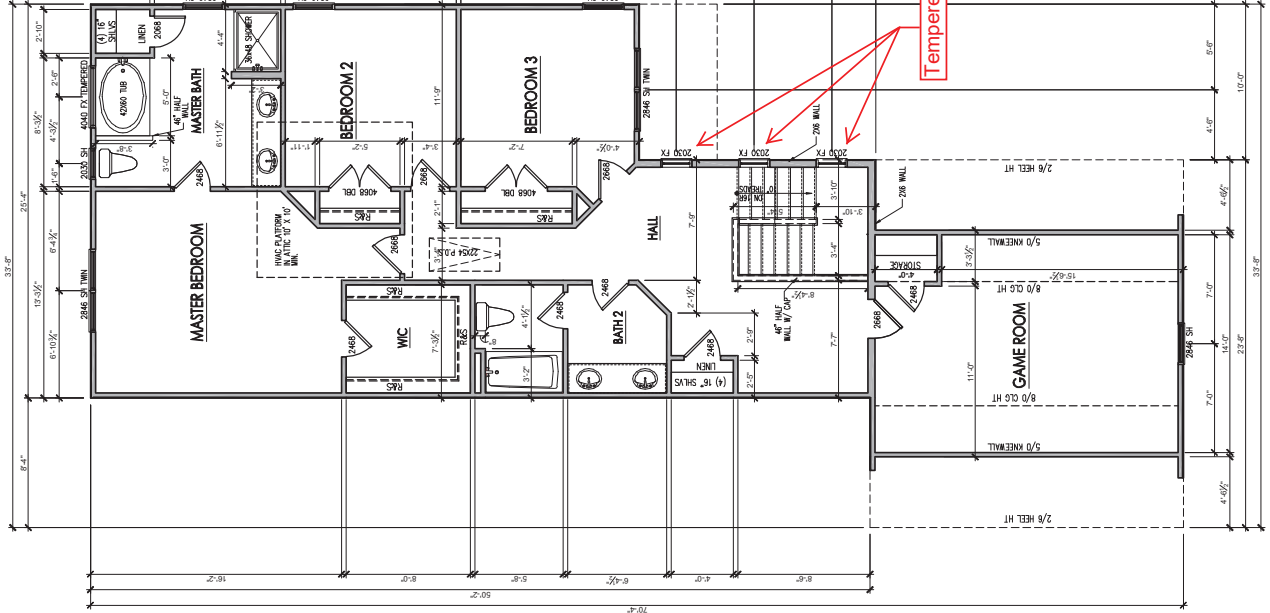
- General Floor Plan Notes shall apply unless noted otherwise on plan.
1. Wall Heights: Typically 10'-1 1/2' at finished and second floor, and 11'-0" at first floor. All exterior walls shall be finished to the top of the exterior wall. Double Top Plates do not need to occur at Vertical Wall Breaks. All exterior walls shall be finished to the top of the exterior wall. Space wall heights are noted on plans where they occur.
  2. Wall Thickness is typically 4" at exterior walls, 3 1/2" at interior walls. All exterior walls shall be finished to the top of the exterior wall. All interior walls shall be finished to the top of the interior wall. All walls shall be framed with 2x6 framing or greater and shall be finished to the top of the exterior wall. All walls shall be finished to the top of the exterior wall. All walls shall be finished to the top of the exterior wall.
  3. Header height shall be 4'-0" AFD of first floor and 7'-6" AFD of second floor unless noted otherwise.
  4. Joists: Openings to be 3'-4" wide and have (1) 2x4 joist and stiff on each side. Openings greater than 4'-0" shall have (2) 2x4 joist and stiff on each side.
  5. Softs, Coffered Ceilings, Tray Ceilings and other significant ceiling plan elements are shown on the plan. All ceiling elements shall be finished to the top of the ceiling. All ceiling elements shall be finished to the top of the ceiling. All ceiling elements shall be finished to the top of the ceiling.
  6. Door & Window Frames, where occurring near exterior walls, shall be finished to the top of the exterior wall. All door and window frames shall be finished to the top of the exterior wall. All door and window frames shall be finished to the top of the exterior wall.
  7. Windows: Shall have at least (1) window in each sleeping room that meets egress. Built-in egress windows shall be finished to the top of the exterior wall. All windows shall be finished to the top of the exterior wall. All windows shall be finished to the top of the exterior wall.
  8. Closets for clothing or coat storage shall be finished to the top of the ceiling. All closets shall be finished to the top of the ceiling. All closets shall be finished to the top of the ceiling.
  9. Sill: The sill shall be 10" deep. Sills shall be a maximum of 7 1/2" - unless noted otherwise.
  10. Headers and Girders at sills shall be 3x above the sill. All headers and girders shall be finished to the top of the ceiling. All headers and girders shall be finished to the top of the ceiling. All headers and girders shall be finished to the top of the ceiling.
  11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic height shall be 30". All attic access shall be finished to the top of the ceiling. All attic access shall be finished to the top of the ceiling. All attic access shall be finished to the top of the ceiling.
  12. Garage Door to Living Space shall be 2'-6" x 6'-6" minimum. All garage doors shall be finished to the top of the ceiling. All garage doors shall be finished to the top of the ceiling. All garage doors shall be finished to the top of the ceiling.
  13. Garage Walls, as a minimum, shall be expanded from living space and living space attic by installing 1/2" gypsum board on the garage side of the wall.

**FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall heights: Typically 10'-1 1/2' at first floor and 9'-0" at second floor. All walls shall be one constructed using a double top plate. Space of Double Top Plate as not needed to occur at vertical corners. Double Top Plate shall be required at other top floor floor joists. Special wall heights are noted on plans where they occur.
2. Wall thickness is typically 4" of exterior walls, 3 1/2" for interior walls. All walls shall be back up to plumbing fixtures. With gables that 10' high shall be formed with 2x6 framing or greater and shall be finished as specified on the exterior of the plan.
3. Header height shall be 8'-0" AFF of first floor and 7'-6" AFF of second floor unless noted otherwise.
4. Jack's Openings up to 3'-4" wide shall have (1) 2x4 post and girder on each side. Openings greater than 3'-4" wide shall have (2) 2x4 post and girder on each side.
5. Soffits, Coffered Ceilings, Tilted Ceilings and other significant ceiling plan elements are shown on the plan. All ceiling elements shall be finished as shown. Unless specifically called out as included, kitchen cabinets include soffits over wall cabinet.
6. Door & Window frames, where occurring near exterior walls, shall be finished as shown. Except for walls in closets with doors near outside doors of closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each room. Windows shall be finished as shown. Windows with tempered glass or hazardous glazing areas with tempered glass shall be installed with obscure glazing.
8. Closets for clothing or coat storage and built-in closets shall be finished as shown. Closets for linen shall have a 5' open wire shelving. Closets for pantries shall have 5' wood shelves, painted.
9. Soffit heights shall be 10' deep. Soffits shall be a minimum of 7'-0" in, unless noted otherwise.
10. Handrails and Guardrails shall be as shown. Handrails at landings and overbooks of multilevel (stairs or balconies) shall be spaced with no more than 4" between guard.
11. AEC Access shall be provided of all attic areas with access doors to be 20" x 30". Full down stairs and access doors to knee walk meeting minimum criteria are also acceptable.
12. Garage door to living spaces shall be 2'-8" x 6'-8" minimum. All doors shall be finished as noted and weather sealed.
13. Garage Walls, as a minimum, shall be as specified from living space and living space shall be installed 1/2" gypsum board on the garage side of the wall.



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REV #	DATE	DESCRIPTION
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**2334 - THE NICKLAUS II - LH**  
 Second Floor Plan

OWNER: [REDACTED]  
 SOUP DESIGN

ISSUE DATE: 03/05/2017  
 CURRENT REVISION DATE: XXXXXXXX

SCALE: 1/8" = 1'-0"  
 SHEET: 2.2

**SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0" ON 11X17, 1/4"=1'-0" ON 24X34



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REV #	DESCRIPTION	DATE
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**2334 - THE NICKLAUS II - LH**  
 Heritage European Front & Right Elevations

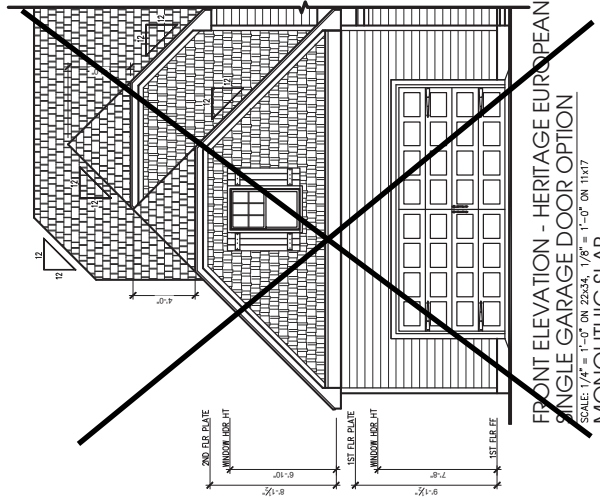
DRAWN BY:  
 SOAD DARRIN

ISSUE DATE:  
 05/05/2017

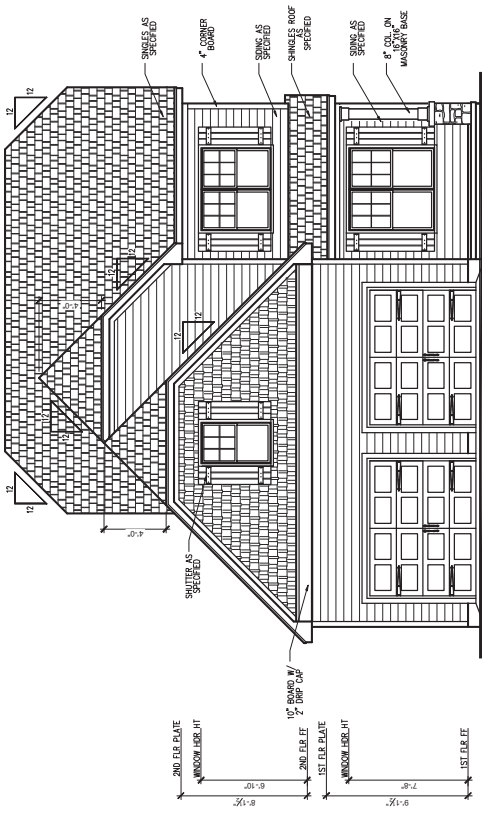
CURRENT REVISION/LIST:  
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SCALE:  
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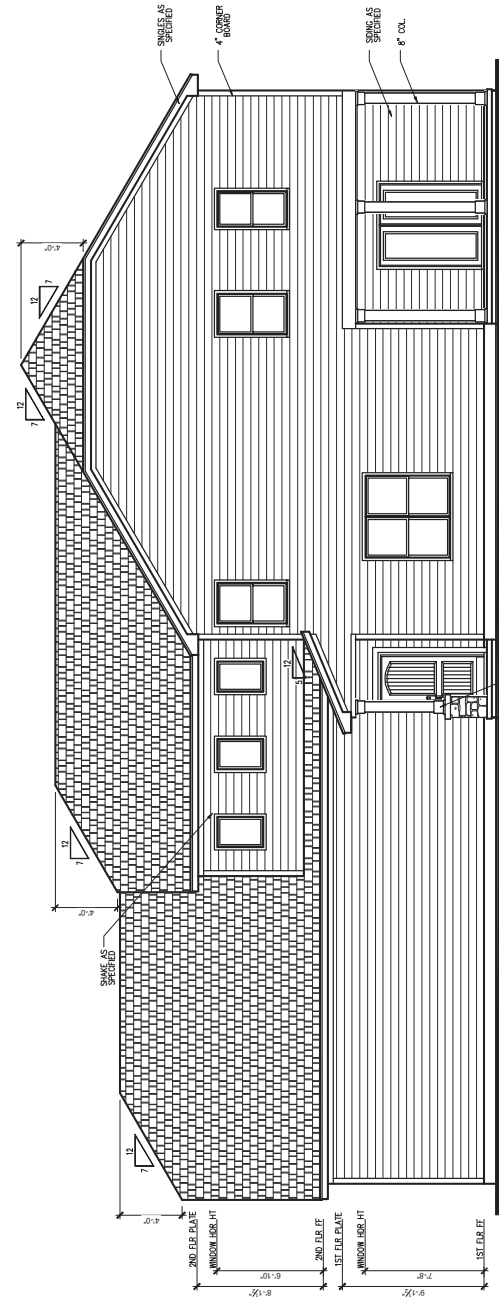
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**3.A.0**



**FRONT ELEVATION - HERITAGE EUROPEAN  
 SINGLE GARAGE DOOR OPTION**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17  
 MONOLITHIC SLAB



**FRONT ELEVATION - HERITAGE EUROPEAN  
 MONOLITHIC SLAB**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**RIGHT SIDE ELEVATION - HERITAGE EUROPEAN  
 MONOLITHIC SLAB**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



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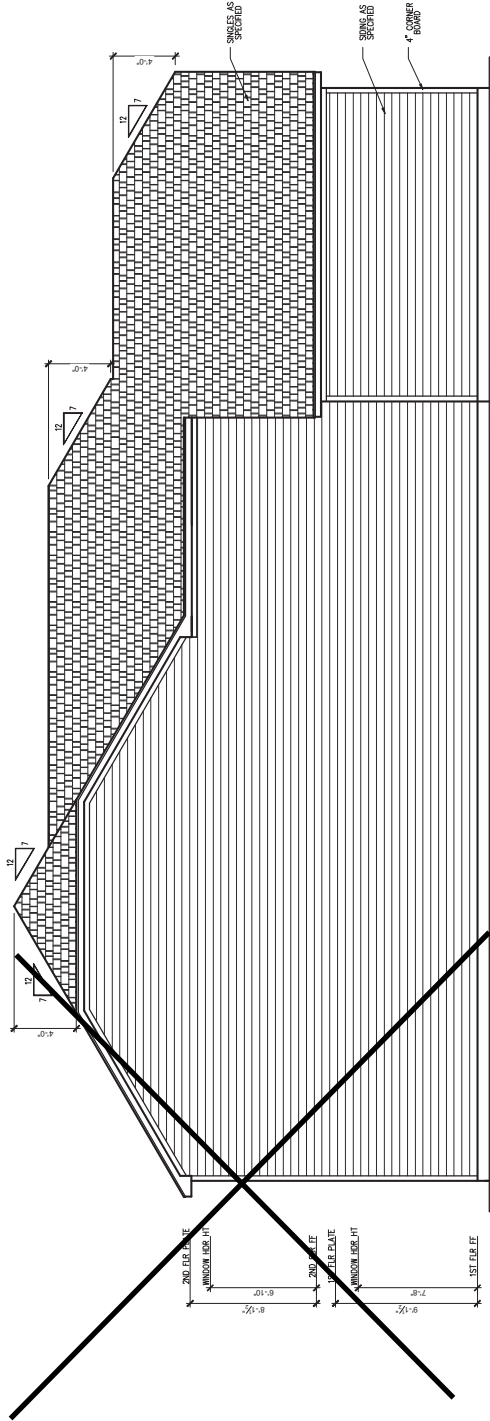
**Wynn  
HOMES**  
PROFESSIONAL REAL ESTATE  
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Suite 105  
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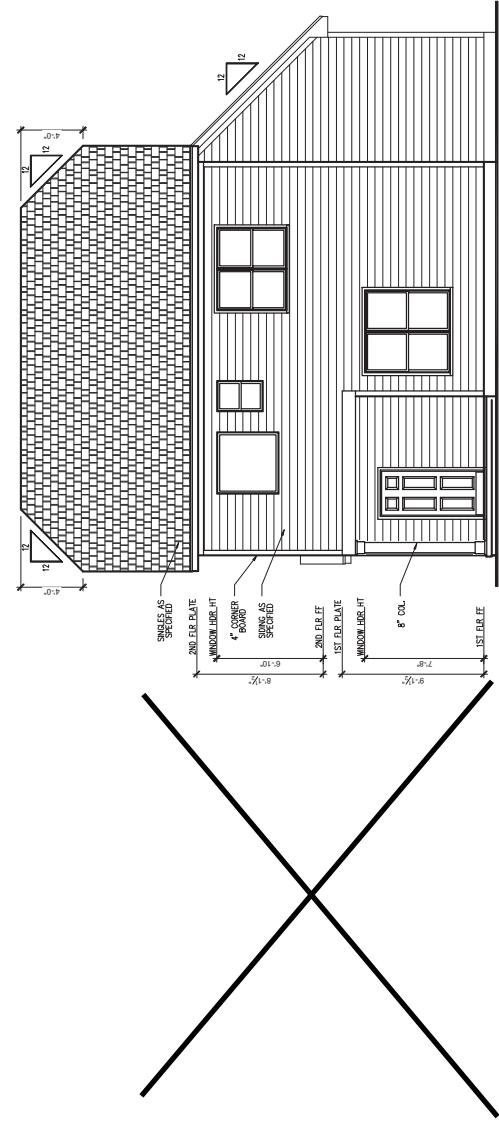
**2334 - THE NICKLAUS II - LH**  
Heritage European Rear & Left Elevations

DRAWN BY: Soap Design  
ISSUE DATE: 05/05/2017  
CURRENT REVISION/DATE: XXXXXXXX  
SCALE: 1/8" = 1'-0"

**3.A.1**  
SHEET



**LEFT SIDE ELEVATION - HERITAGE EUROPEAN**  
SCALE: 1/4" = 1'-0" ON 22234, 1/8" = 1'-0" ON 11x17  
MONOLITHIC SLAB



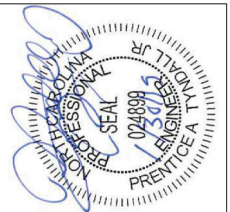
**REAR ELEVATION - HERITAGE EUROPEAN**  
SCALE: 1/4" = 1'-0" ON 22234, 1/8" = 1'-0" ON 11x17  
MONOLITHIC SLAB



Engineers shall have full and complete control over the design, construction, erection, maintenance, and repair of the structure. Any additions or alterations to the structure shall be made in accordance with the original plans and specifications. Plans are to be drawn and executed in accordance with the provisions of the Pennsylvania Professional Engineers Act. Plans are to be drawn and executed in accordance with the provisions of the Pennsylvania Professional Engineers Act. Plans are to be drawn and executed in accordance with the provisions of the Pennsylvania Professional Engineers Act.

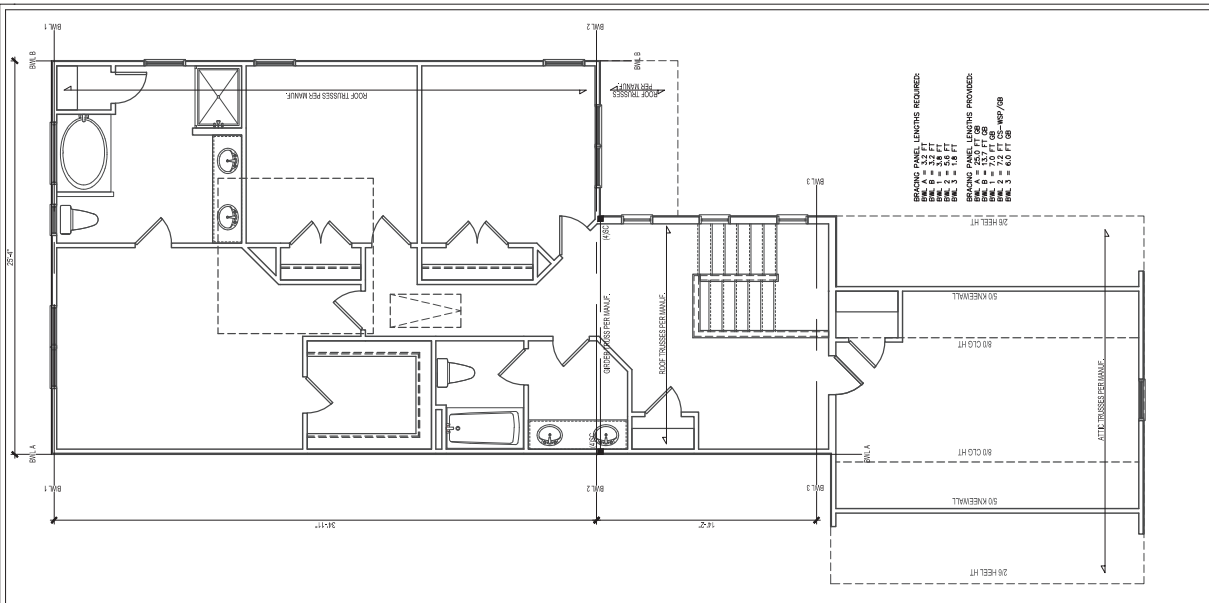
**TYPDAL**  
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 1977 Old York Road, Suite 200  
 York, PA 17403  
 Phone: 717-766-0000  
 Fax: 717-766-0001  
 www.typdal.com

**CLIENT:** WYNN HOMES  
**PLAN:** THE NICKLAUSI GARAGE LEFT  
**DATE:** 10/17/2019  
**SCALE:** 1/8" = 1'-0" ON 11x17, 1/4" = 1'-0" ON 22x34

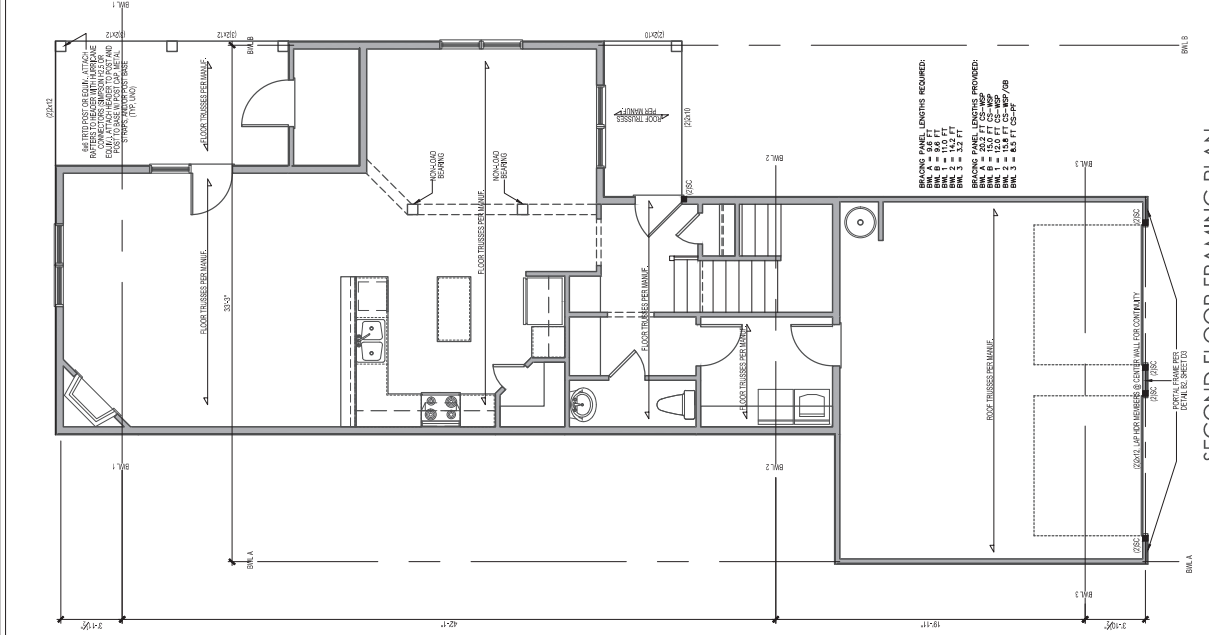


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**Scale:** 3 of 4

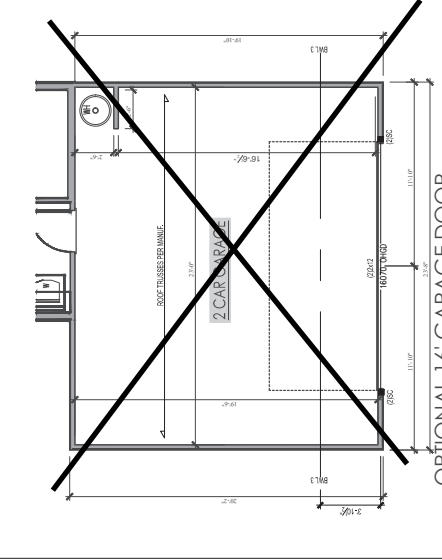


**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0" ON 11x17, 1/4" = 1'-0" ON 22x34



**ATTIC FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0" ON 11x17, 1/4" = 1'-0" ON 22x34

- STRUCTURAL SHEATHING NOTES**
- 1) DESIGN FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 120 MPH OR LESS.
  - 2) WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION 602.10.3.2.
  - 3) BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3.3, INCLUDING CONNECTIONS & SUPPORT OF BRACED WALL PANELS.
  - 4) REFERENCE FIGURE R602.10.4.3 OF THE 2018 IRC.
  - 5) INTERIOR BRACED WALL PANELS (BWP) AND EXTERIOR BRACED WALL PANELS (EBWP) SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10.1 (UNID) WSP METHOD AS PRESCRIBED IN SECTION R602.10.1 (UNID) AT INTERMEDIATE SUPPORTS.
  - 6) 1/2" GYPSUM BOARD (GB) MINIMUM LENGTH OF 8'-0" (ISOLATED PANELS) OR 4'-0" (CONTINUOUS SHEATHING). R602.10.3.3 SPACED @ 7" O.C. AT PANEL EDGES, AT INTERMEDIATE SUPPORTS.
  - 7) 2x6" WOOD STRUCTURAL PANEL (WSP) AT INTERMEDIATE SUPPORTS.
  - 8) 2x6" WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION R602.10.3 (UNID) WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND INTERMEDIATE SUPPORTS) WITH WOOD STRUCTURAL PANEL (UNID) SHEATHING WITH A MINIMUM THICKNESS OF 3/8" SHEATHING SHALL BE 12" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT 6" MINIMUM BRACED WALL PANEL LENGTHS WITH CS-WSP METHOD SHALL BE AS FOLLOWS:
  - 9) 6 7/8" WALL HEIGHT OPENINGS GREATER THAN 6 7/8" AND LESS THAN BOX OF WALL HEIGHT.
  - 10) MINIMUM ROOF HOLD-DOWN DEVICE.
  - 11) SHEATH INTERIOR & EXTERIOR.
  - 12) FOR CS-WSP METHOD, A MINIMUM 2x4" BRACED WALL CORNER RETURN SHALL BE PROVIDED AT BOTH INTERIOR AND EXTERIOR CORNERS OF WALL CORNER RETURN EITHER A MIN. #2 BRACED WALL PANEL SHALL BE PROVIDED AT CORNER AND TO THE FOUNDATION OR A MINIMUM 1/2" DIAMETER VALUE OF SOFTEN SHALL BE PROVIDED AT THE CORNER AND TO THE FOUNDATION OR FOUNDATION.
  - 13) MINIMUM ROOF HOLD-DOWN DEVICE.
  - 14) FOR CS-WSP METHOD, A MINIMUM 2x4" BRACED WALL CORNER RETURN SHALL BE PROVIDED AT BOTH INTERIOR AND EXTERIOR CORNERS OF WALL CORNER RETURN EITHER A MIN. #2 BRACED WALL PANEL SHALL BE PROVIDED AT CORNER AND TO THE FOUNDATION OR A MINIMUM 1/2" DIAMETER VALUE OF SOFTEN SHALL BE PROVIDED AT THE CORNER AND TO THE FOUNDATION OR FOUNDATION.
  - 15) METAL HANDERS SHALL BE SHIMMED OR APPROVED EQUAL.



DESIGN LOADS	
USE CASE	DEFLECTION
DEAD LOAD (DL)	(See Table R602.10.1)
LIVE LOAD (LL)	(See Table R602.10.1)
WIND LOAD (WL)	(See Table R602.10.1)
SEISMIC LOAD (SL)	(See Table R602.10.1)
SOIL LOAD (SOL)	(See Table R602.10.1)
CEILING LOAD (CL)	(See Table R602.10.1)
ROOF LOAD (RL)	(See Table R602.10.1)

**STRUCTURAL NOTES:**

- 1) REQUIREMENTS OF NORTH CAROLINA STATE 2018 LOCAL CODES AND REGULATIONS SHALL APPLY TO ALL LOCAL CODES AND REGULATIONS.
- 2) DIMENSIONS AND SQUARE FOOTAGE FOR CONSTRUCTION FOR CONDITIONS AND SQUARE FOOTAGE FOR FINISH.
- 3) ALL LUMBER SHALL BE TYPE #2 (UNID) LUMBER, EACH SINGLE MEMBER AND PLY = 2000 PSI, E = 1,900,000 PSI.
- 4) ALL L.S. LUMBER IS TO BE 1.5X6 (F = 2325 PSI). MAXIMUM SPAN OF 2x4 SHALL BE A (2) 24' 0" / (1) 24' 0" / (1) 24' 0" AND (1) 24' 0" / (1) 24' 0" / (1) 24' 0". WINDOW HEIGHT IS 6'-2" MINIMUM BOTTOM OF THE WINDOW SHALL BE 1'-0" ABOVE FINISH FLOOR.
- 5) ALL INTERIOR LOAD BEARING MEMBERS TO BE (2) 2x10. REQUIREMENTS FOR BEARING BRANS FOR INTERIOR AND EXTERIOR SHALL BE AS FOLLOWS:
- 6) REFER TO 2018 IRC BUILDING CODE SECTION R602 FOR ALL EXTERIOR LUMBER TO BE ASTM #20 GRADE 50 PSI.
- 7) ALL EXTERIOR LUMBER TO BE 4x2 2x10 PT.
- 8) ALL EXTERIOR LUMBER TO BE 2000 PSI.
- 9) 1/2" ANCHOR BOLTS SPACED AT A MINIMUM OF 8'-0" O.C. AND A MINIMUM OF (3) BOLTS PER FINISH SECTION. ANCHOR BOLTS SHALL EXTEND 7" INTO CONCRETE OR MASONRY.
- 10) PER CODES DESIGNED WITH MAX. HEIGHT OF 8'-2" (UNID) AT TOP AND BOTTOM OF PORCH COLUMNS (U.L.C.) CONNECTION SHALL BE AS FOLLOWS:
- 11) THE 2x6'S MINIMUM SHEATHING PER SECTION R602.10.4 OF THE 2018 IRC BUILDING CODE SHALL NOT EXCEED FOUR CONTINUOUSLY INTERLOCKED JOINTS.
- 12) METAL HANDERS SHALL BE SHIMMED OR APPROVED EQUAL.

\*Engineers and their staff shall be responsible for the design, construction, erection, maintenance, and repair of the structure. Any alterations or modifications to the structure shall be approved by the engineer. Plans are to be submitted to the appropriate authorities for review and approval. Plans to be submitted to the appropriate authorities shall be submitted to the appropriate authorities for review and approval. Plans to be submitted to the appropriate authorities shall be submitted to the appropriate authorities for review and approval.

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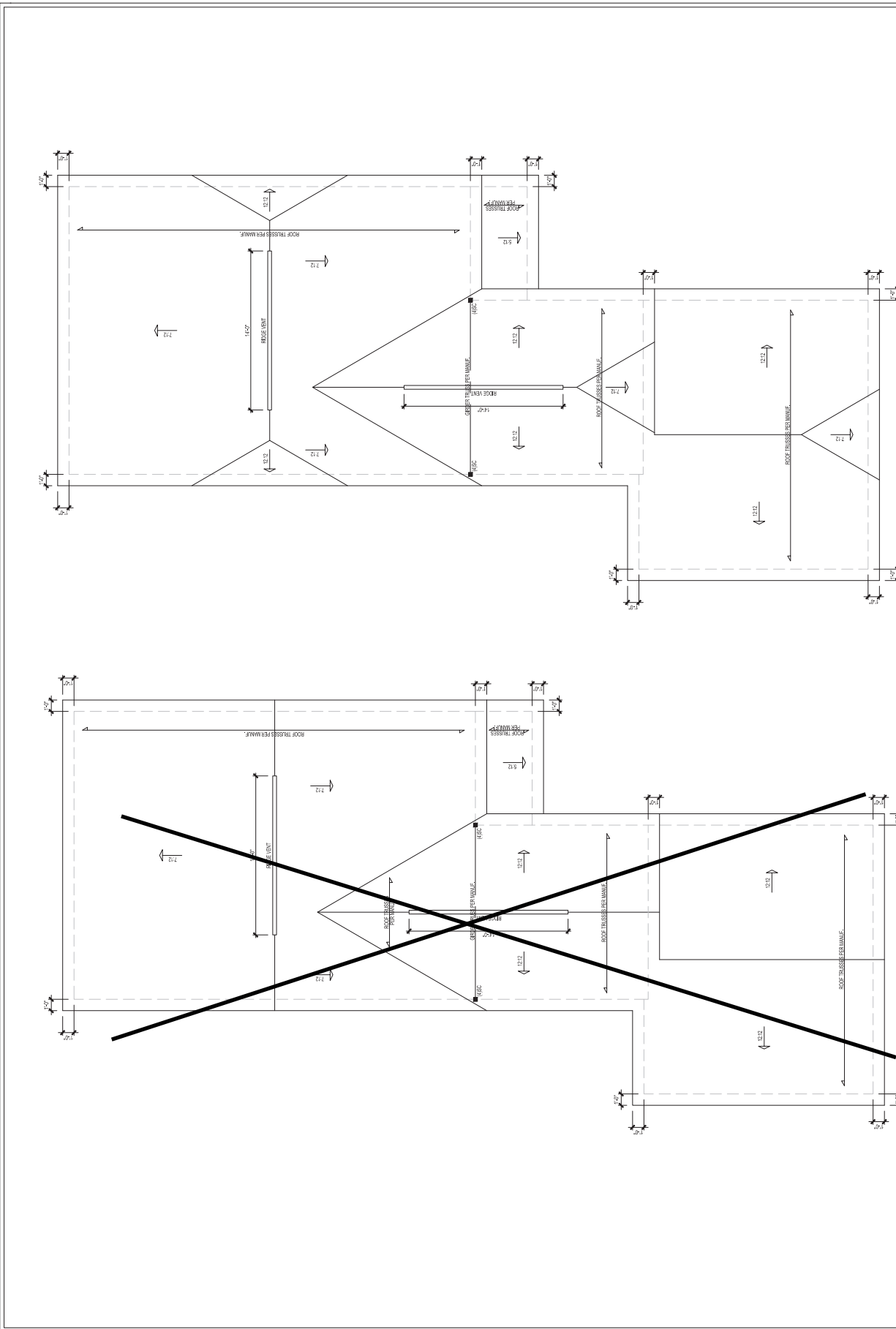


Client: WYNN HOMES  
Plan: THE NICKLAUS II GARAGE LEFT



Project No.	19011710039
Date	11/19
Revised/By	
RF	
PAV	
SEAL	
SET PLAN	

Sheet Number: **S4**  
4 of 4



**ROOF PLAN - EUROPEAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

**ROOF PLAN - FARMHOUSE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34





\*Specimens used for field construction means, methods, techniques, sequences, etc. are to be approved by the engineer prior to construction. Any deviations or substitutions are to be approved by the engineer. Plans are to be approved by the engineer prior to construction. Plans are to be approved by the engineer prior to construction. Plans are to be approved by the engineer prior to construction.

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**CLIENT:** WYNN HOMES  
**PLAN:** THE NICKLAUSI GARAGE LEFT

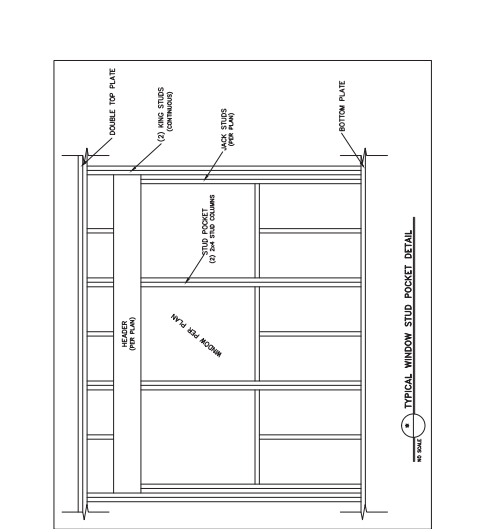
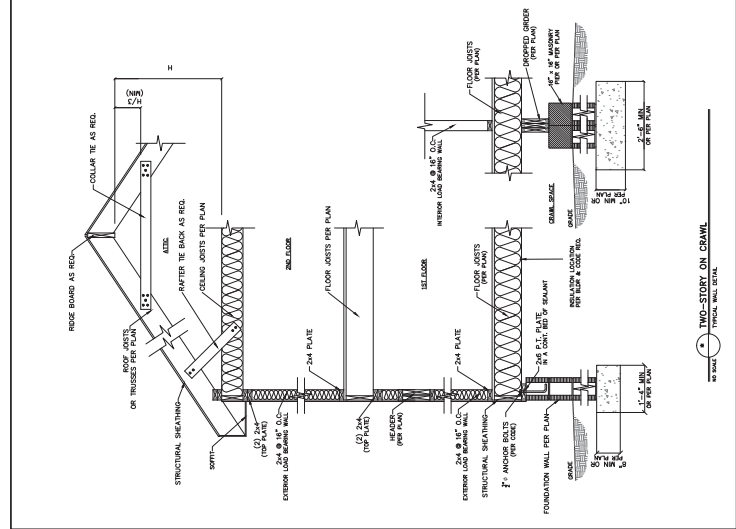
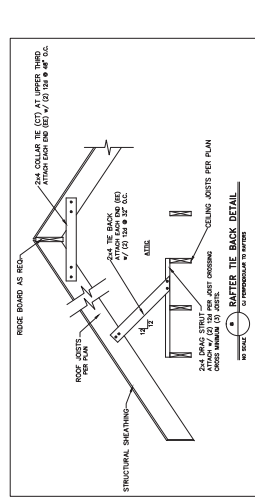
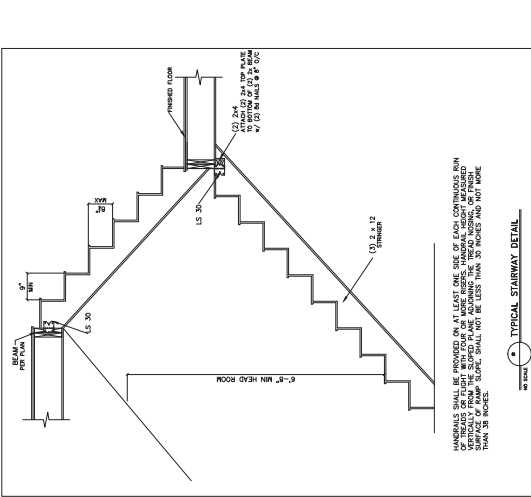
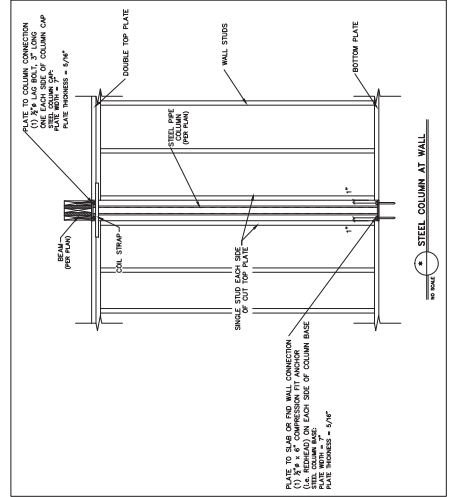
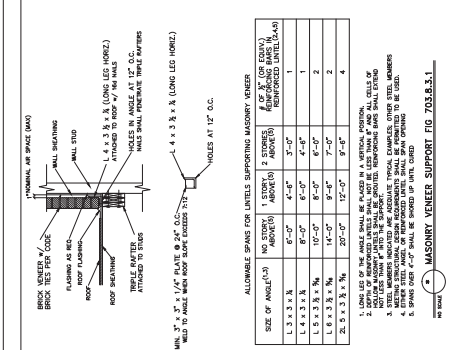
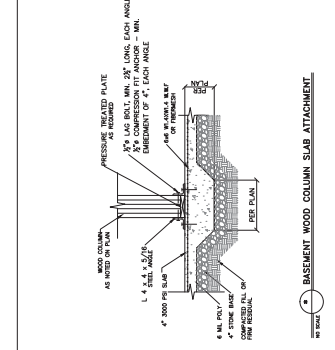
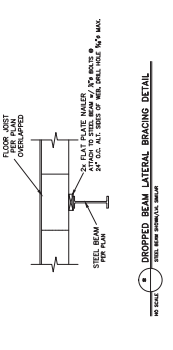
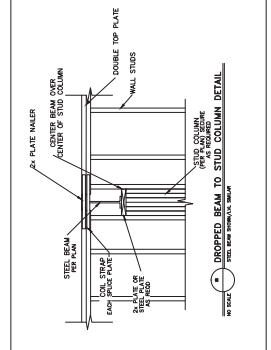


PROJECT:	1901.01.0039	
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DESIGNED BY:	AC/S	
CHECKED BY:	PAT	
DATE:	10/20/10	
SCALE:	NOT TO SCALE	
REVISIONS:		
NO.	DATE	REMARKS

Sheet Number: **D2**  
2 of 3

**HARDWARE CROSS-REFERENCE CHART**

PRODUCT NUMBER	DESCRIPTION
MS20	MS20
MS25	MS25
MS30	MS30
MS35	MS35
MS40	MS40
MS45	MS45
MS50	MS50
MS55	MS55
MS60	MS60
MS65	MS65
MS70	MS70
MS75	MS75
MS80	MS80
MS85	MS85
MS90	MS90
MS95	MS95
MS100	MS100
MS105	MS105
MS110	MS110
MS115	MS115
MS120	MS120
MS125	MS125
MS130	MS130
MS135	MS135
MS140	MS140
MS145	MS145
MS150	MS150
MS155	MS155
MS160	MS160
MS165	MS165
MS170	MS170
MS175	MS175
MS180	MS180
MS185	MS185
MS190	MS190
MS195	MS195
MS200	MS200
MS205	MS205
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MS315	MS315
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MS335	MS335
MS340	MS340
MS345	MS345
MS350	MS350
MS355	MS355
MS360	MS360
MS365	MS365
MS370	MS370
MS375	MS375
MS380	MS380
MS385	MS385
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MS395	MS395
MS400	MS400
MS405	MS405
MS410	MS410
MS415	MS415
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MS495	MS495
MS500	MS500

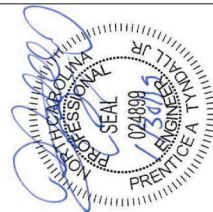


\*Excludes but does not include construction means, methods, techniques, sequences, etc. Any deviations or substitutions must be approved by the architect. Plans are to be brought to the attention of the architect by the contractor. Plans by or on behalf of Tyn dall Engineering & Design, P.A. shall not be used for any project without the written consent of Tyn dall Engineering & Design, P.A. Plans may be used for other projects only with the written consent of Tyn dall Engineering & Design, P.A. All dimensions are in feet and inches unless otherwise noted. All dimensions are to be finished unless otherwise noted. All dimensions are to be to the centerline of the member unless otherwise noted. All dimensions are to be to the face of the member unless otherwise noted. All dimensions are to be to the centerline of the member unless otherwise noted. All dimensions are to be to the face of the member unless otherwise noted.

**TYN DALL**  
ENGINEERING & DESIGN, P.A.  
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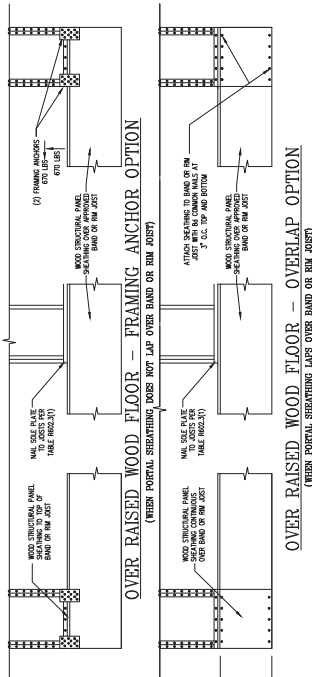
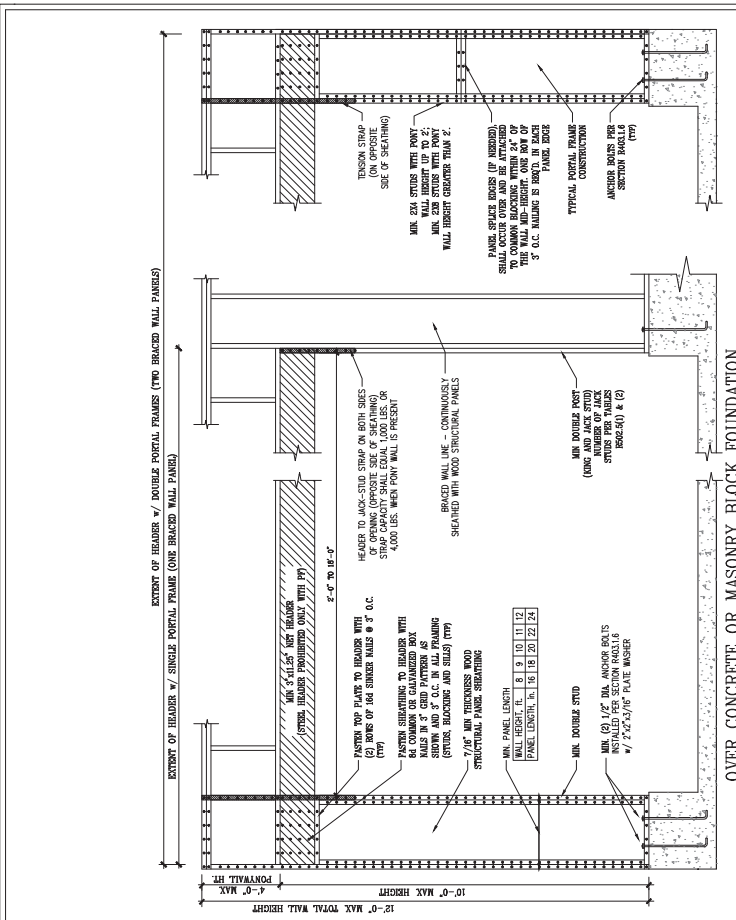


Client: WYNN HOMES  
Plan: THE NICKLAUSI GARAGE LEFT

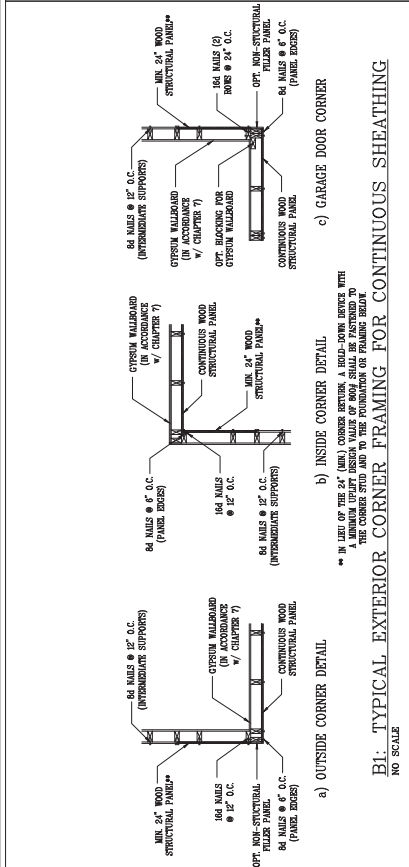


Project No.	1901101039	
Date	10/10/10	
Drawn/Checked By	AC/S	
Project Name	WYNN HOMES	
Scale	NOT TO SCALE	
Revisions		
No.	Date	Remarks

Sheet Number: **D3**  
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B2: METHOD CS-PF - CONTINUOUSLY SHEATHED PORTAL FRAME  
FIGURE 1002.01



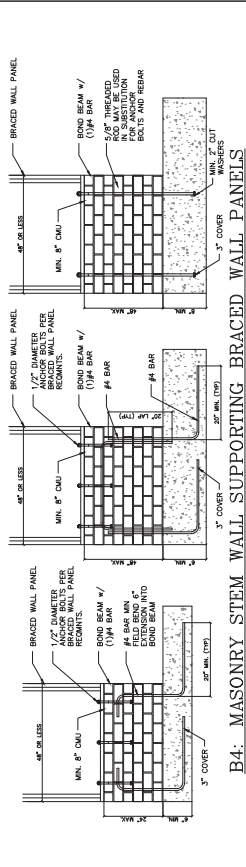
STRUCTURAL SHEATHING NOTES

1. 125 WOOD STUDS PER 10' HORIZONTAL SPACING.
2. 2x4 (MIN.) CORNER SERVICE WITH HOLD-DOWN BRACE.
3. 2x4 (MIN.) CORNER STUD TO THE FOUNDATION OR FRAMED BREAK.
4. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
5. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
6. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
7. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
8. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
9. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.
10. REFER TO ARCHITECT'S NOTES FOR THE CORNER STUD AND TO THE FOUNDATION OR FRAMED BREAK.

METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTIONS
CS-SP	WOOD STRUCTURAL PANEL	3/8"	64 COMMON NAILS @ 12" O.C. 54 DOUBLE NAIL@ 12" O.C. 64 COMMON NAILS @ 12" O.C.
CB	CYRUSIM BOARD	1/2"	54 DOUBLE NAIL@ 12" O.C. 64 COMMON NAILS @ 12" O.C.
SP	WOOD STRUCTURAL PANEL	3/8"	64 COMMON NAILS @ 12" O.C.



B3: BRACE WALL PANEL CONNECTIONS  
NO SCALE



B4: MASONRY STEM WALL SUPPORTING BRACED WALL PANELS  
NOTE: BRACE WALL PANELS WHICH CONTAIN REBAR, THEREAD BOLTS AND ANCHOR BOLTS