

Lot 4 Patterson

4/BR

**PLANS DESIGNED TO THE
2018 NORTH CAROLINA STATE
RESIDENTIAL BUILDING CODE**

MEAN ROOF HEIGHT: 19'-9" HEIGHT TO RIDGE: 27'-5"

CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 OR 20/21	38 OR 20/21	38 OR 20/21
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
FOUNDATION WALL R-VALUE	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
** CRAWL SPACE WALL R-VALUE	5/13	10/15	10/15

10/17 MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION
 ** INSULATION DEPTH WITH MONOLITHIC SLAB 24" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING. INSULATION DEPTH WITH STEM WALL 24" OR TO BOTTOM OF FOUNDATION WALL. DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (33 FASTEST MILE EXPOSURE "B")

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	14.2 -15.0	14.9 -15.6	15.5 -16.4	15.9 -16.8
ZONE 2	14.2 -18.0	14.9 -18.9	15.5 -19.6	15.9 -20.2
ZONE 3	14.2 -18.0	14.9 -18.9	15.5 -19.6	15.9 -20.2
ZONE 4	15.5 -16.0	16.3 -16.8	16.9 -17.4	17.4 -17.9
ZONE 5	15.5 -20.0	16.3 -21.0	16.9 -21.8	17.4 -22.4

DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (33 FASTEST MILE EXPOSURE "B")

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

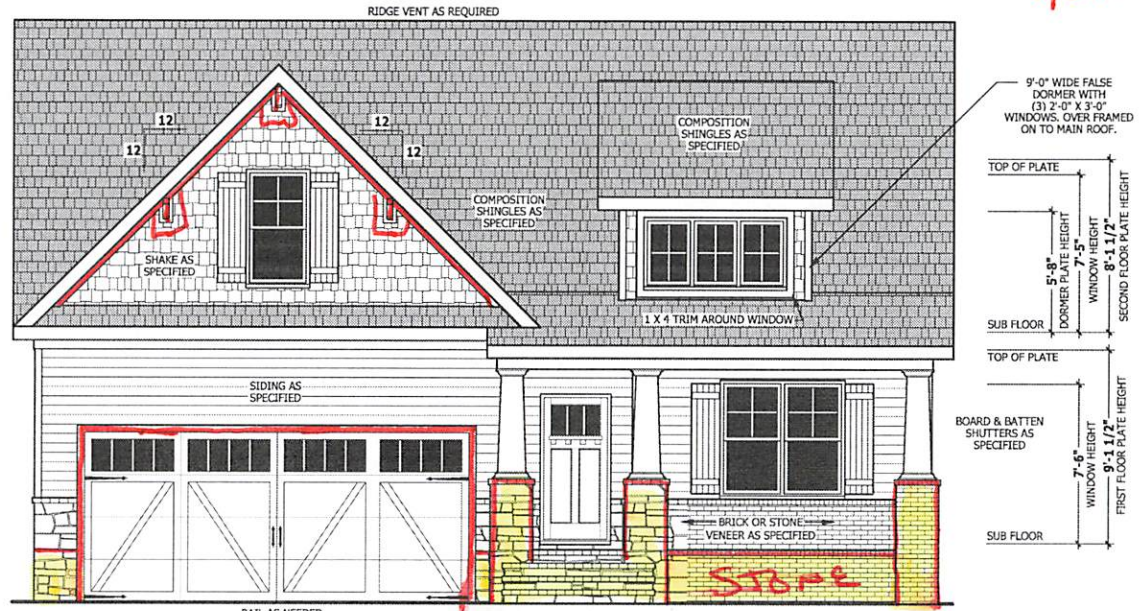
MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.7 -18.0	17.5 -18.9	18.2 -19.6	18.7 -20.2
ZONE 2	16.7 -21.0	17.5 -22.1	18.2 -22.9	18.7 -23.5
ZONE 3	16.7 -21.0	17.5 -22.1	18.2 -22.9	18.7 -23.5
ZONE 4	18.2 -19.0	19.1 -20.0	19.8 -20.7	20.4 -21.3
ZONE 5	18.2 -24.0	19.1 -25.2	19.8 -26.2	20.4 -26.9

GUARD RAIL NOTES

SECTION R312
R312.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Inset screening shall not be considered as a guard.
R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.
Exceptions:
 1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
 2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.
R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.
Exceptions:
 1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
 2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

ROOF VENTILATION

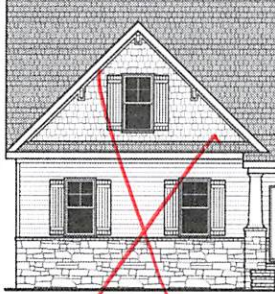
SECTION R806
 SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,477 SQ. FT.
 NET FREE GROSS VENTILATION NEEDED:
 WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 16.51 SQ. FT.
 WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS 1 OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 8.26 SQ. FT.



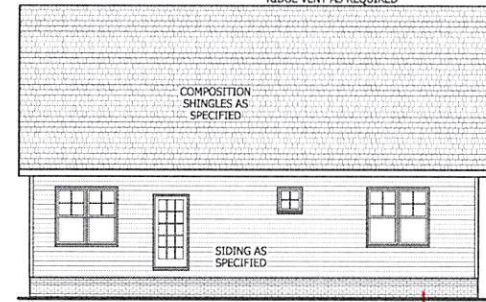
FRONT ELEVATION
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE

HEATED	HEATED OPTIONAL	UNHEATED	UNHEATED OPTIONAL
FIRST FLOOR	CAROLINA ROOM	FRONT PORCH	SCREENED PORCH
1766 SQ. FT.	148 SQ. FT.	188 SQ. FT.	160 SQ. FT.
PLAYROOM	RECREATION ROOM	FRONT GARAGE	DECK / PATIO
400 SQ. FT.	304 SQ. FT.	488 SQ. FT.	108 SQ. FT.
TOTAL	TOTAL	TOTAL	THIRD GARAGE
2166 SQ. FT.	452 SQ. FT.	676 SQ. FT.	292 SQ. FT.
			TOTAL
			560 SQ. FT.



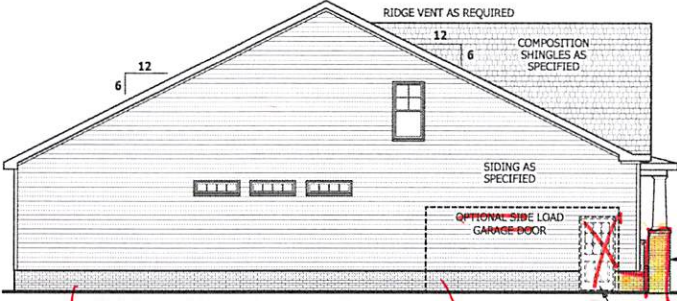
WINDOWS WITH SIDE LOAD



REAR ELEVATION
SCALE 1/8" = 1'-0"

AIR LEAKAGE

Section N1102.4
N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E.2.4 of this code:
 1. Backing and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
 2. Capping and sealing shafts or chases, including fire shafts.
 3. Capping and sealing soffit or dropped ceiling areas.



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

WHENEVER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONTRACTOR BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

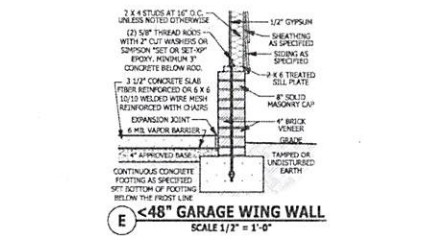
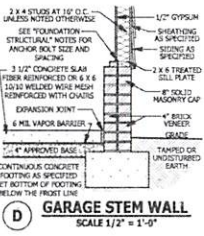
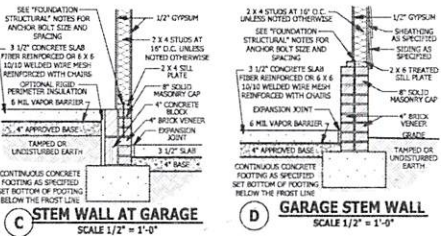
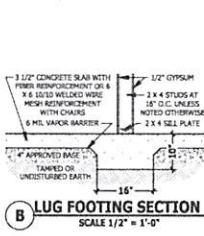
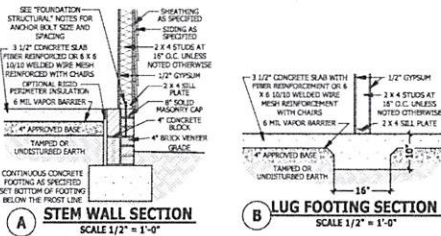
ELEVATION
The Lauren H

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 2401 BOX 102, WAKE FOREST, NC 27388 919.456.0180 Fax: 919.456.8143

SQUARE FOOTAGE

HEATED	HEATED OPTIONAL	UNHEATED	UNHEATED OPTIONAL
FIRST FLOOR	CAROLINA ROOM	FRONT PORCH	SCREENED PORCH
1766 SQ. FT.	148 SQ. FT.	188 SQ. FT.	160 SQ. FT.
PLAYROOM	RECREATION ROOM	FRONT GARAGE	DECK / PATIO
400 SQ. FT.	304 SQ. FT.	488 SQ. FT.	108 SQ. FT.
TOTAL	TOTAL	TOTAL	THIRD GARAGE
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			TOTAL
			560 SQ. FT.

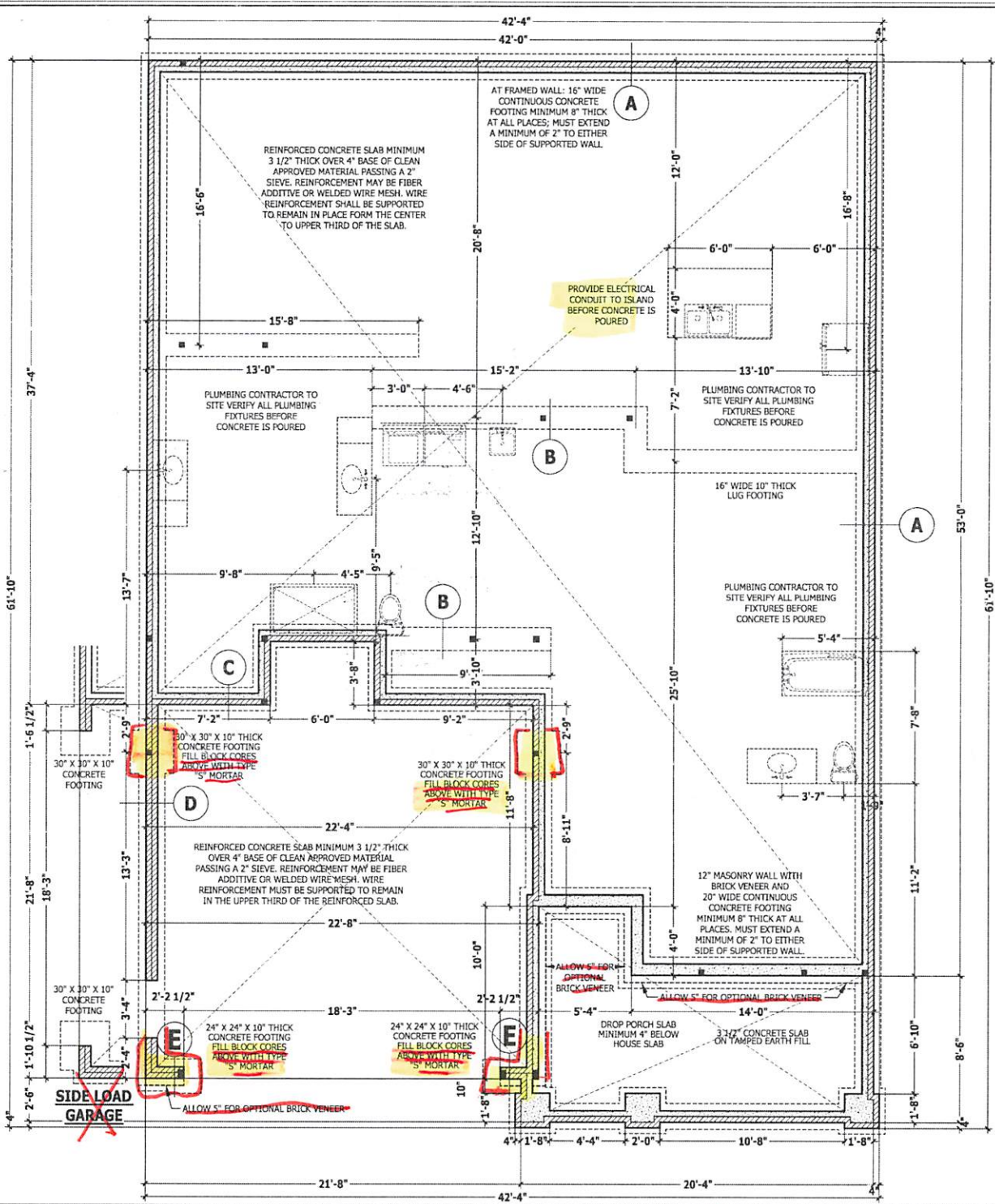


FOUNDATION STRUCTURAL

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)
CONTINUOUS FOOTING: 16" wide and 8" thick minimum, 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.
GIRDERS: (3) 2 x 10 girder unless noted otherwise.
PIERS: 16" x 16" piers with 8" solid masonry cap on 30" x 30" x 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.
POINT LOADS: ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.
115 and 120 MPH ANCHOR BOLTS: 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
130 MPH ANCHOR BOLTS: 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
CONCRETE: Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.
SOILS: Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

STEM WALL SLAB PLAN

SCALE 1/4" = 1'-0"



PLUMBER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL ARCHITECT, ENGINEER OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

STEM WALL SLAB PLAN
The Lauren H

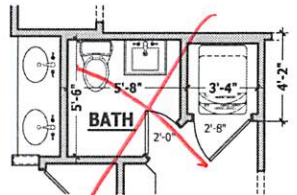
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 HOME PLANS INC
 1411 W. 102nd Ave., Suite 100, Denver, CO 80231 • 919-660-1096

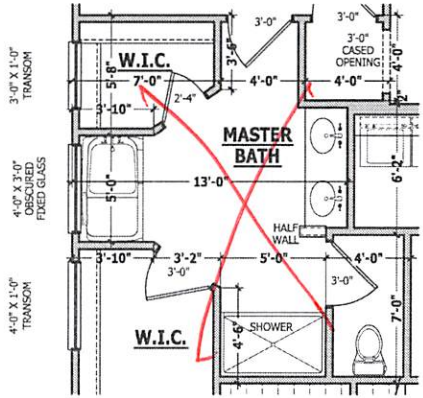
SQUARE FOOTAGE

RELATED	1796 SQ. FT.
PRET FLOOR	180 SQ. FT.
1ST FLOOR	2100 SQ. FT.
2ND FLOOR	2100 SQ. FT.
3RD FLOOR	2100 SQ. FT.
4TH FLOOR	2100 SQ. FT.
5TH FLOOR	2100 SQ. FT.
6TH FLOOR	2100 SQ. FT.
7TH FLOOR	2100 SQ. FT.
8TH FLOOR	2100 SQ. FT.
9TH FLOOR	2100 SQ. FT.
10TH FLOOR	2100 SQ. FT.
11TH FLOOR	2100 SQ. FT.
12TH FLOOR	2100 SQ. FT.
13TH FLOOR	2100 SQ. FT.
14TH FLOOR	2100 SQ. FT.
15TH FLOOR	2100 SQ. FT.
16TH FLOOR	2100 SQ. FT.
17TH FLOOR	2100 SQ. FT.
18TH FLOOR	2100 SQ. FT.
19TH FLOOR	2100 SQ. FT.
20TH FLOOR	2100 SQ. FT.
21TH FLOOR	2100 SQ. FT.
22TH FLOOR	2100 SQ. FT.
23TH FLOOR	2100 SQ. FT.
24TH FLOOR	2100 SQ. FT.
25TH FLOOR	2100 SQ. FT.
26TH FLOOR	2100 SQ. FT.
27TH FLOOR	2100 SQ. FT.
28TH FLOOR	2100 SQ. FT.
29TH FLOOR	2100 SQ. FT.
30TH FLOOR	2100 SQ. FT.
31TH FLOOR	2100 SQ. FT.
32TH FLOOR	2100 SQ. FT.
33TH FLOOR	2100 SQ. FT.
34TH FLOOR	2100 SQ. FT.
35TH FLOOR	2100 SQ. FT.
36TH FLOOR	2100 SQ. FT.
37TH FLOOR	2100 SQ. FT.
38TH FLOOR	2100 SQ. FT.
39TH FLOOR	2100 SQ. FT.
40TH FLOOR	2100 SQ. FT.
41TH FLOOR	2100 SQ. FT.
42TH FLOOR	2100 SQ. FT.
43TH FLOOR	2100 SQ. FT.
44TH FLOOR	2100 SQ. FT.
45TH FLOOR	2100 SQ. FT.
46TH FLOOR	2100 SQ. FT.
47TH FLOOR	2100 SQ. FT.
48TH FLOOR	2100 SQ. FT.
49TH FLOOR	2100 SQ. FT.
50TH FLOOR	2100 SQ. FT.

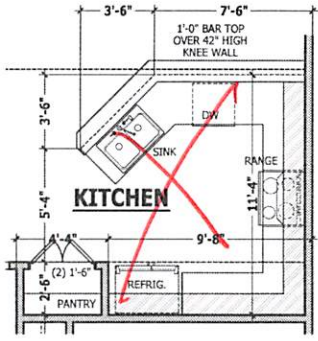
Raised Hcourt w/ stone



OPTIONAL HALF BATH



OPTIONAL MASTER BATH

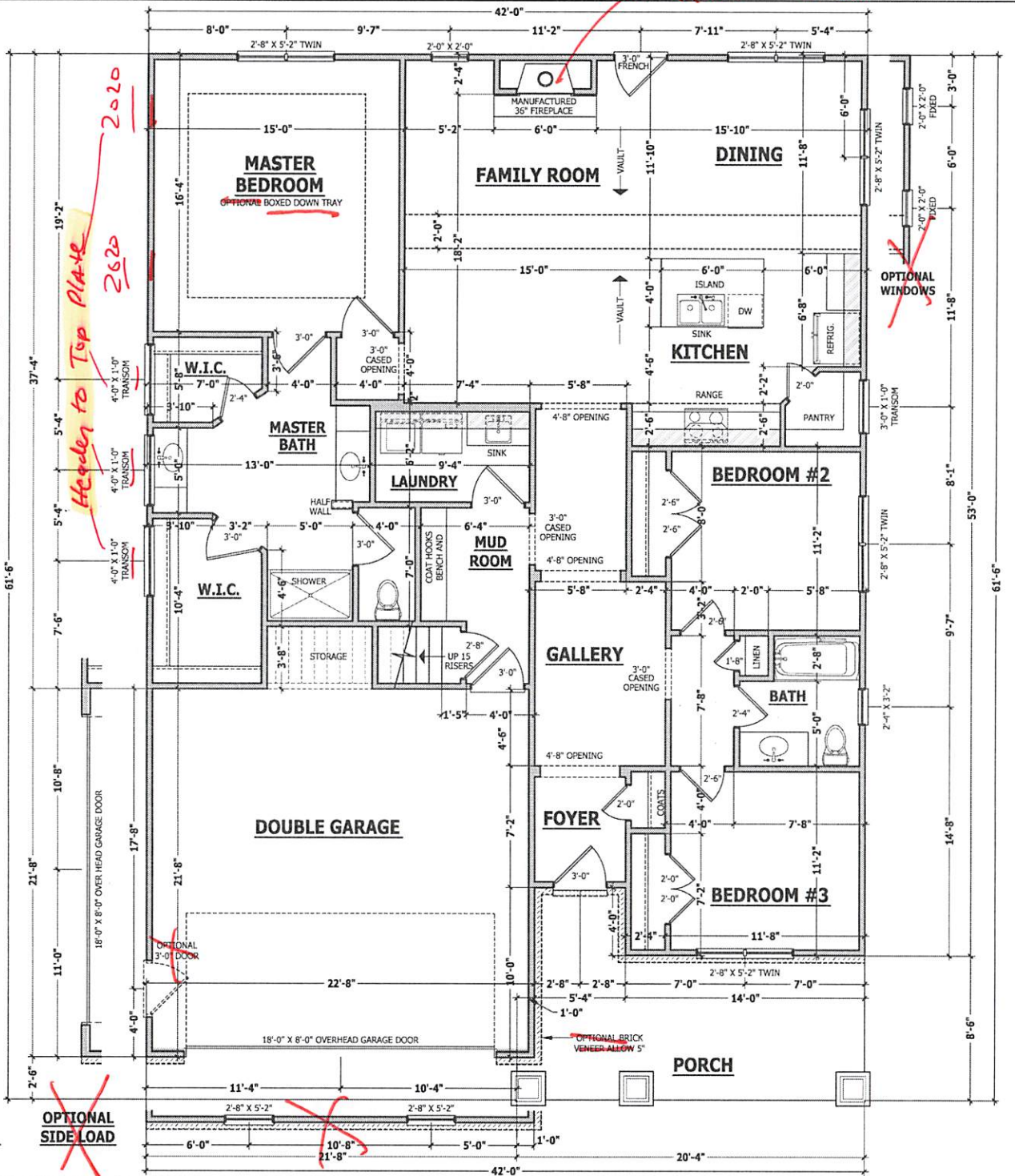


OPTIONAL KITCHEN

SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	493 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



OPTIONAL SIDE LOAD

PROVIDER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FIRST FLOOR PLAN
The Lauren H

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SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	493 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

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STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Belconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	--	--
Snow	20	--	--

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SPF #2 (Fb = 750 PSI) unless noted other wise.

ENGINEERED WOOD BEAMS:
Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=265 PSI, E=1.9x10⁶ PSI
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10⁶ PSI
Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI
Install all connectors per manufacturers instructions.

TRUSS AND I-JOIST MEMBERS: All roof truss and I-joint layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joint layout shall be coordinated with Haynes Home Plans, Inc.
LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span. 6" x 4" x 5/16" steel angle with 3" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

CONCRETE AND SOILS: See foundation notes.

EXTERIOR HEADERS

(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5	6

INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

BRACE WALL PANEL NOTES

EXTERIOR WALLS: All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

GYPSUM: All interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method GB to be fastened per table R602.10.1.

REQUIRED LENGTH OF BRACING: Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 it's actual length. Method PF contributes 1.5 times its actual length.
HD: 800 lbs hold down hold down device fastened to the edge of the brace wall panel closets to the corner.

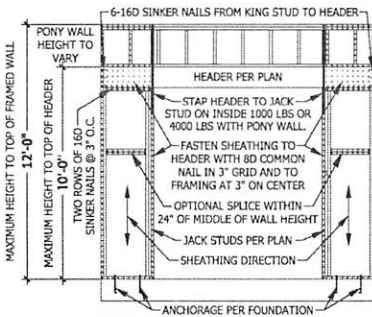
Methods Per Table R602.10.1

CS-WSP: Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.113" diameter).

CS-SFB: Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails.

GB: Interior walls show as GB are to have minimum 1/2" gypsum on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or #6 screws.

PF: Portal frame per figure R602.10.1



PF PORTAL FRAME AT OPENING

(METHOD PF PER FIGURE AND SECTION R602.10.1)
SCALE 1/4" = 1'-0"

ROOF TRUSS REQUIREMENTS

TRUSS DESIGN: Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

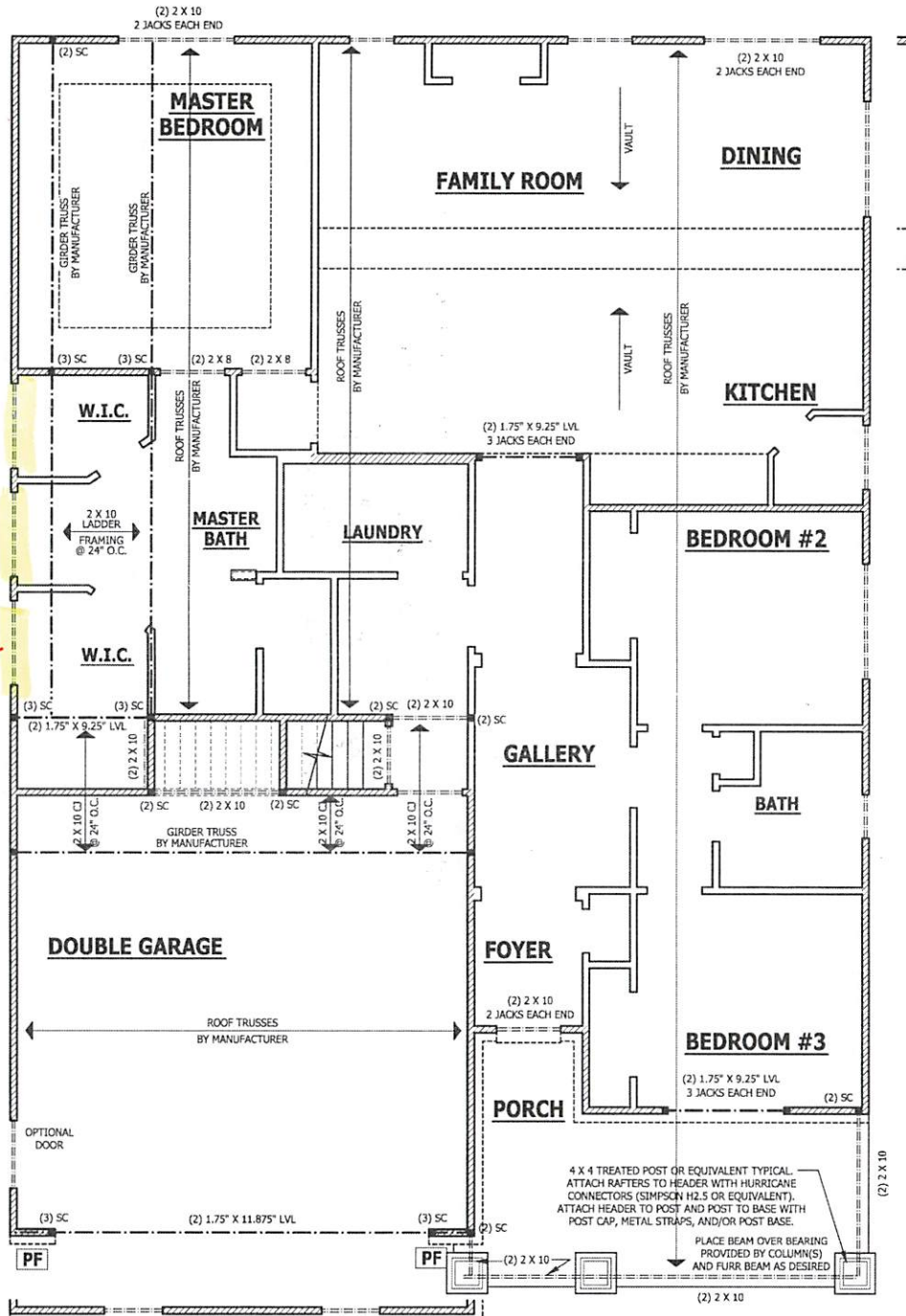
KNEE WALL AND CEILING HEIGHTS: All finished knee wall heights and ceiling heights are shown furled down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

ANCHORAGE: All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

BEARING: All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems: See elevation page(s) for plate heights and floor system thicknesses.

Header to top plate



FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CONDITIONS AND MATERIALS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FIRST FLOOR STRUCTURAL
The Lauren H

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SQUARE FOOTAGE	
HEATED FIRST FLOOR	1766 SQ. FT.
HEATED SECOND FLOOR	1766 SQ. FT.
TOTAL	3532 SQ. FT.
UNHEATED PORCH	144 SQ. FT.
SCREENED PORCH	144 SQ. FT.
UNHEATED GARAGE	692 SQ. FT.
UNHEATED FRONT PORCH	144 SQ. FT.
UNHEATED REAR PORCH	144 SQ. FT.
SCREENED PORCH	144 SQ. FT.
DECK (PAVED)	144 SQ. FT.
TOTAL	5808 SQ. FT.

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ROOF TRUSS REQUIREMENTS

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JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	L/240	
Attics with limited storage	20	10	L/350
Attics with fixed stairs	40	10	L/350
Balconies and decks	40	10	L/350
Fire escapes	40	10	L/350
Guardrails and handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	10	L/350
Rooms other than sleeping	40	10	L/350
Sleeping rooms	30	10	L/350
Stairs	40	--	L/360
Snow	20	--	--

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

ENGINEERED WOOD BEAMS:
Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.5x10⁶ PSI
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10⁶ PSI
Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI
Install all connections per manufacturer's instructions.

TRUSS AND I-JOIST MEMBERS: All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Home Plans, Inc.

LIMITS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 3/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

CONCRETE AND SOILS: See foundation notes.

ATTIC ACCESS

SECTION R807

R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m²) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

Exceptions:

1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
2. Pull down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

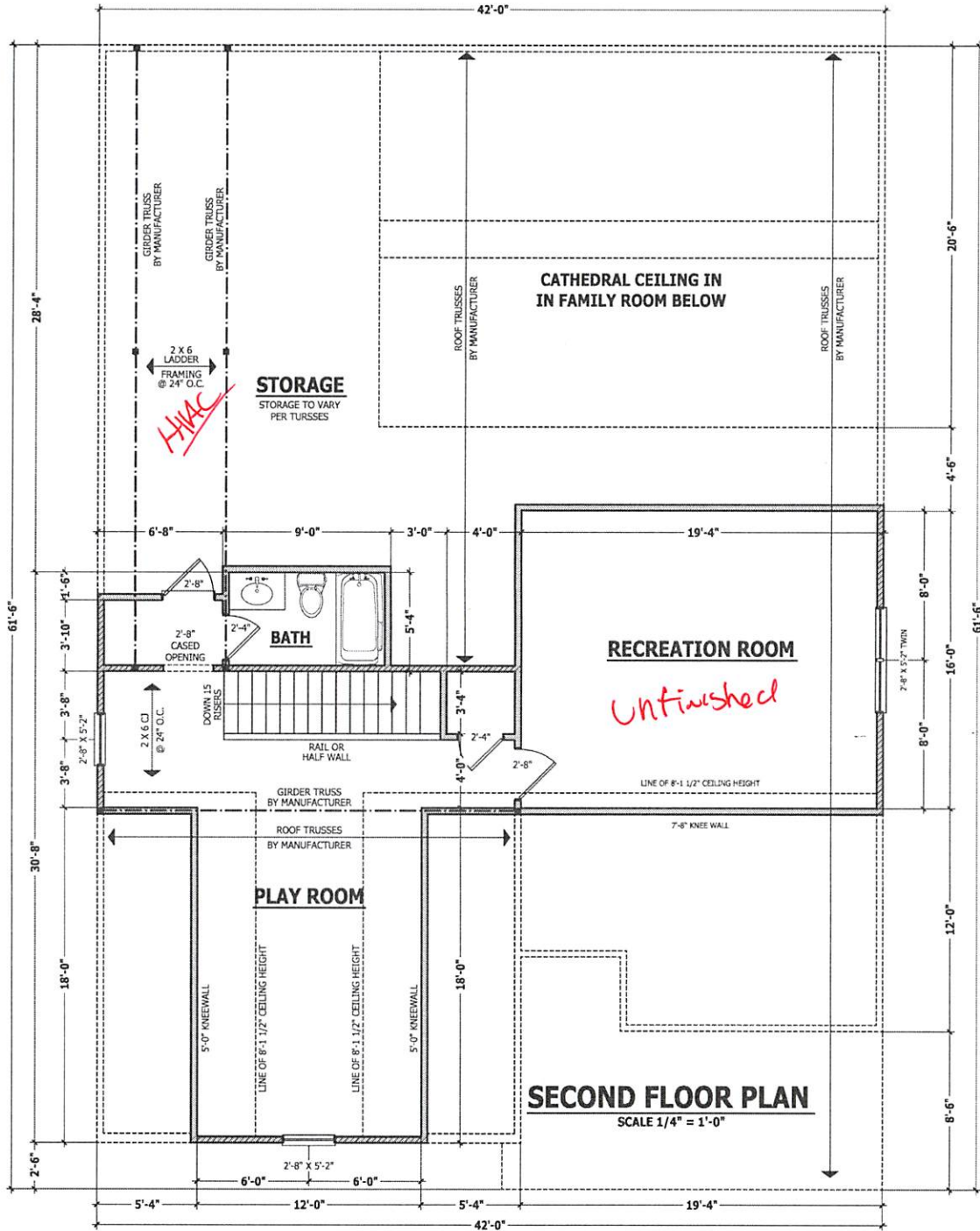
EXTERIOR HEADERS

- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4"	4'-8"	8'-12"	12'-16"
KING STUD(S)	1	2	3	5	6

INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE LADDER FRAMED



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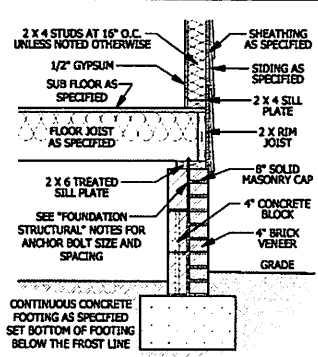
SECOND FLOOR PLAN
The Lauren H

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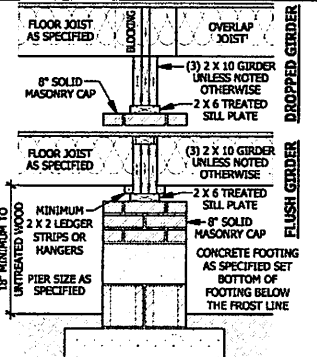
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10100 W. HAYNES DRIVE, SUITE 100, RAYNES, NC 27588

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1,186 SQ. FT.
HEATED SECOND FLOOR	2,136 SQ. FT.
HEATED TOTAL	3,322 SQ. FT.
UNHEATED CAROLINA ROOM	146 SQ. FT.
UNHEATED RECREATION ROOM	952 SQ. FT.
UNHEATED TOTAL	1,098 SQ. FT.
UNHEATED FRONT PORCH	188 SQ. FT.
UNHEATED GARAGE	498 SQ. FT.
UNHEATED TOTAL	686 SQ. FT.
SCREENED PORCH	146 SQ. FT.
DECK	202 SQ. FT.
THIRD GARAGE	202 SQ. FT.
TOTAL	5,054 SQ. FT.

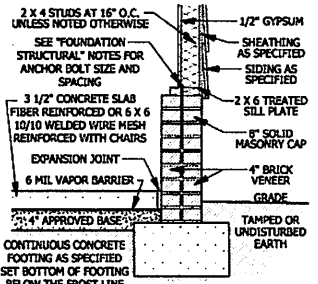
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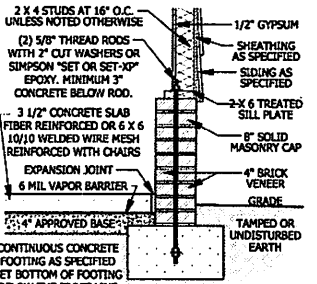
A CRAWL SPACE WALL
SCALE 3/4" = 1'-0"



B DROPPED/ FLUSH PIER
SCALE 3/4" = 1'-0"



C GARAGE STEM WALL
SCALE 3/4" = 1'-0"



D <48\"/> GARAGE WING WALL
SCALE 3/4" = 1'-0"

DECK STAIR NOTES
SECTION AM110
AM110.1 Stairs shall be constructed per Figure AM110. Stringers shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each stringer shall have maximum 3 1/2 inches between step out and back of stringer. If used, suspended headers shall be attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.

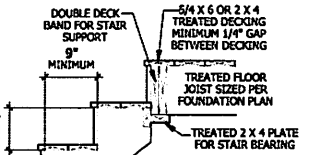
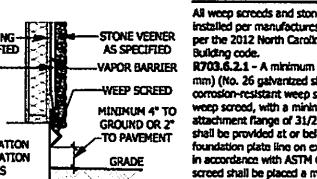
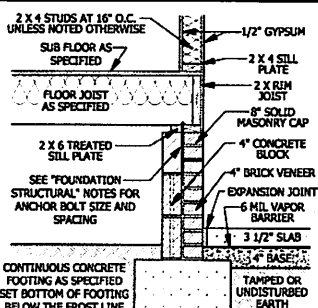


FIGURE AM110
TYPICAL DECK STAIR DETAIL
SCALE 3/4" = 1'-0"

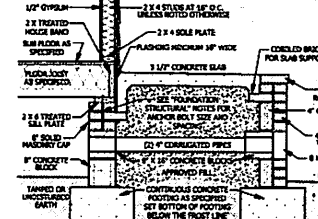
DECK BRACING
SECTION AM109
AM109.1 Deck bracing, decks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.
AM109.1.1 When the deck floor height is less than 4'-0" above finished grade per AM107.1, the deck is attached to the structure in accordance with Section AM104, lateral bracing is not required.
AM109.1.2 4 x 4 wood knee braces may be provided on each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the horizontal. Knee braces shall be bolted to the post and the galvanized band with one 5/8 inch hot dip galvanized bolt with nut and washer at each end of the brace per Figure AM109.1
AM109.1.3 For freestanding decks without knee braces or diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2 and the following:
TABLE:
POST SIZE | THRU WALL | MAX. POST HEIGHT | BRACING DEPTH | CONCRETE DIAMETER
4 x 4 | 48 SF | 4'-0" | 2'-6" | 1'-0"
6 x 6 | 120 SF | 6'-0" | 3'-6" | 1'-8"



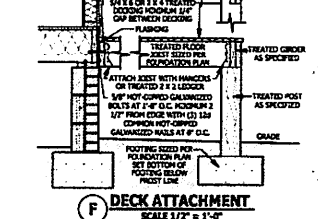
WEEP SCREED
SCALE 3/4" = 1'-0"



G CRAWL SPACE AT GARAGE
SCALE 3/4" = 1'-0"

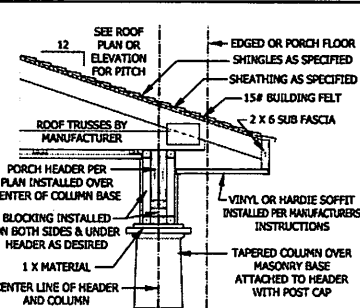


H FILLED PORCH SECTION WITH VENT
SCALE 1/2" = 1'-0"

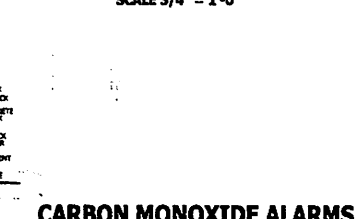


I DECK ATTACHMENT
SCALE 1/2" = 1'-0"

SMOKE ALARMS
SECTION R314
R314.1 Smoke detection and notification. All smoke alarms shall be fitted in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.
R314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire alarm system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent feature of the occupancy and owned by the homeowner. The system shall be monitored by an alarm supervising station and be maintained in accordance with NFPA 72.
Exceptions: Where smoke alarms are provided meeting the requirements of Section R314.4.
R314.3 Location. Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basement and habitable attic (finished) but not including crawl space, unfinished attic (unfinished) attic and uninhabitable (unfinished) attic-stories. In dwellings or dwelling units with split levels and where a basement or finished level is adjacent to the level, a smoke alarm installed on the upper level shall surface for the adjacent lower level provided that the lower level is less than one full story below the upper level. A smoke alarm is required to be installed within an individual dwelling unit if the alarm device shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit.
R314.4 Power source. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnect switch other than those required for overcurrent protection. Smoke alarms shall be interconnected.

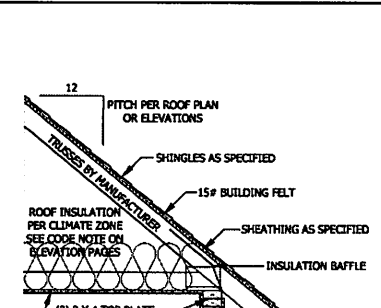


J PORCH HEADER WITH TAPERED COLUMN
SCALE 3/4" = 1'-0"

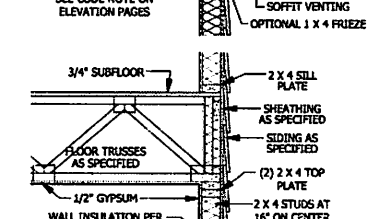


K CARBON MONOXIDE ALARMS
SECTION R315

R315.1 Carbon monoxide alarms. In new construction, dwelling units shall be provided with an approved carbon monoxide alarm installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) as directed by the alarm manufacturer.
R315.2 Where required in existing dwellings, where interior alterations, repairs, fuel-fired appliance replacements, or additions requiring a permit occur, or where one or more sleeping rooms are added or created, carbon monoxide alarms shall be provided in accordance with Section 315.1.
R315.3 Alarm requirements. The required carbon monoxide alarms shall be audible in all bedrooms over background noise levels with all intervening doors closed. Single station carbon monoxide alarms shall be listed as complying with UL 2004 and shall be installed in accordance with this code and the manufacturer's installation instructions.



L TYPICAL WALL DETAIL
SCALE 3/4" = 1'-0"



M TYPICAL STAIR DETAIL
SCALE 1/4" = 1'-0"

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TYPICAL DETAILS
The Lauren H

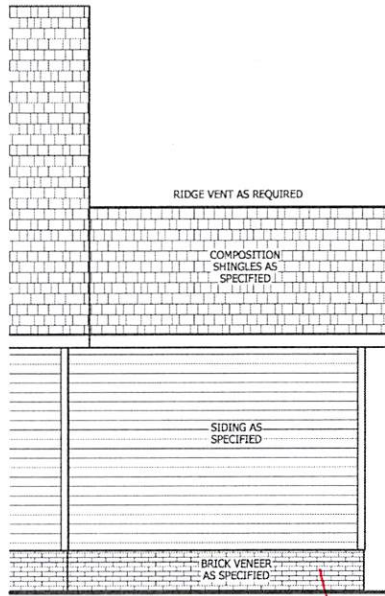
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2022198

SQUARE FOOTAGE

POST SIZE	THRU WALL	MAX. POST HEIGHT	BRACING DEPTH	CONCRETE DIAMETER
4 x 4	48 SF	4'-0"	2'-6"	1'-0"
6 x 6	120 SF	6'-0"	3'-6"	1'-8"

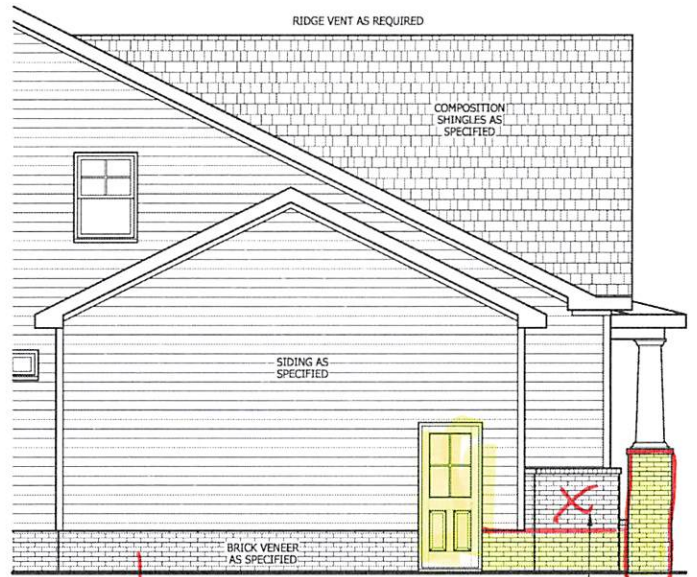
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REAR ELEVATION

SCALE 1/4" = 1'-0"

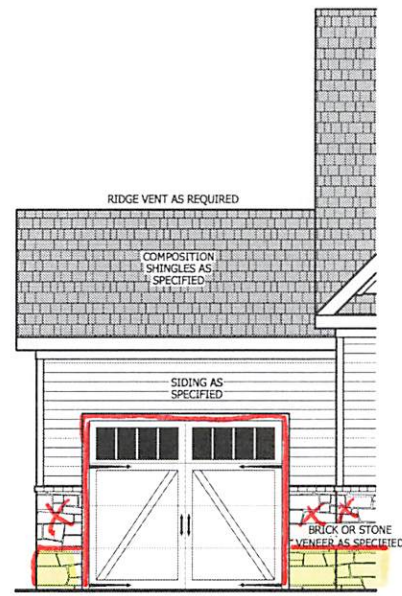
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SIDE ELEVATION

SCALE 1/4" = 1'-0"

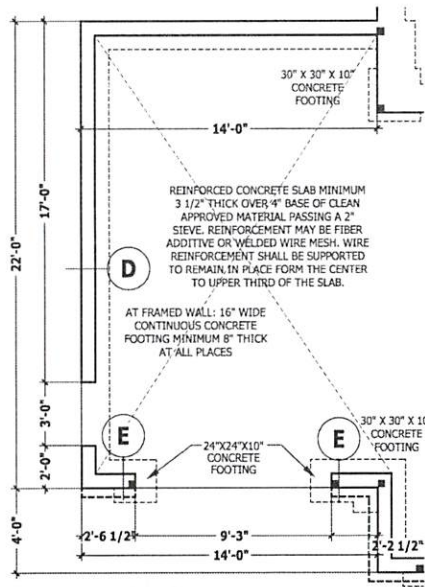
PAGE 5



FRONT ELEVATION

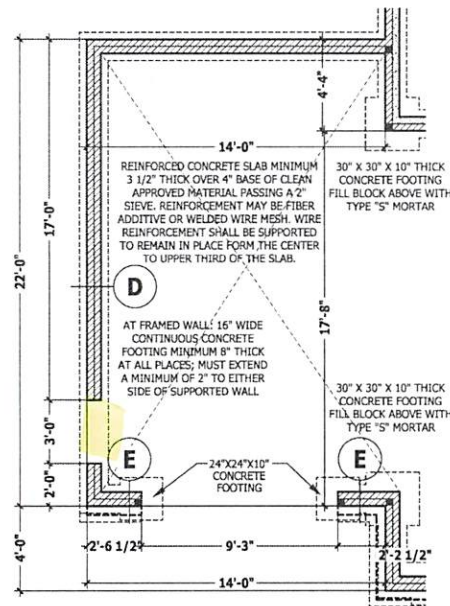
SCALE 1/4" = 1'-0"

SEE BASE PLAN FOR NOTES AND DETAILS



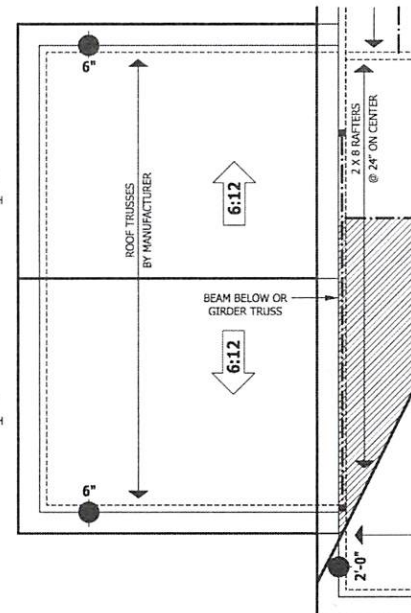
MONOLITHIC SLAB PLAN

SCALE 1/4" = 1'-0"



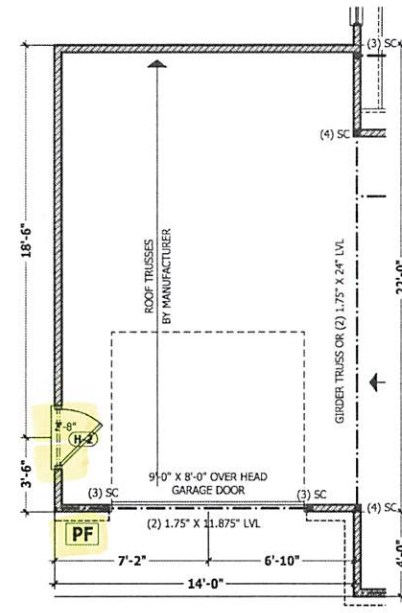
CRAWL SPACE / STEM WALL

SCALE 1/4" = 1'-0"



ROOF PLAN

SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

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THIRD GARAGE ADDENDUM
The Lauren H

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HAYNES HOME PLANS, INC.
P.O. BOX 7024, WYCKE, NORTH CAROLINA 27688 319-355-1180 FAX 1666-81-4036

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1766 SQ. FT.
UNHEATED FIRST FLOOR	482 SQ. FT.
HEATED OPTIONAL CAROLINA KITCHEN	146 SQ. FT.
UNHEATED OPTIONAL CAROLINA KITCHEN	146 SQ. FT.
UNHEATED FRONT PORCH	188 SQ. FT.
UNHEATED GARAGE	482 SQ. FT.
UNHEATED OPTIONAL SCREENED PORCH	146 SQ. FT.
UNHEATED OPTIONAL THIRD GARAGE	482 SQ. FT.
TOTAL	3406 SQ. FT.

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ADDENDUM

