

PLANS DESIGNED TO THE 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE

CLIMATE ZONE	MEAN ROOF HEIGHT: 19'-9"			HEIGHT TO RIDGE: 27'-5"		
	ZONE 3A	ZONE 4A	ZONE 5A	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35			
SKYLIGHT U-FACTOR	0.55	0.55	0.55			
GLAZED FENESTRATION SHGC	0.30	0.30	0.30			
CEILING R-VALUE	38 OR 20/21	38 OR 20/21	38 OR 20/21			
WALL R-VALUE	15	15	15			
FLOOR R-VALUE	19	19	19			
FOUNDATION WALL R-VALUE	5/13	10/15	10/15			
** SLAB R-VALUE	0	10	10			
** CRAWL SPACE WALL R-VALUE	5/13	10/15	10/15			

** 10/15 MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION
** INSULATION DEPTH WITH MONOLITHIC SLAB 2" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING. INSULATION DEPTH WITH STEM WALL SHALL BE 2" OR TO BOTTOM OF FOUNDATION WALL. DESIGNED FOR WIND SPEED OF 120 MPH. 3 SECOND GUST (33 FASTEST MILE EXPOSURE "B")

MEAN ROOF	UP TO 30'			30'-1" TO 35'			35'-1" TO 40'			40'-1" TO 45'					
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5
14.2	15.0	14.9	15.8	15.5	16.4	15.9	16.8	16.2	17.1	16.9	17.8	17.2	18.1	17.9	18.8
14.2	15.0	14.9	15.8	15.5	16.4	15.9	16.8	16.2	17.1	16.9	17.8	17.2	18.1	17.9	18.8
14.2	15.0	14.9	15.8	15.5	16.4	15.9	16.8	16.2	17.1	16.9	17.8	17.2	18.1	17.9	18.8
14.2	15.0	14.9	15.8	15.5	16.4	15.9	16.8	16.2	17.1	16.9	17.8	17.2	18.1	17.9	18.8
14.2	15.0	14.9	15.8	15.5	16.4	15.9	16.8	16.2	17.1	16.9	17.8	17.2	18.1	17.9	18.8

MEAN ROOF	UP TO 30'			30'-1" TO 35'			35'-1" TO 40'			40'-1" TO 45'					
	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5
16.7	18.0	17.5	18.9	18.2	19.6	18.7	20.2	19.1	20.6	19.8	21.3	20.2	21.7	20.9	22.4
16.7	18.0	17.5	18.9	18.2	19.6	18.7	20.2	19.1	20.6	19.8	21.3	20.2	21.7	20.9	22.4
16.7	18.0	17.5	18.9	18.2	19.6	18.7	20.2	19.1	20.6	19.8	21.3	20.2	21.7	20.9	22.4
16.7	18.0	17.5	18.9	18.2	19.6	18.7	20.2	19.1	20.6	19.8	21.3	20.2	21.7	20.9	22.4
16.7	18.0	17.5	18.9	18.2	19.6	18.7	20.2	19.1	20.6	19.8	21.3	20.2	21.7	20.9	22.4

GUARD RAIL NOTES

SECTION R312

R312.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Inset screening shall not be considered as a guard.

R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Exceptions:

1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.

2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.

R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.

2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

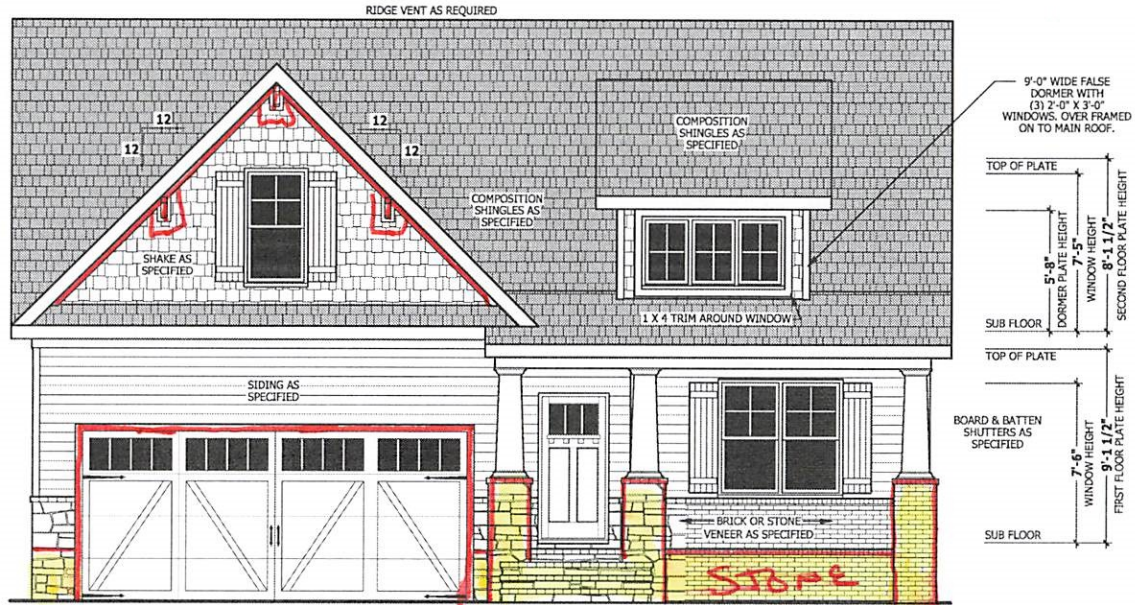
ROOF VENTILATION

SECTION R806

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,477 SQ. FT.

NET FREE GROSS VENTILATION NEEDED:

WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 16.51 SQ. FT.
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS 1 OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 8.26 SQ. FT.



FRONT ELEVATION

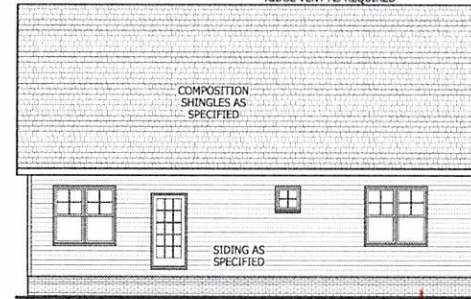
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	400 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.



WINDOWS WITH SIDE LOAD



REAR ELEVATION

SCALE 1/8" = 1'-0"

AIR LEAKAGE

Section N1102.4

N1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:
1. Backing and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including fire shafts.
3. Capping and sealing soffit or dropped ceiling areas.



LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"

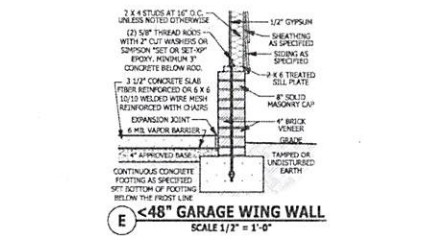
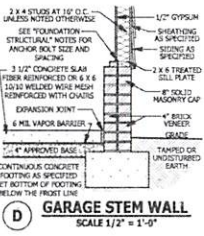
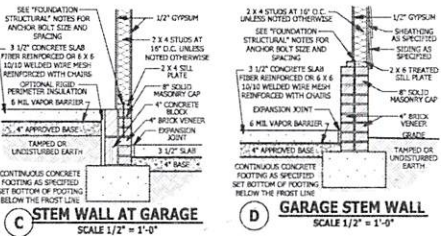
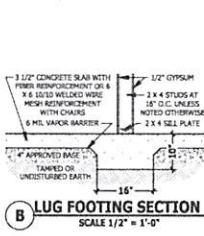
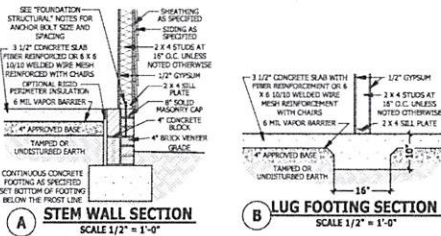
WHENEVER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR'S PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGN, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

ELEVATION
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	400 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

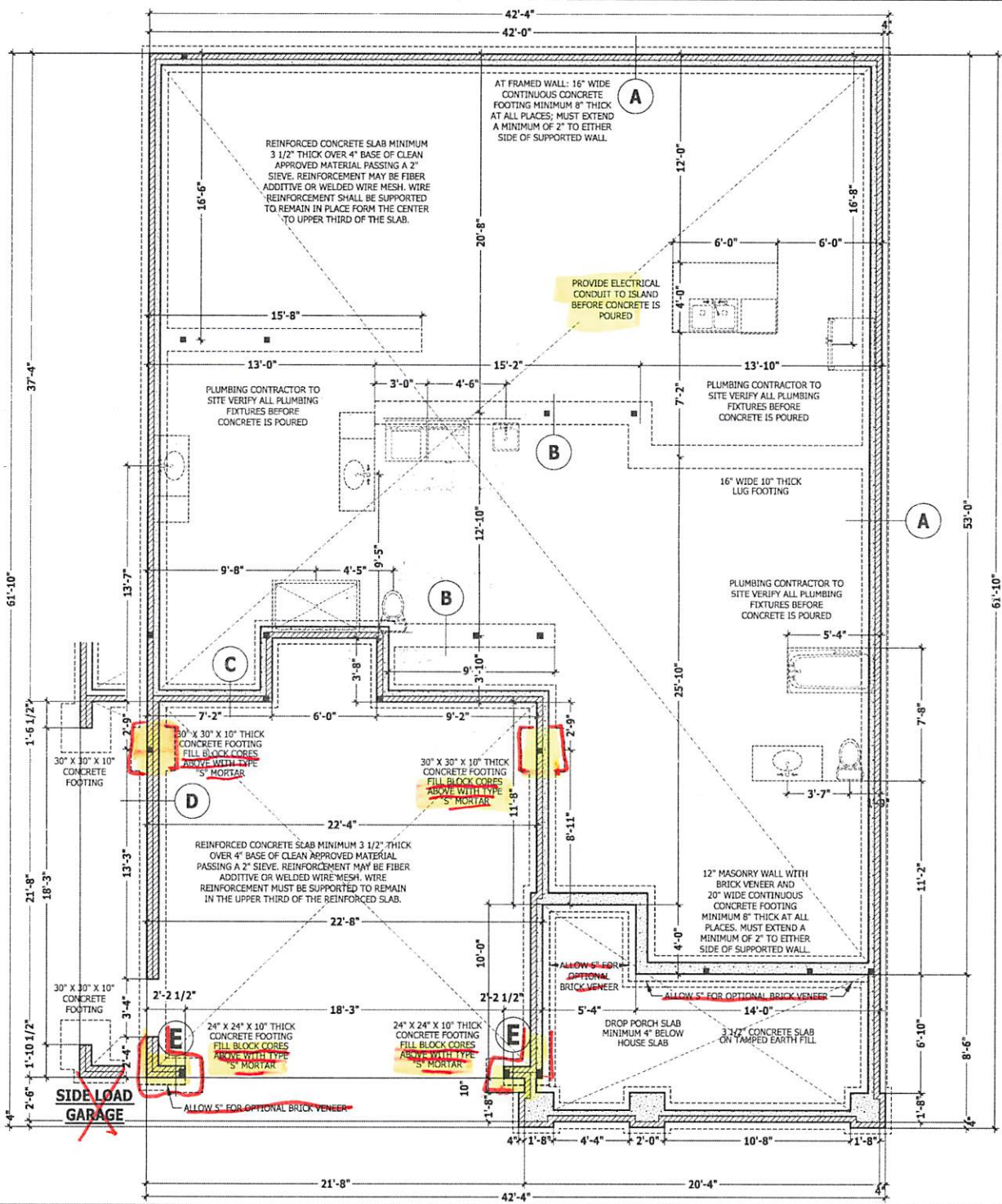


FOUNDATION STRUCTURAL

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)
CONTINUOUS FOOTING: 16" wide and 8" thick minimum, 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.
GIRDERS: (3) 2 x 10 girder unless noted otherwise.
PIERS: 16" x 16" piers with 8" solid masonry cap on 30" x 30" x 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.
POINT LOADS: ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.
115 and 120 MPH ANCHOR BOLTS: 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
130 MPH ANCHOR BOLTS: 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
CONCRETE: Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.
SOILS: Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

STEM WALL SLAB PLAN

SCALE 1/4" = 1'-0"



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES. CONDITIONS AND CONVENTIONS MAY VARY WITH LOCATION. A LOCAL ARCHITECT, ENGINEER OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

STEM WALL SLAB PLAN
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SQUARE FOOTAGE

RELATED	1786 SQ. FT.
PRET FLOOR	480 SQ. FT.
1ST FLOOR	2106 SQ. FT.
2ND FLOOR	2106 SQ. FT.
3RD FLOOR	2106 SQ. FT.
4TH FLOOR	2106 SQ. FT.
5TH FLOOR	2106 SQ. FT.
6TH FLOOR	2106 SQ. FT.
7TH FLOOR	2106 SQ. FT.
8TH FLOOR	2106 SQ. FT.
9TH FLOOR	2106 SQ. FT.
10TH FLOOR	2106 SQ. FT.
11TH FLOOR	2106 SQ. FT.
12TH FLOOR	2106 SQ. FT.
13TH FLOOR	2106 SQ. FT.
14TH FLOOR	2106 SQ. FT.
15TH FLOOR	2106 SQ. FT.
16TH FLOOR	2106 SQ. FT.
17TH FLOOR	2106 SQ. FT.
18TH FLOOR	2106 SQ. FT.
19TH FLOOR	2106 SQ. FT.
20TH FLOOR	2106 SQ. FT.
21TH FLOOR	2106 SQ. FT.
22TH FLOOR	2106 SQ. FT.
23TH FLOOR	2106 SQ. FT.
24TH FLOOR	2106 SQ. FT.
25TH FLOOR	2106 SQ. FT.
26TH FLOOR	2106 SQ. FT.
27TH FLOOR	2106 SQ. FT.
28TH FLOOR	2106 SQ. FT.
29TH FLOOR	2106 SQ. FT.
30TH FLOOR	2106 SQ. FT.
31TH FLOOR	2106 SQ. FT.
32TH FLOOR	2106 SQ. FT.
33TH FLOOR	2106 SQ. FT.
34TH FLOOR	2106 SQ. FT.
35TH FLOOR	2106 SQ. FT.
36TH FLOOR	2106 SQ. FT.
37TH FLOOR	2106 SQ. FT.
38TH FLOOR	2106 SQ. FT.
39TH FLOOR	2106 SQ. FT.
40TH FLOOR	2106 SQ. FT.
41TH FLOOR	2106 SQ. FT.
42TH FLOOR	2106 SQ. FT.
43TH FLOOR	2106 SQ. FT.
44TH FLOOR	2106 SQ. FT.
45TH FLOOR	2106 SQ. FT.
46TH FLOOR	2106 SQ. FT.
47TH FLOOR	2106 SQ. FT.
48TH FLOOR	2106 SQ. FT.
49TH FLOOR	2106 SQ. FT.
50TH FLOOR	2106 SQ. FT.

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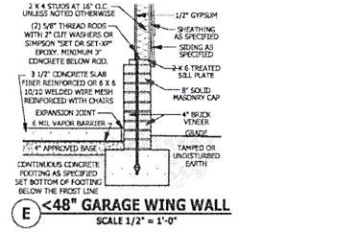
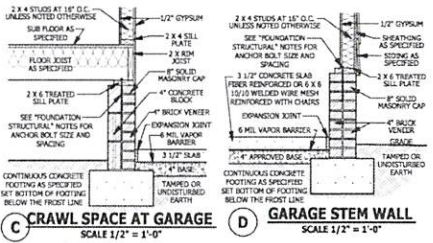
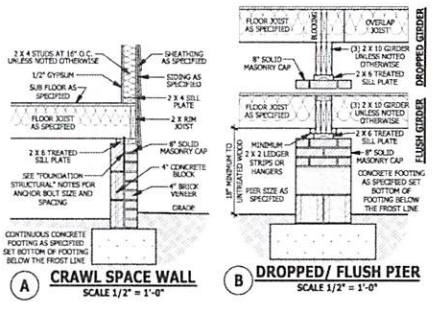
CRAWL SPACE PLAN
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SQUARE FOOTAGE	
HEATED FLOOR	1766 SQ.FT.
HEATED CRAWL	2128 SQ.FT.
HEATED OPTION	2128 SQ.FT.
CARLENA ROOM	146 SQ.FT.
RESERVATION ROOM	146 SQ.FT.
UNHEATED	632 SQ.FT.
SCREENED PORCH	188 SQ.FT.
GARAGE	188 SQ.FT.
UNHEATED OPTION	188 SQ.FT.
SCREENED PORCH	146 SQ.FT.
UNHEATED OPTION	146 SQ.FT.
THIRD GARAGE	282 SQ.FT.
TOTAL	4082 SQ.FT.

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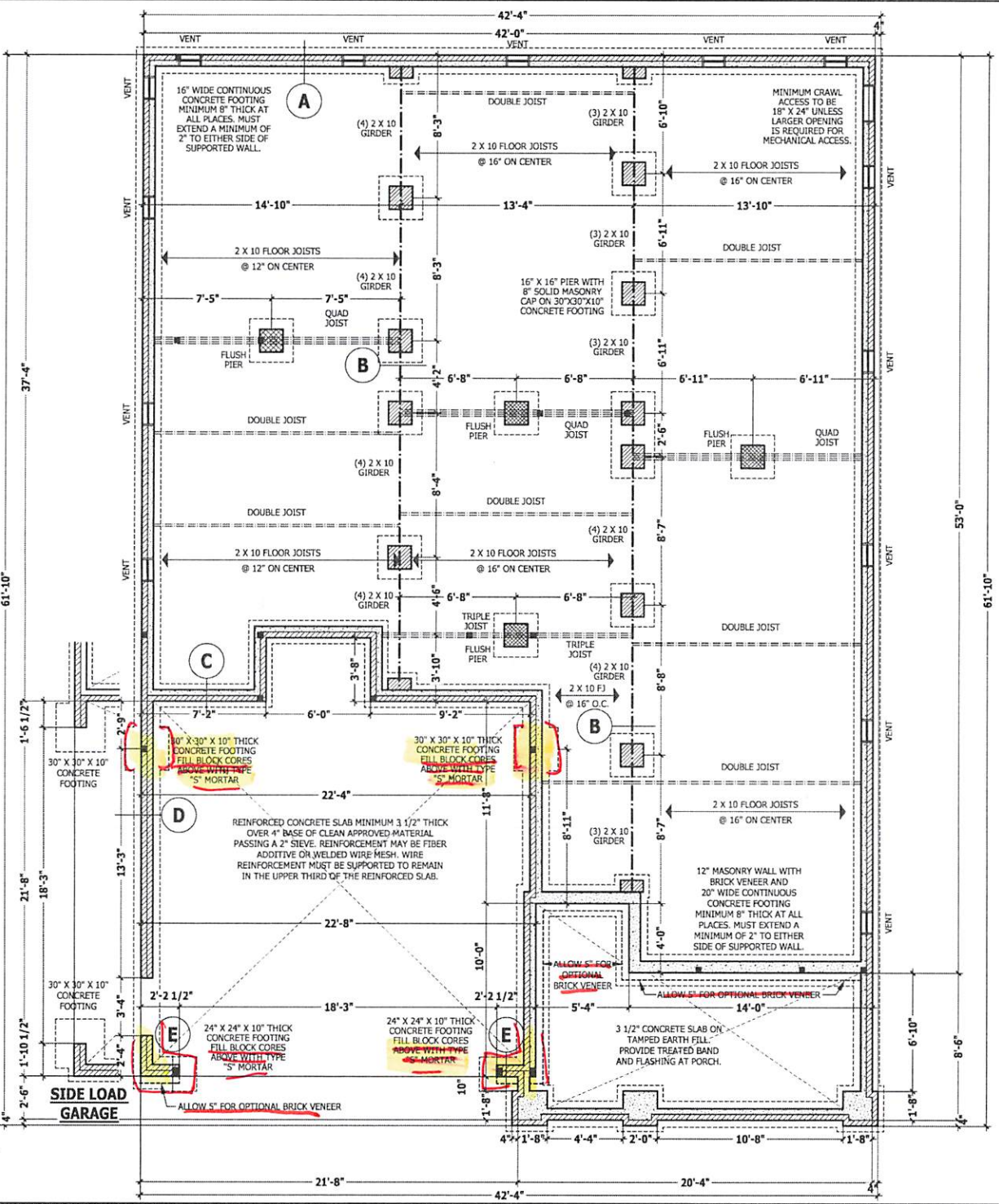
CLOSED CRAWL PER R409 OR WALL VENTED CRAWL SPACE

UNDER-FLOOR SPACE (SECTION R408)
 SQUARE FOOTAGE OF FOUNDATION TO BE VENTED = 1,704 SQ.FT.
 WITHOUT CROSS VENTILATION AREA OF VENTING NEEDED = 11.36 SQ.FT.
 WITH CROSS VENTILATION AREA OF VENTING NEEDED = 11.36 SQ.FT.
 NOTE: NUMBER OF VENTS NEEDED WILL VARY DEPENDING ON VENTS USED AND CROSS VENTILATION.

FOUNDATION STRUCTURAL

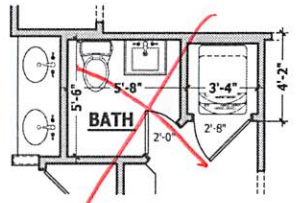
115 to 130 mph wind zone (1 1/2 to 2 1/2 story)
CONTINUOUS FOOTING: 16" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.
GIRDERS: (3) 2 X 10 girder unless noted otherwise.
PIERS: 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.
POINT LOADS: ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.
115 and 120 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
130 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.
CONCRETE: Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.
SOILS: Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

CRAWL SPACE PLAN
 SCALE 1/4" = 1'-0"

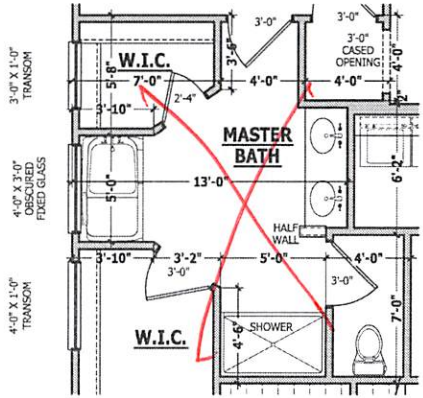


SIDE LOAD GARAGE

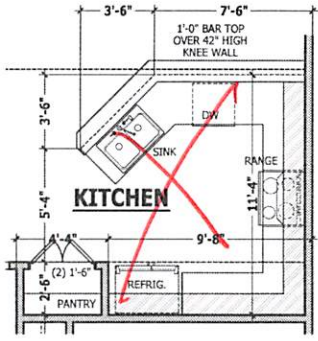
Raised Hcourt w/ stone



OPTIONAL HALF BATH



OPTIONAL MASTER BATH

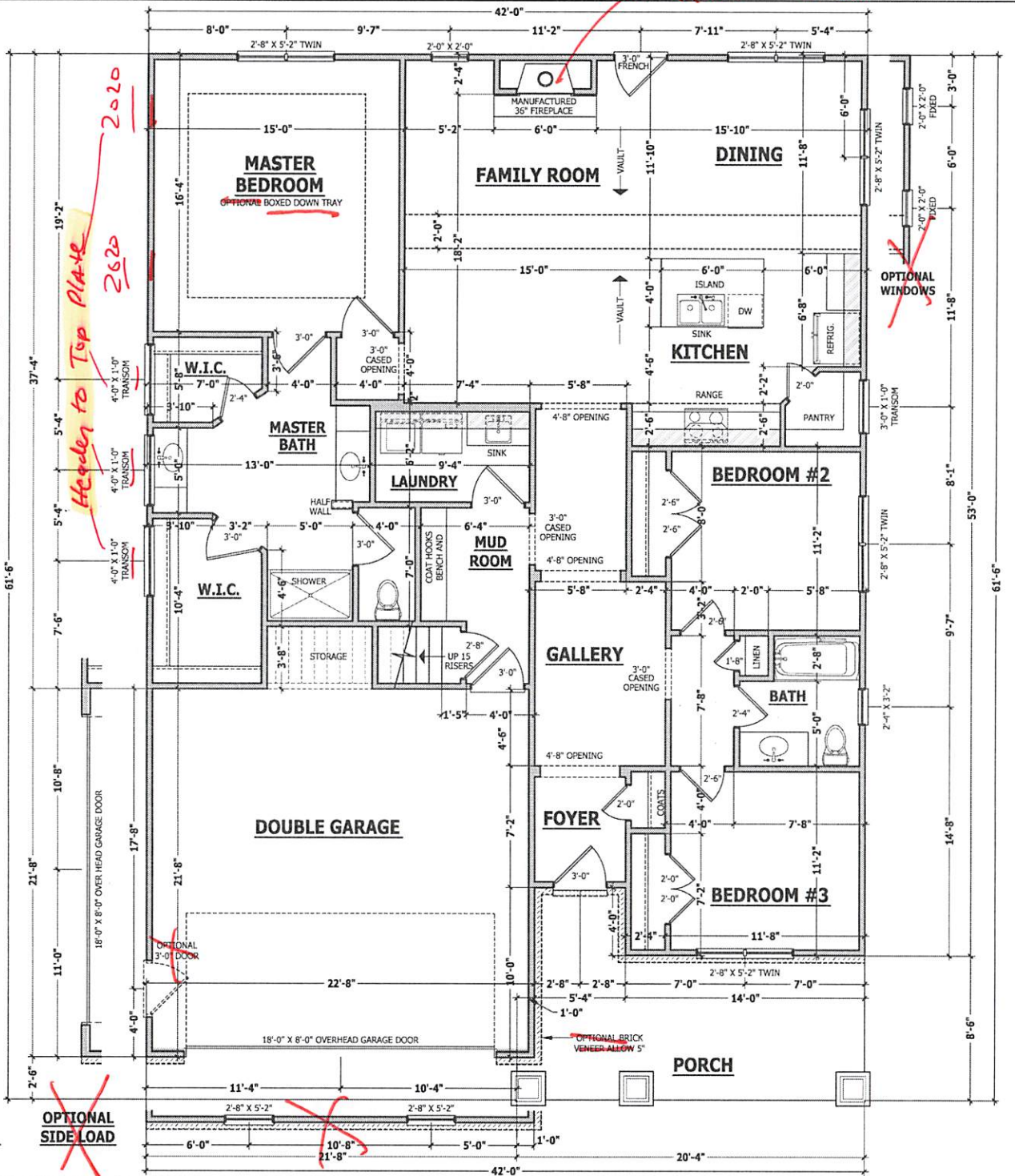


OPTIONAL KITCHEN

SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	493 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



OPTIONAL SIDE LOAD

PROVIDER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FIRST FLOOR PLAN
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SQUARE FOOTAGE

HEATED	
FIRST FLOOR	1766 SQ. FT.
PLAYROOM	493 SQ. FT.
TOTAL	2166 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
RECREATION ROOM	304 SQ. FT.
TOTAL	452 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	676 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK / PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

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ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

ANCHORAGE. All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

BEARING. All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights and floor system thicknesses.

STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	L/240	
Attics with limited storage	20	L/350	
Attics with fixed stairs	40	L/350	
Balconies and decks	40	L/350	
Fire escapes	40	L/350	
Guardrails and handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	L/350	
Rooms other than sleeping	40	L/350	
Sleeping rooms	30	L/350	
Stairs	40	L/350	
Snow	20	--	--

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.

ENGINEERED WOOD BEAMS:
Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.5x10⁶ PSI
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10⁶ PSI
Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10⁶ PSI
Install all connections per manufacturer's instructions.

TRUSS AND I-JOIST MEMBERS: All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Home Plans, Inc.

LIMITS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 3/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

CONCRETE AND SOILS: See foundation notes.

ATTIC ACCESS

SECTION R807

R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m²) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

Exceptions:

1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
2. Pull down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

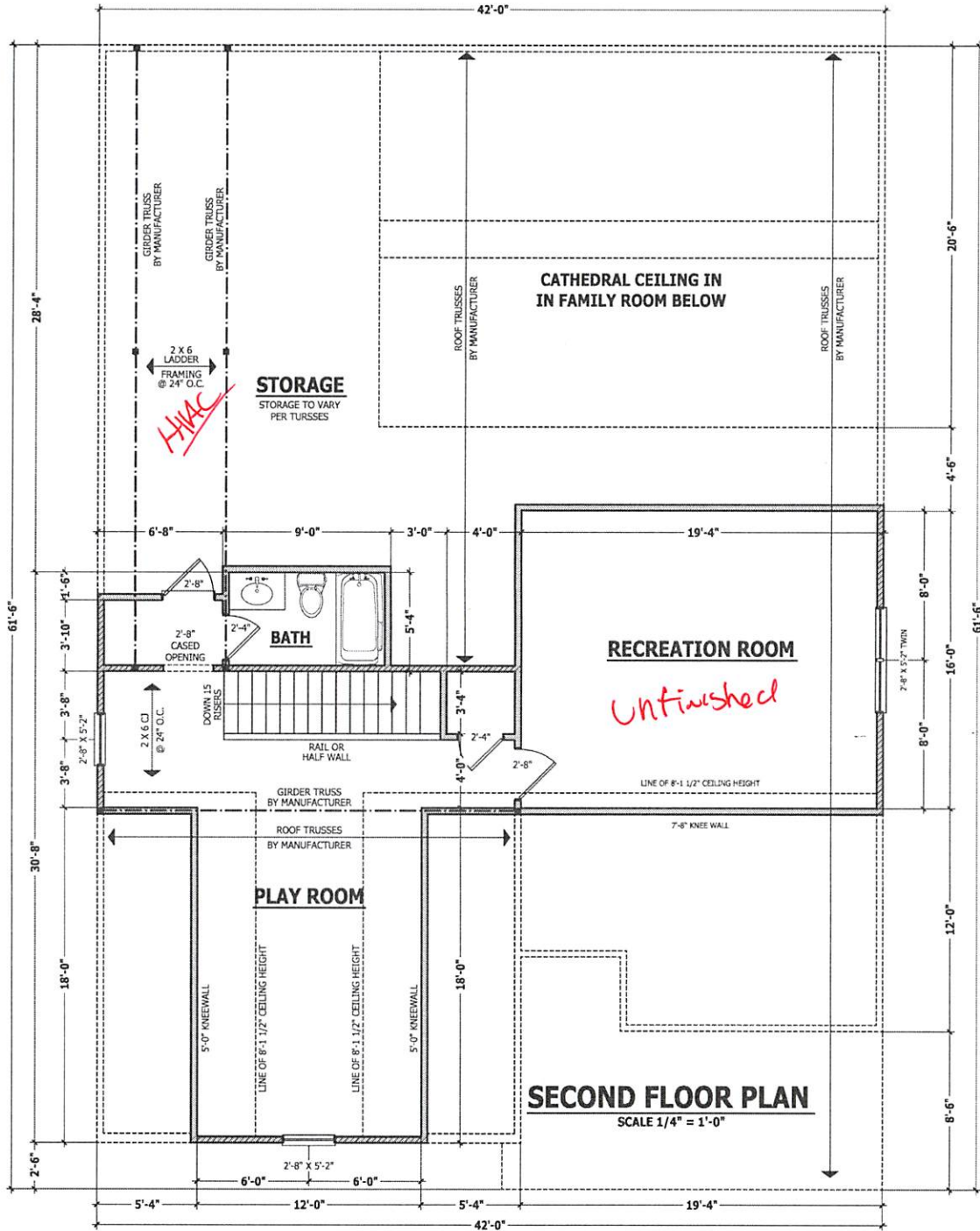
EXTERIOR HEADERS

- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE
- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5	6

INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE LADDER FRAMED



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SECOND FLOOR PLAN
The Lauren H

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SQUARE FOOTAGE	
HEATED FIRST FLOOR	1,186 SQ. FT.
HEATED SECOND FLOOR	2,136 SQ. FT.
HEATED TOTAL	3,322 SQ. FT.
UNHEATED CAROLINA ROOM	146 SQ. FT.
UNHEATED RECREATION ROOM	952 SQ. FT.
UNHEATED TOTAL	1,098 SQ. FT.
UNHEATED PERCENT PORCH	188 SQ. FT.
UNHEATED GARAGE	498 SQ. FT.
UNHEATED TOTAL	686 SQ. FT.
SCREENED PORCH	146 SQ. FT.
DECK PATIO	202 SQ. FT.
THIRD GARAGE	202 SQ. FT.
TOTAL	5,054 SQ. FT.

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ROOF PLAN
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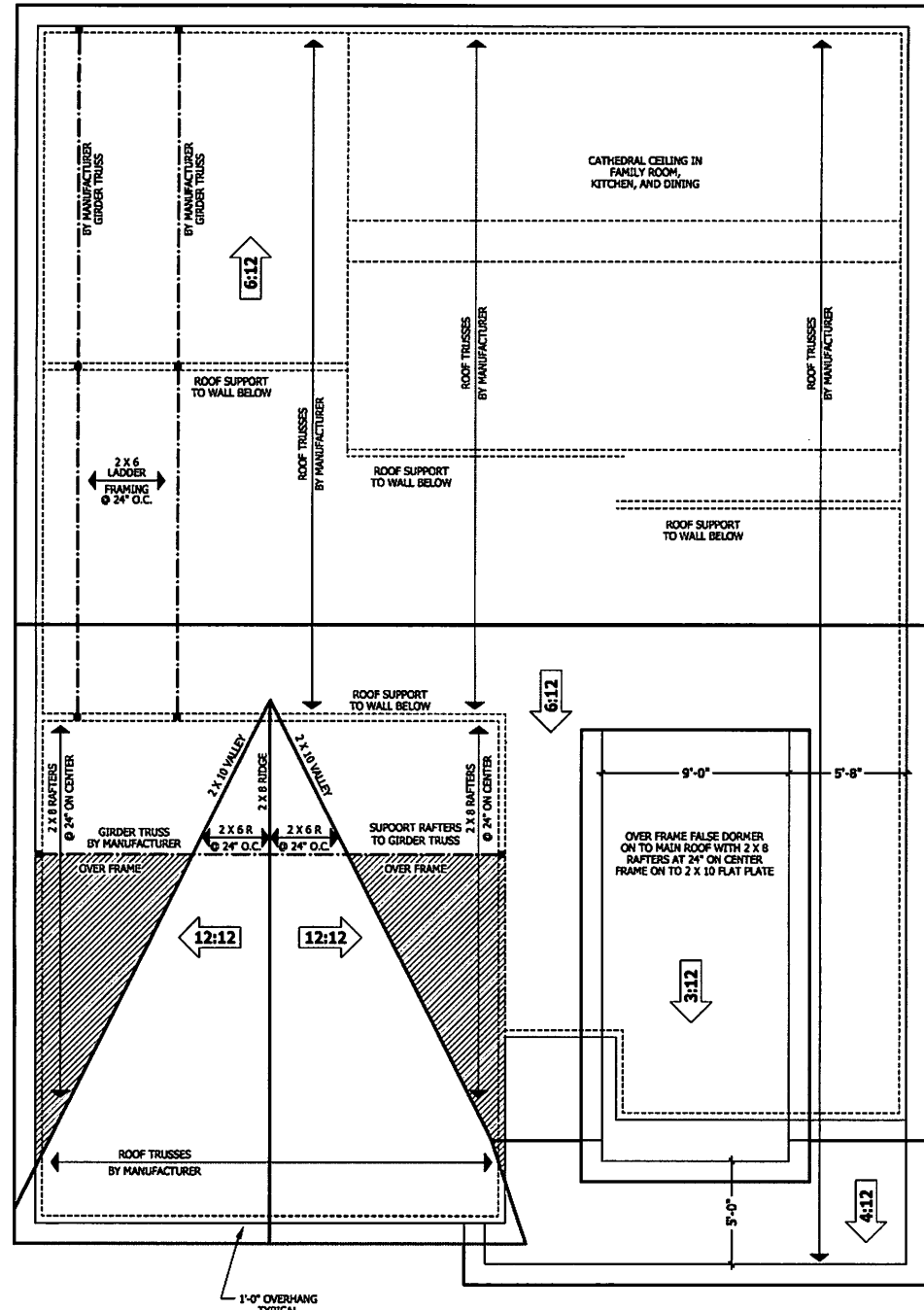
SQUARE FOOTAGE	
RELATED	
FIRST FLOOR	1,116 SQ. FT.
SECOND FLOOR	1,116 SQ. FT.
THIRD FLOOR	1,116 SQ. FT.
UNRELATED	
SCREENED PORCH	116 SQ. FT.
SCREENED PATIO	116 SQ. FT.
SCREENED DECK	116 SQ. FT.
SCREENED BALCONY	116 SQ. FT.
SCREENED TERRACE	116 SQ. FT.
SCREENED PERGOLA	116 SQ. FT.
SCREENED GARAGE	116 SQ. FT.
SCREENED DRIVEWAY	116 SQ. FT.
SCREENED WALKWAY	116 SQ. FT.
SCREENED STAIRWAY	116 SQ. FT.
SCREENED PORCH	116 SQ. FT.
SCREENED PATIO	116 SQ. FT.
SCREENED DECK	116 SQ. FT.
SCREENED BALCONY	116 SQ. FT.
SCREENED TERRACE	116 SQ. FT.
SCREENED PERGOLA	116 SQ. FT.
SCREENED GARAGE	116 SQ. FT.
SCREENED DRIVEWAY	116 SQ. FT.
SCREENED WALKWAY	116 SQ. FT.
SCREENED STAIRWAY	116 SQ. FT.

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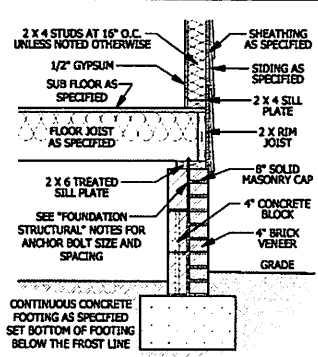
ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.
KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights are shown turned down 10° from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.
ANCHORAGE. All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.
BEARING. All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.
PLATE HEIGHTS & FLOOR SYSTEMS. See elevation page(s) for plate heights and floor system thicknesses.

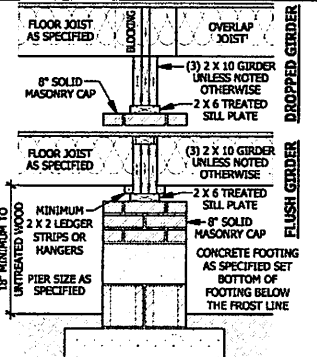
● HEEL HEIGHT ABOVE FIRST FLOOR PLATE
● HEEL HEIGHT ABOVE SECOND FLOOR PLATE



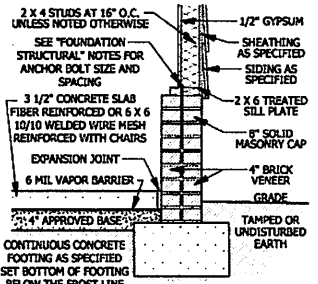
ROOF PLAN
SCALE 1/4" = 1'-0"



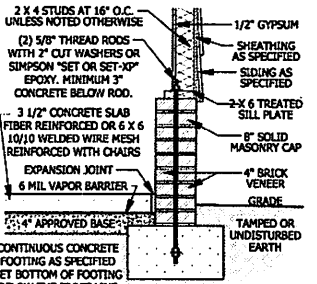
A CRAWL SPACE WALL
SCALE 3/4" = 1'-0"



B DROPPED/ FLUSH PIER
SCALE 3/4" = 1'-0"



C GARAGE STEM WALL
SCALE 3/4" = 1'-0"



D <48\"/> GARAGE WING WALL
SCALE 3/4" = 1'-0"

DECK STAIR NOTES
SECTION AM110
AM110.1 Stairs shall be constructed per Figure AM110. Stringers shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each stringer shall have maximum 3 1/2 inches between step out and back of stringer. If used, suspended headers shall be attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.

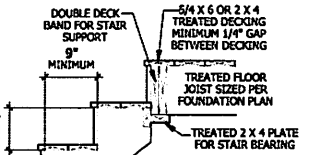
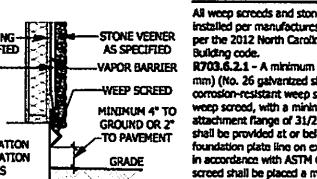
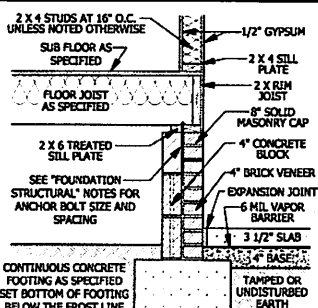


FIGURE AM110
TYPICAL DECK STAIR DETAIL
SCALE 3/4" = 1'-0"

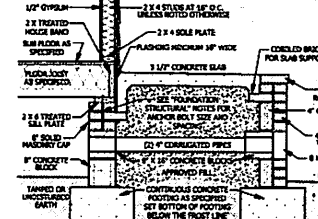
DECK BRACING
SECTION AM109
AM109.1 Deck bracing, decks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.
AM109.1.1 When the deck floor height is less than 4'-0" above finished grade per AM107.1, the deck is attached to the structure in accordance with Section AM104, lateral bracing is not required.
AM109.1.2 4 x 4 wood knee braces may be provided on each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the horizontal. Knee braces shall be bolted to the post and the galvanized band with one 5/8 inch hot dip galvanized bolt with nut and washer at each end of the brace per Figure AM109.1
AM109.1.3 For freestanding decks without knee braces or diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2 and the following:
TABLE:
POST SIZE | THRU WALL | MAX. POST HEIGHT | BRACING DEPTH | CONCRETE DIAMETER
4 x 4 | 48 SF | 4'-0" | 2'-6" | 1'-0"
6 x 6 | 120 SF | 6'-0" | 3'-6" | 1'-8"



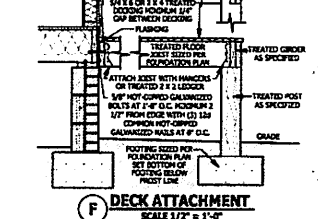
WEEP SCREED
SCALE 3/4" = 1'-0"



G CRAWL SPACE AT GARAGE
SCALE 3/4" = 1'-0"

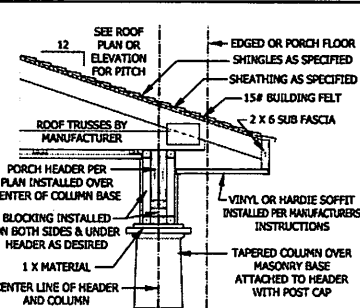


H FILLED PORCH SECTION WITH VENT
SCALE 1/2" = 1'-0"

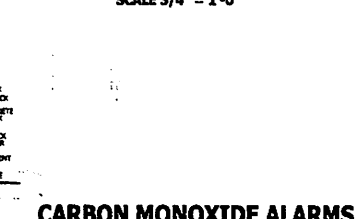


I DECK ATTACHMENT
SCALE 1/2" = 1'-0"

SMOKE ALARMS
SECTION R314
R314.1 Smoke detection and notification. All smoke alarms shall be fitted in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.
R314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device, installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire alarm system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent feature of the occupancy and owned by the homeowner. The system shall be monitored by an alarm supervising station and be maintained in accordance with NFPA 72.
Exceptions: Where smoke alarms are provided meeting the requirements of Section R314.4.
R314.3 Location. Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basement and habitable attic (finished) but not including crawl space, unfinished attic (unfinished) and uninhabitable (unfinished) attic stories. In dwellings or dwelling units with split levels and where a basement or finished level is adjacent to the level, a smoke alarm installed on the upper level shall surface for the adjacent lower level provided that the lower level is less than one full story below the upper level. A smoke alarm is required to be installed within an individual dwelling unit if the alarm device shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit.
R314.4 Power source. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnect switch other than those required for overcurrent protection. Smoke alarms shall be interconnected.

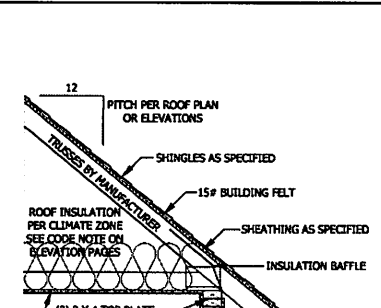


J PORCH HEADER WITH TAPERED COLUMN
SCALE 3/4" = 1'-0"

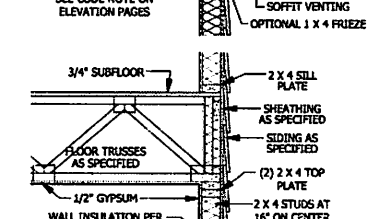


K CARBON MONOXIDE ALARMS
SECTION R315

R315.1 Carbon monoxide alarms. In new construction, dwelling units shall be provided with an approved carbon monoxide alarm installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) as directed by the alarm manufacturer.
R315.2 Where required in existing dwellings, where interior alterations, repairs, fuel-fired appliance replacements, or additions requiring a permit occur, or where one or more sleeping rooms are added or created, carbon monoxide alarms shall be provided in accordance with Section 315.1.
R315.3 Alarm requirements. The required carbon monoxide alarms shall be audible in all bedrooms over background noise levels with all intervening doors closed. Single station carbon monoxide alarms shall be listed as complying with UL 2004 and shall be installed in accordance with this code and the manufacturer's installation instructions.



L TYPICAL WALL DETAIL
SCALE 3/4" = 1'-0"



M TYPICAL STAIR DETAIL
SCALE 1/4" = 1'-0"

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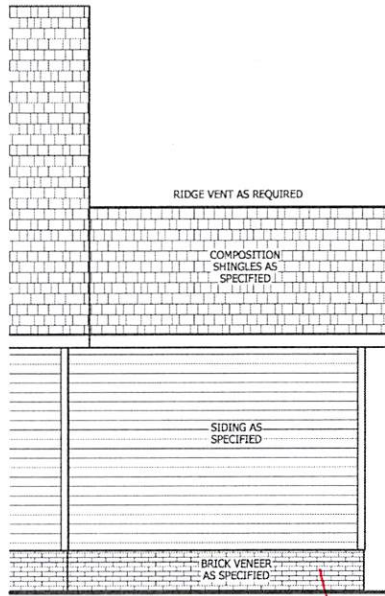
TYPICAL DETAILS
The Lauren H

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202219B

SQUARE FOOTAGE

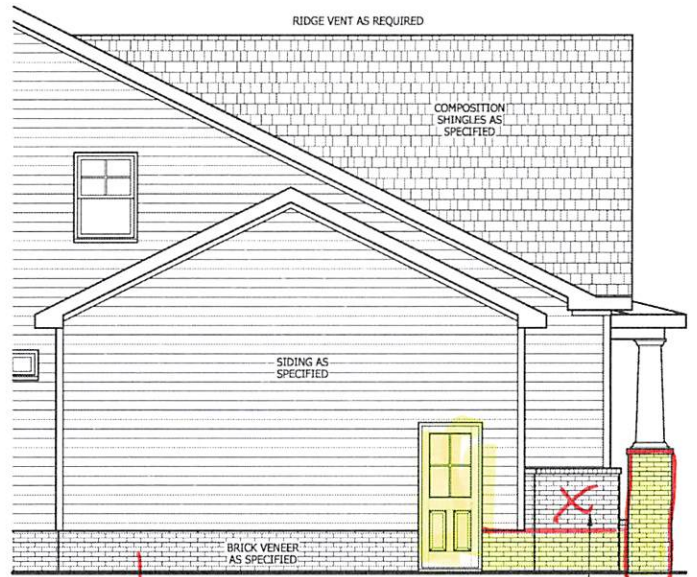
NET AREA	1,200 SF
COVERED PATIO	120 SF
COVERED PORCH	120 SF
UNCOVERED PATIO	120 SF
UNCOVERED PORCH	120 SF
UNCOVERED DECK	120 SF
UNCOVERED TERRACE	120 SF
UNCOVERED BALCONY	120 SF
UNCOVERED PORCH	120 SF
UNCOVERED DECK	120 SF
UNCOVERED TERRACE	120 SF
UNCOVERED BALCONY	120 SF
UNCOVERED PORCH	120 SF
UNCOVERED DECK	120 SF
UNCOVERED TERRACE	120 SF
UNCOVERED BALCONY	120 SF



REAR ELEVATION

SCALE 1/4" = 1'-0"

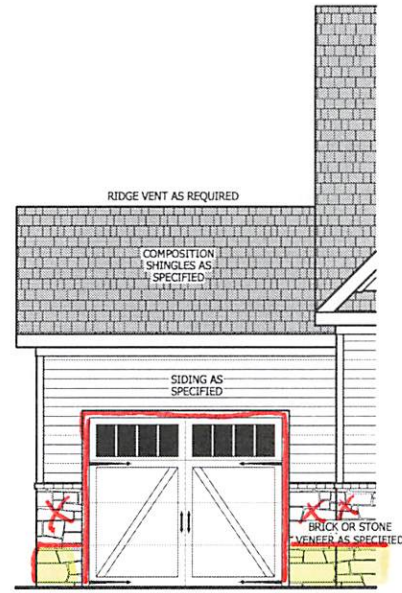
PAGE 2



SIDE ELEVATION

SCALE 1/4" = 1'-0"

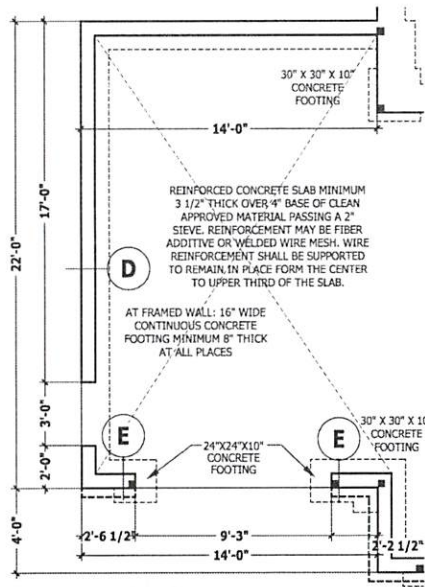
PAGE 5



FRONT ELEVATION

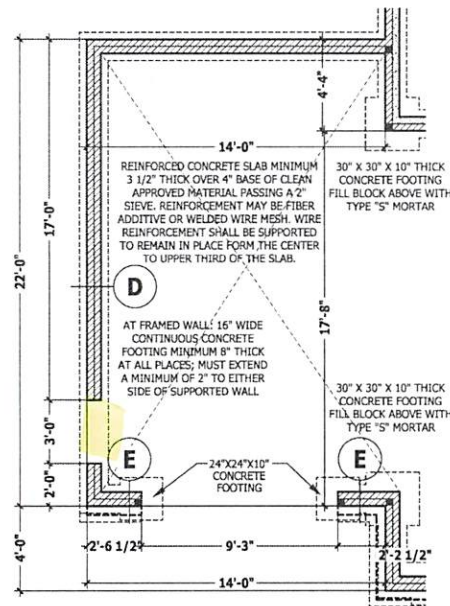
SCALE 1/4" = 1'-0"

SEE BASE PLAN FOR NOTES AND DETAILS



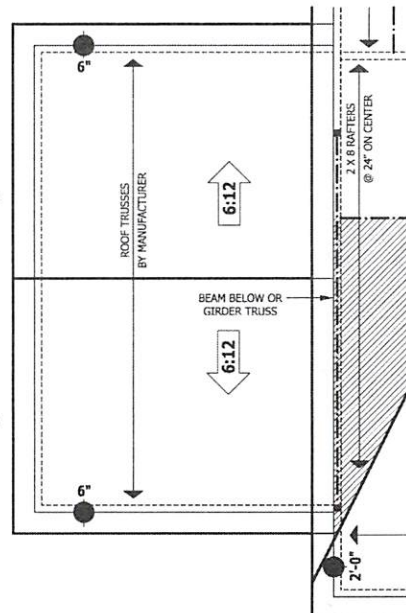
MONOLITHIC SLAB PLAN

SCALE 1/4" = 1'-0"



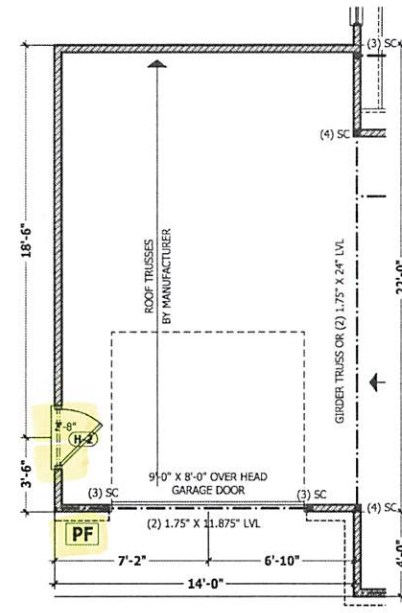
CRAWL SPACE / STEM WALL

SCALE 1/4" = 1'-0"



ROOF PLAN

SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

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THIRD GARAGE ADDENDUM
The Lauren H

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SQUARE FOOTAGE	
HEATED FIRST FLOOR	1766 SQ. FT.
UNHEATED GARAGE	480 SQ. FT.
UNHEATED PORCH	150 SQ. FT.
UNHEATED PATIO	150 SQ. FT.
UNHEATED SCREENED PORCH	150 SQ. FT.
UNHEATED THIRD GARAGE	150 SQ. FT.
TOTAL	2746 SQ. FT.

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ADDENDUM

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SCREENED PORCH ADDENDUM
The Lauren H

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HOME PLANS, INC.
 200 W. 102nd Ave., Suite 100, Littleton, CO 80120

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1766 SQ. FT.
UNHEATED FIRST FLOOR	214 SQ. FT.
TOTAL	1980 SQ. FT.
HEATED OPTIONAL CAROLINA ROOM	141 SQ. FT.
UNHEATED CAROLINA ROOM	92 SQ. FT.
TOTAL	212 SQ. FT.
UNHEATED FRONT PORCH	188 SQ. FT.
UNHEATED GARAGE	698 SQ. FT.
TOTAL	886 SQ. FT.
UNHEATED OPTIONAL SCREENED PORCH	141 SQ. FT.
UNHEATED OPTIONAL 3RD GARAGE	282 SQ. FT.
TOTAL	423 SQ. FT.

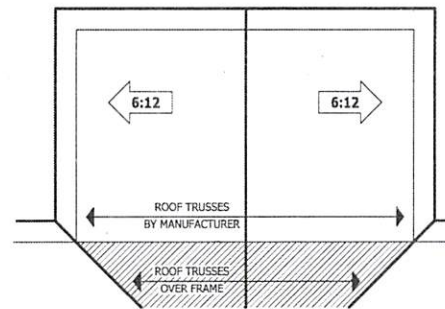
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 ADDENDUM



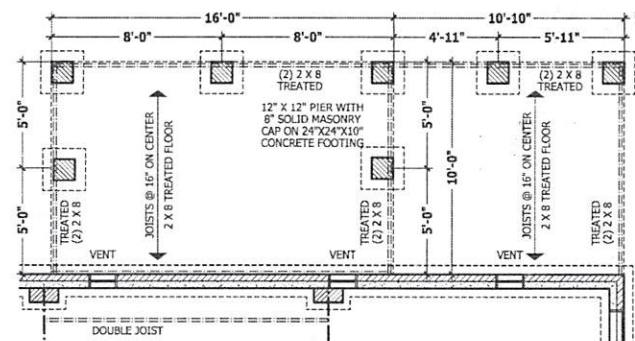
RIGHT SIDE ELEVATION
 SCALE 1/4" = 1'-0"

REAR ELEVATION
 SCALE 1/4" = 1'-0"
 RAIL AS NEEDED PER CODE

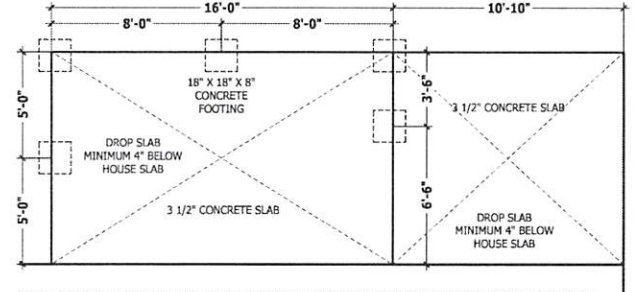
LEFT SIDE ELEVATION
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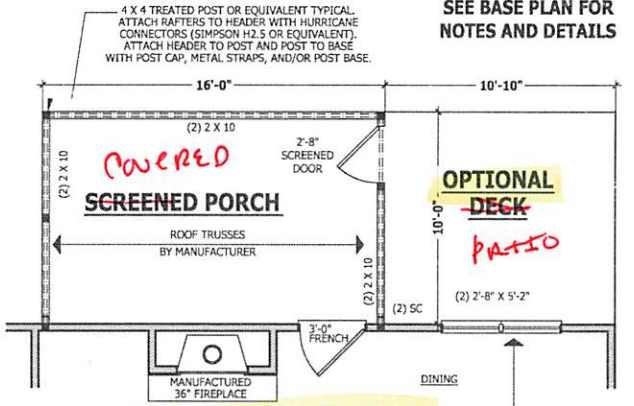
ROOF PLAN
 SCALE 1/8" = 1'-0"



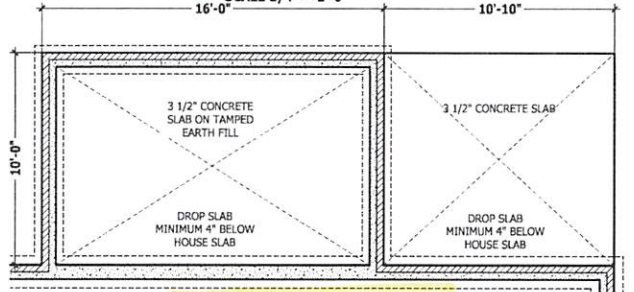
CRAWL SPACE PLAN
 SCALE 1/4" = 1'-0"



MONOLITHIC SLAB PLAN
 SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"



STEM WALL SLAB
 SCALE 1/4" = 1'-0"