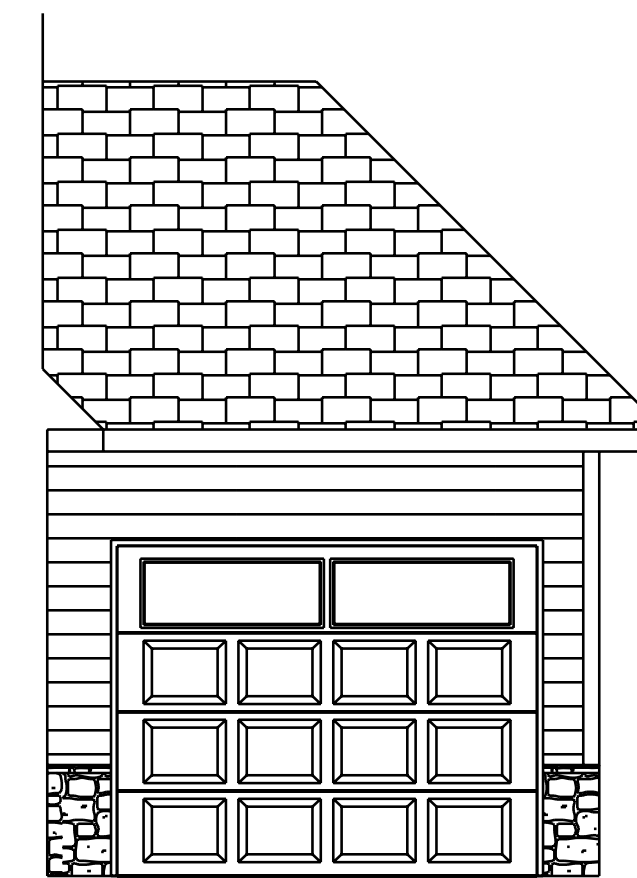




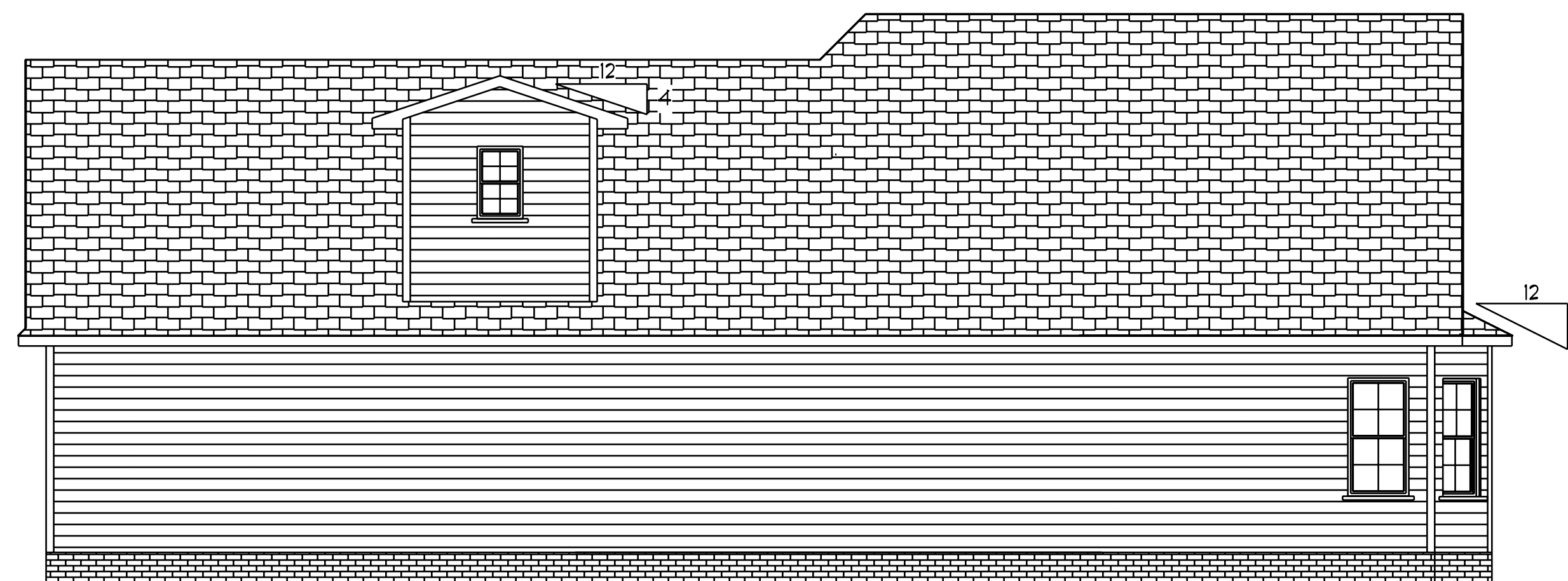
Front Elevation
Scale: 1/4" = 1'0"



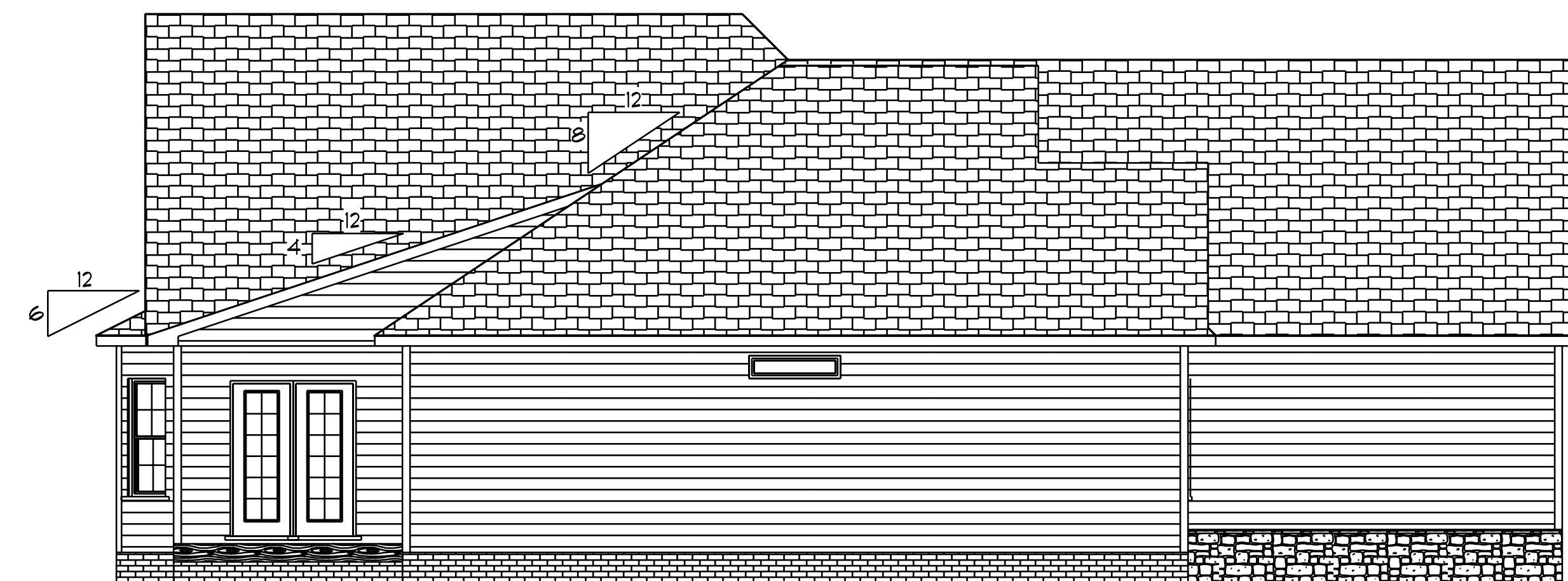
(Optional) Garage



Rear Elevation
Scale: 1/4" = 1'0"



Right Elevation
Scale: 3/16" = 1'0"



Left Elevation
Scale: 3/16" = 1'0"

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited liability only review
Permit holder responsible for full compliance with the code

12/07/2020

Boyle

HARNETT COUNTY
NORTH CAROLINA

Fenestration And Insulation Requirements

| Climate Zone | 3A | 4A |
|--------------------------|----------|----------|
| Fenestration U-Factor | 0.35 | 0.35 |
| Glazed Fenestration SHGC | 0.3 | 0.3 |
| Minimum Ceiling R-Value | 30 | 30/38 |
| Minimum Wall R-Value | 13 | 15 |
| Minimum Slab R-Value | 0 | 10 |
| Minimum Floor R-Value | 19 | 19 |
| Glazing Pressure | +/-2/psf | +/-2/psf |

Total Glazing Area = 340.44 Sq.Ft.

ATTIC VENTILATION

2258 SQ.FT. OF ATTIC / 150 = 15.05 SQ.FT. TOTAL NET FREE VENTILATING AREA.

VENTILATION MAY BE REDUCED 50% PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

1/2" Continuous Wood Sheathing On All exterior Walls
Exterior Finish is Vinyl Siding, Vinyl Shakes Or Manufactured Stone

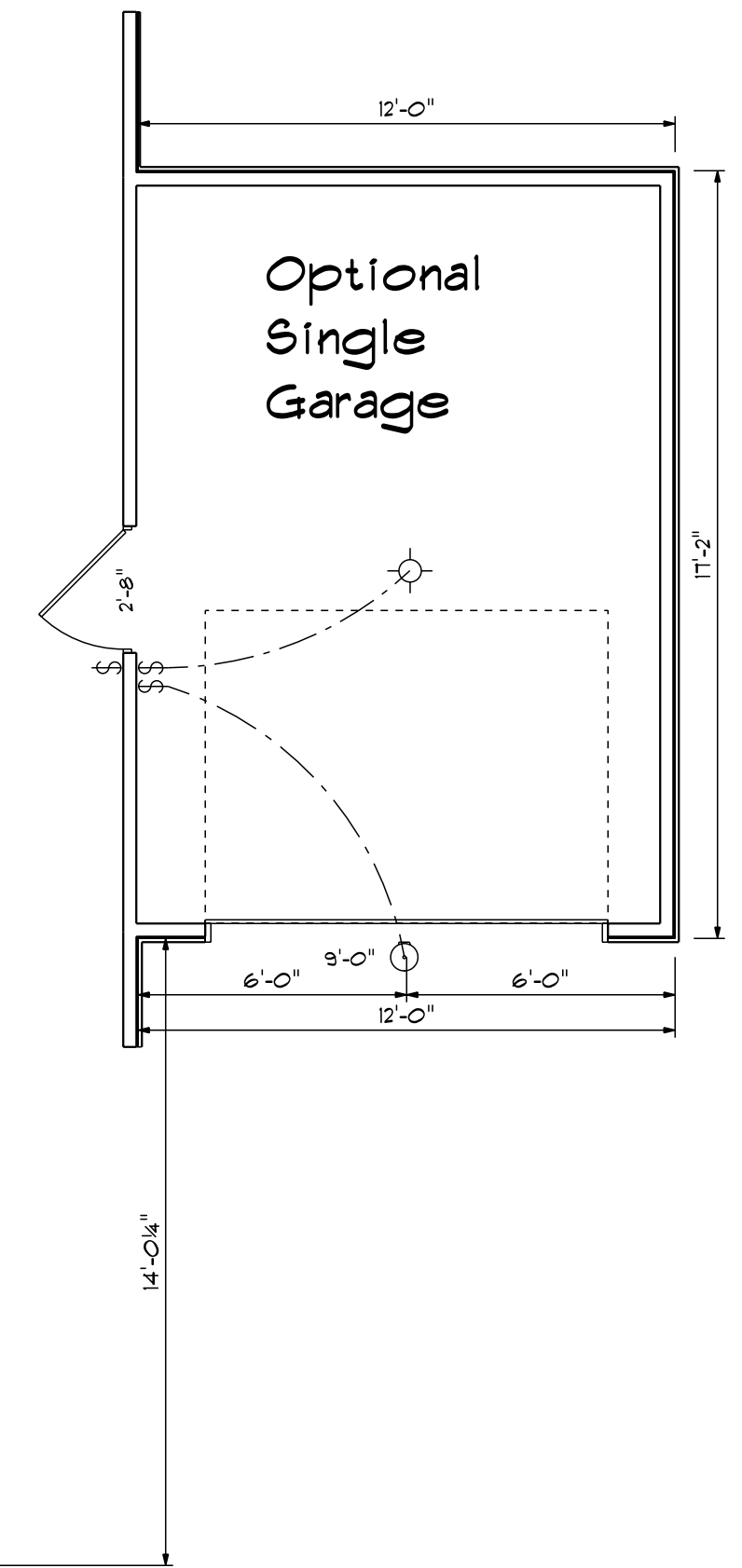
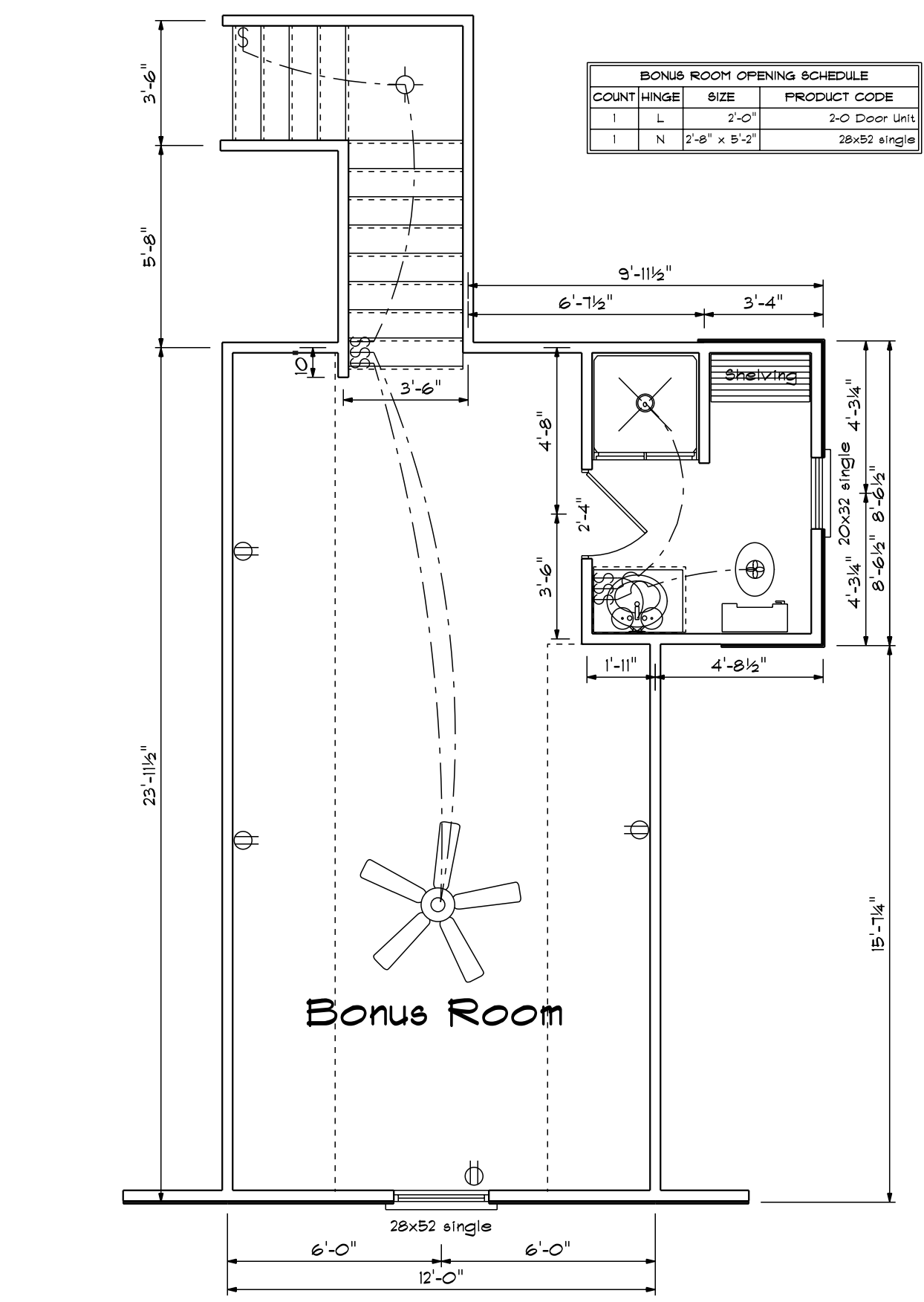
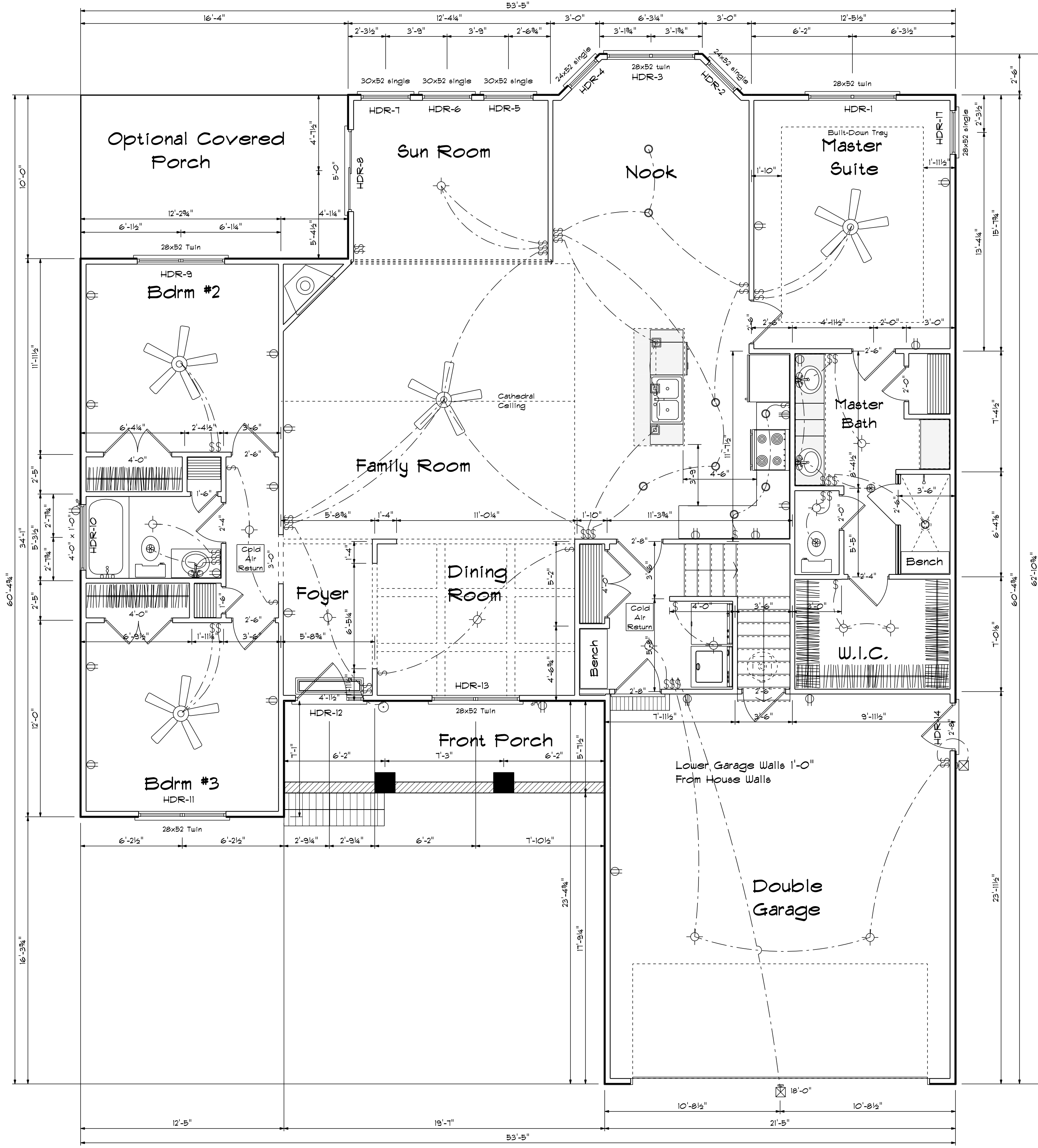
This Plan is Designed To Meet The Requirements Of The 2018 Residential Building Code

Base Designs
2121 Chimney Pt.
Linden N.C. 28356
910-864-9310

DATE: 6/3/2020
REVISED
DRAWING*

SCALE: 1/4"
DRAWN BY
APPROVED

The Lauren 2258



| COUNT | HINGE | SIZE | PRODUCT CODE |
|-------|-------|---------------|----------------|
| 1 | L | 2'-0" | 2'-0 Door Unit |
| 1 | N | 2'-8" x 5'-2" | 28x52 single |

| PRODUCT CODE | SIZE | HINGE | COUNT |
|--------------------------------|---------------|-------|-------|
| 50X80 RH ENTRY - 1 SL | 4'-1 1/2" | NA | 1 |
| 64X80 FRENCH A 2 | 5'-4" | LR | 1 |
| 192X84 - 8 PANEL - GARAGE DOOR | 18'-0" | U | 1 |
| 1-6 Door Unit | 1'-6" | R | 1 |
| 2-0 Door Unit | 2'-0" | L | 2 |
| 2-4 Door Unit | 2'-4" | L | 1 |
| 2-6 Door Unit | 2'-6" | R | 1 |
| 4-0 Doublehung Door Unit | 4'-0" | LR | 1 |
| 16 colonial | 1'-6" | L | 1 |
| 24 colonial | 2'-4" | R | 1 |
| 26 colonial | 2'-6" | L | 2 |
| 26 colonial | 2'-6" | R | 1 |
| 28 colonial | 2'-8" | R | 1 |
| 30X80 COLONIAL A 1 | 2'-6" | R | 1 |
| 40 doublehung colonial | 4'-0" | LR | 2 |
| 28 pocket | 2'-8" | N | 1 |
| 24x52 single | 2'-4" x 5'-2" | N | 2 |
| 28x52 triple | 8'-0" x 5'-2" | NA | 1 |
| 28x52 twin | 5'-4" x 5'-2" | NN | 1 |
| 30x52 single | 3'-0" x 5'-2" | N | 5 |
| 28x52 Twin | 5'-4" x 5'-2" | NA | 3 |
| 28x52 single | 2'-8" x 5'-2" | N | 1 |
| 48X12 TRANSOM | 4'-0" x 1'-0" | N | 1 |

Glazing Area = 340.44 Sq.Ft.

| PRODUCT CODE | SIZE | COUNT | WIDTH | HEIGHT |
|---------------------|---------------|-------|-------|--------|
| 28x52 single | 2'-8" x 5'-2" | 5 | 2'-8" | 5'-2" |
| 28x52 twin | 5'-4" x 5'-2" | 4 | 5'-4" | 5'-2" |
| 30x52 twin | 3'-0" x 5'-2" | 3 | 3'-0" | 5'-2" |
| 24x52 single | 2'-4" x 5'-2" | 2 | 2'-4" | 5'-2" |
| 20x32 single | 2'-0" x 3'-2" | 1 | 2'-0" | 3'-2" |
| 4-0x1-0 Glass Block | 4'-0" x 1'-0" | 1 | 4'-0" | 1'-0" |
| 60X80 EXTERIOR DR | 5'-0" x 6'-8" | 1 | 5'-0" | 6'-8" |
| 60X80 EXTERIOR DR | 5'-0" x 6'-8" | 1 | 5'-0" | 6'-8" |

All Headers Double #2 Pine With Double Jacks When Length Over 6'-0"

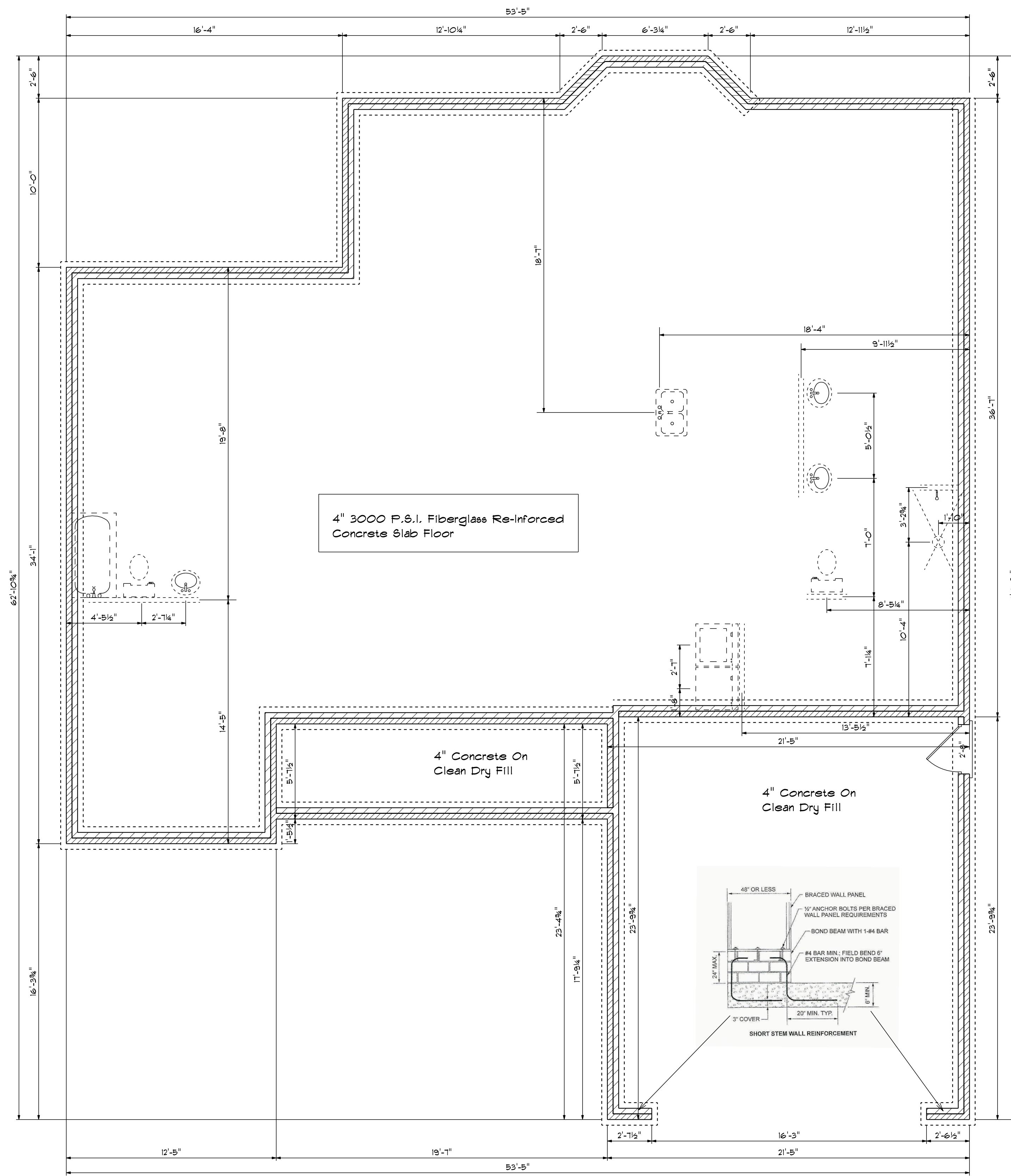
| Length | Size | HDR |
|------------|------|-----|
| 8'-7 1/2" | 2x12 | 1 |
| 3'-3 1/2" | 2x8 | 2 |
| 5'-7 1/2" | 2x12 | 3 |
| 3'-3 1/2" | 2x8 | 4 |
| 3'-11 1/2" | 2x10 | 5 |
| 3'-11 1/2" | 2x10 | 6 |
| 3'-11 1/2" | 2x10 | 7 |
| 5'-7 1/2" | 2x12 | 8 |
| 5'-7 1/2" | 2x12 | 9 |
| 4'-7 1/2" | 2x10 | 10 |
| 5'-7 1/2" | 2x12 | 11 |
| 4'-7 1/2" | 2x12 | 12 |
| 2'-6 1/2" | 2x8 | 13 |
| 3'-11 1/2" | 2x10 | 14 |

Areas

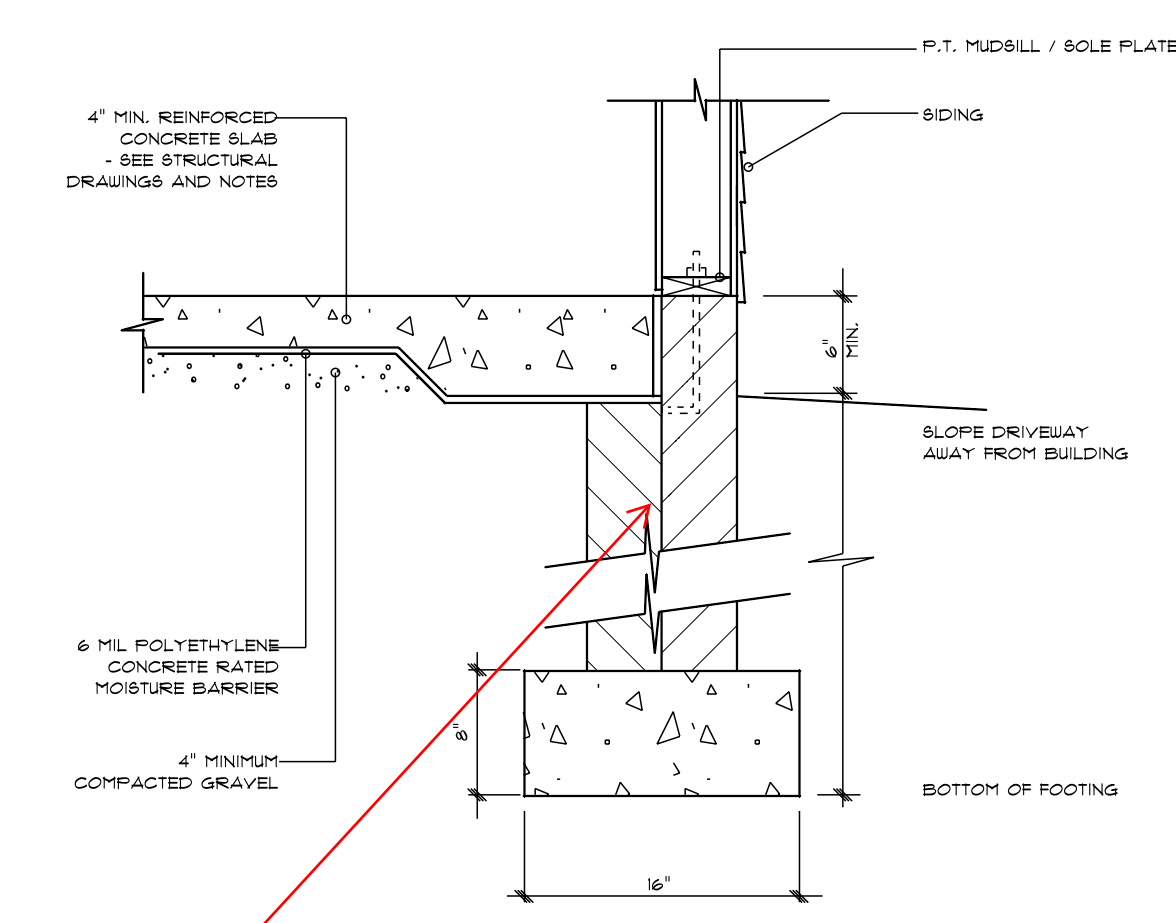
| | |
|---------------------|------|
| Main Floor | 1922 |
| Bonus Room | 336 |
| ***** | |
| Total Heated Garage | 2258 |
| Garage | 513 |
| Front Porch | 109 |

Builder Should Verify All Dimensions Prior To Construction.

First Floor Plan
Scale: 1/4" = 1'-0"

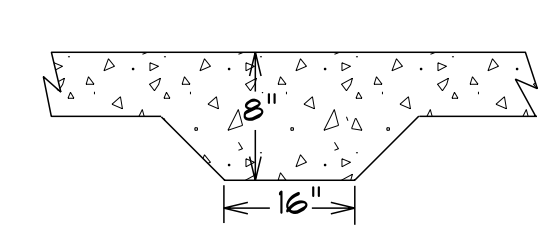


Foundation Plan
Scale: 1/4" = 1'-0"

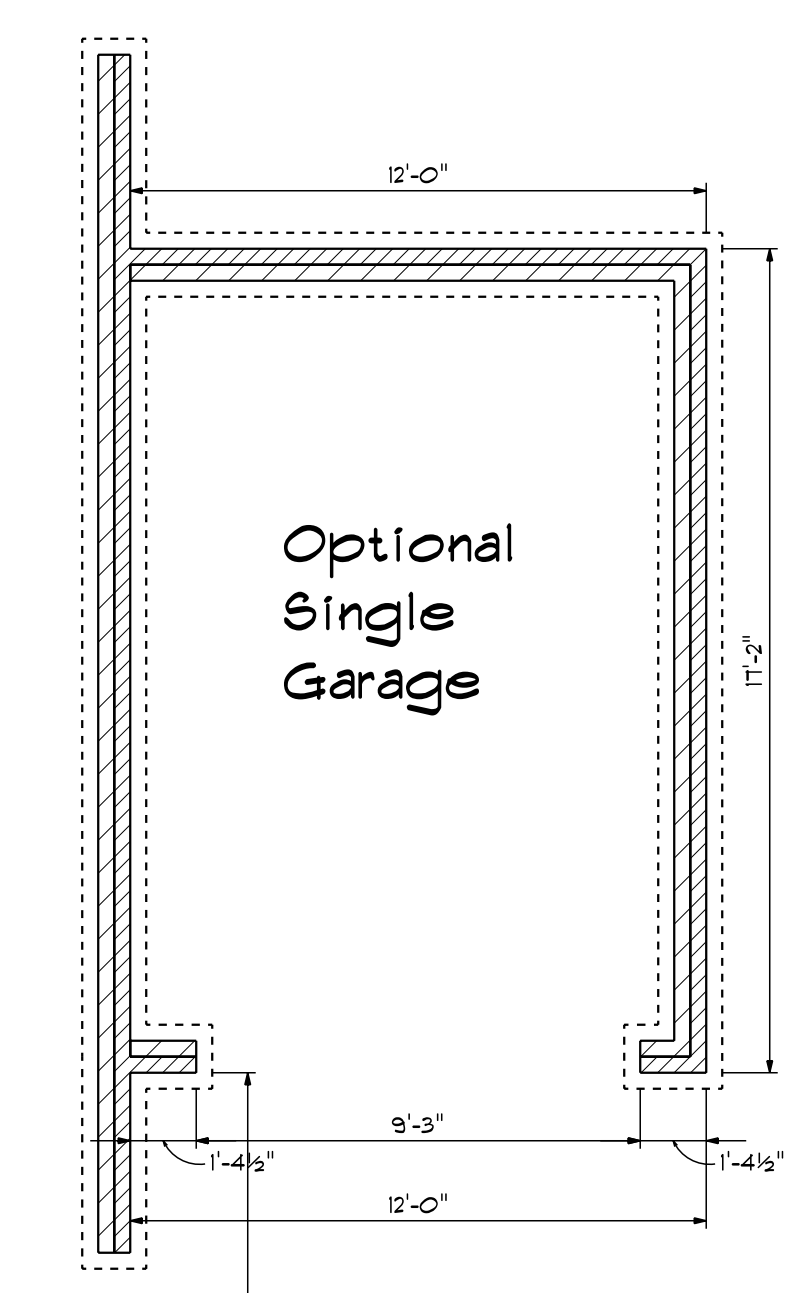


STEM WALL FOOTING DETAIL

Slab insulation required



LUG FOOTING DETAIL



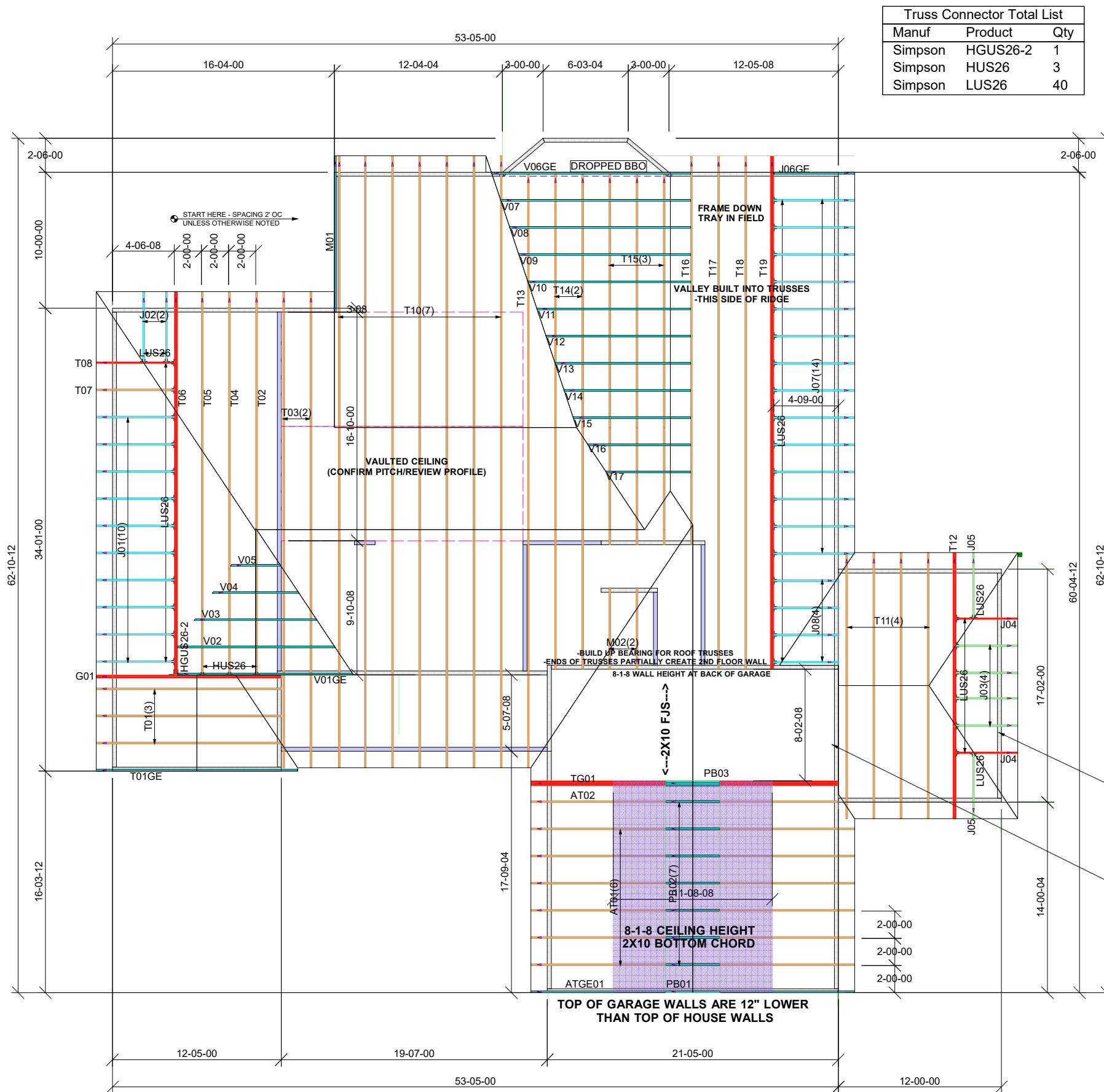
Optional Single Garage

This Plan is Designed To Meet The Requirements Of The 2018 Residential Building Code

- All bracing, blocking, beams, purlins @ 2'0" o.c., ledger, etc. provided by others.
- Roof truss to roof truss connections provided by Riverside Roof Truss.
- Truss to building connections provided by others.

Refer to Sealed drawings for connection detail of multiple ply trusses.

NOT ALL TRUSSES ARE SYMMETRICAL AND MAY NOT PERFORM CORRECTLY IF INSTALLED BACKWARDS. PLEASE REFER TO SEALS WHILE SETTING TRUSSES TO ENSURE TRUSSES ARE ORIENTED CORRECTLY



| Truss Connector Total List | | |
|----------------------------|----------|-----|
| Manuf | Product | Qty |
| Simpson | HGUS26-2 | 1 |
| Simpson | HUS26 | 3 |
| Simpson | LUS26 | 40 |

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, columns, and sufficient blocking in floor cavity under point loads is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of Wood Trusses" available from the Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53179.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

REVIEWED BY: _____ APPROVED BY: _____ DATE: _____



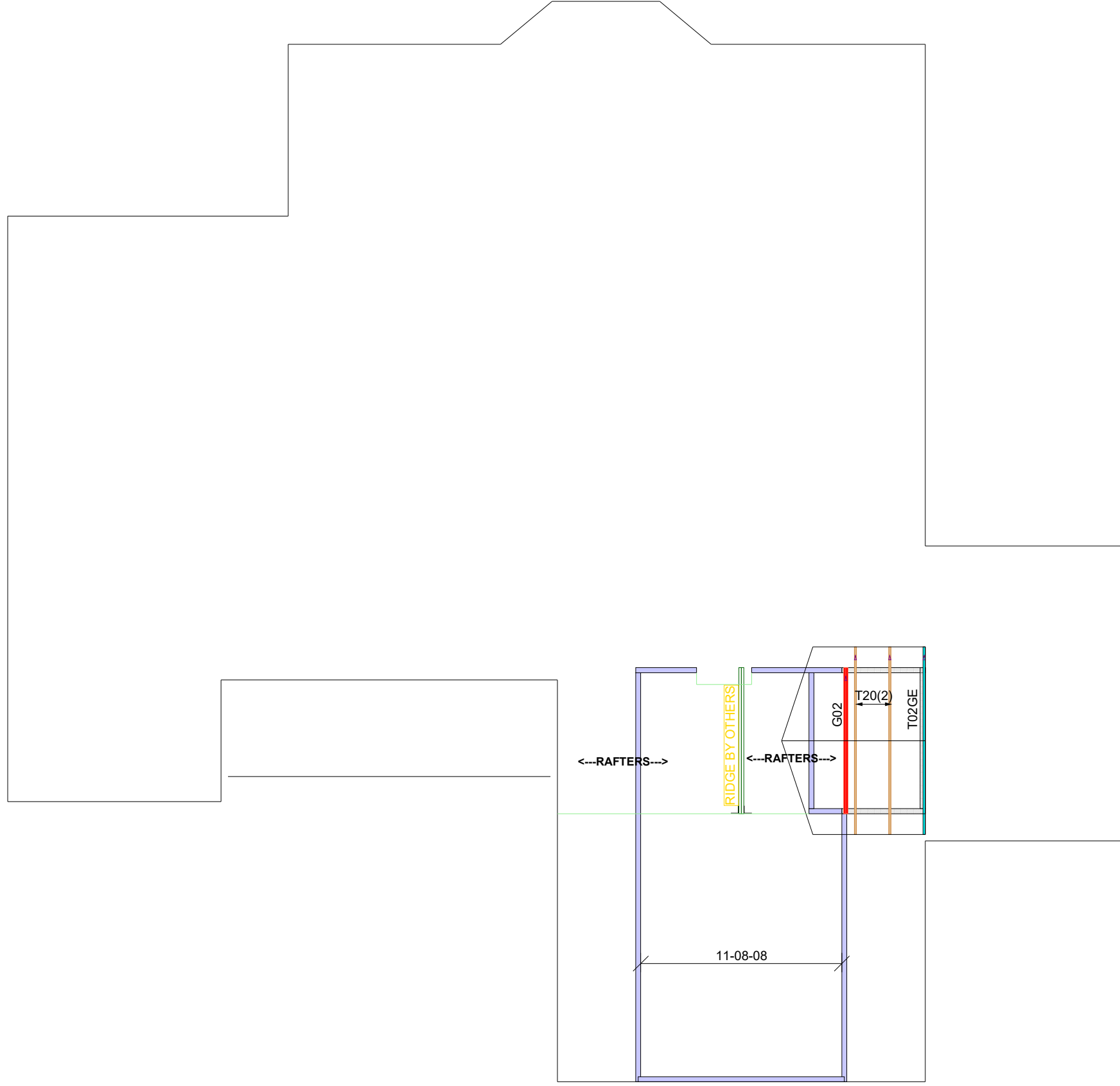
| | | | |
|--|---|---|--|
| Hanger Conversion Chart USP JUS26 THD26 THD26-2 HJC26 MSH422 | Simpson LUS26 HUS26 HHUS26-2 THJA26 THA422 | Client: PARKS BUILDING SUPPLY Job Name: GARY ROBINSON-LOT 66 SOUTH CREEK - LAUREN MODEL ROOF Model: LAUREN 2258 Lot #: _____ Order #: 20-6463-A Sales Rep: C Smiley | Designer: M C Date: 11/12/2020 |
| | 733 RIVER PARK DRIVE DANVILLE, VA 24540 (434) 793-0217 FAX: (434) 799-8767 |  RIVERSIDE ROOF TRUSS, LLC | Roof Surface Area: 3931 ft² Sq. Ft. Floor Surface Area: 0 ft² Sq. Ft. |

 = THIS SYMBOL INDICATES THE LEFT END OF TRUSS - REFER TO SEALED TRUSS DRAWINGS TO AVOID SETTING TRUSSES BACKWARDS!

1. All bracing, blocking, beams, purlins @ 2'0" o.c., ledger, etc. provided by others.
2. Roof truss to roof truss connections provided by Riverside Roof Truss.
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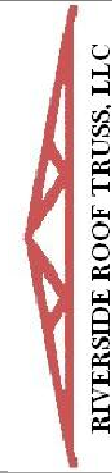
REVIEWED BY: _____ APPROVED BY: _____ DATE: _____

Hanger Conversion Chart

USP
 JUS26
 THD26
 THD26-2
 HJC26
 MSH422

Simpson
 LUS26
 HUS26
 HHUS26-2
 THJA26
 THA422

Client: **PARKS BUILDING SUPPLY**
 Job Name: **GARY ROBINSON-LOT 66 SOUTH**
 Model: **CREEK-LAUREN MODEL ROOF**
 Lot #: **LAUREN 2258**
 Order #: **20-6463-A** Sales Rep: **C Smiley** Designer: **M C**
 Date: **11/12/2020**



RIVERSIDE ROOF TRUSS, LLC

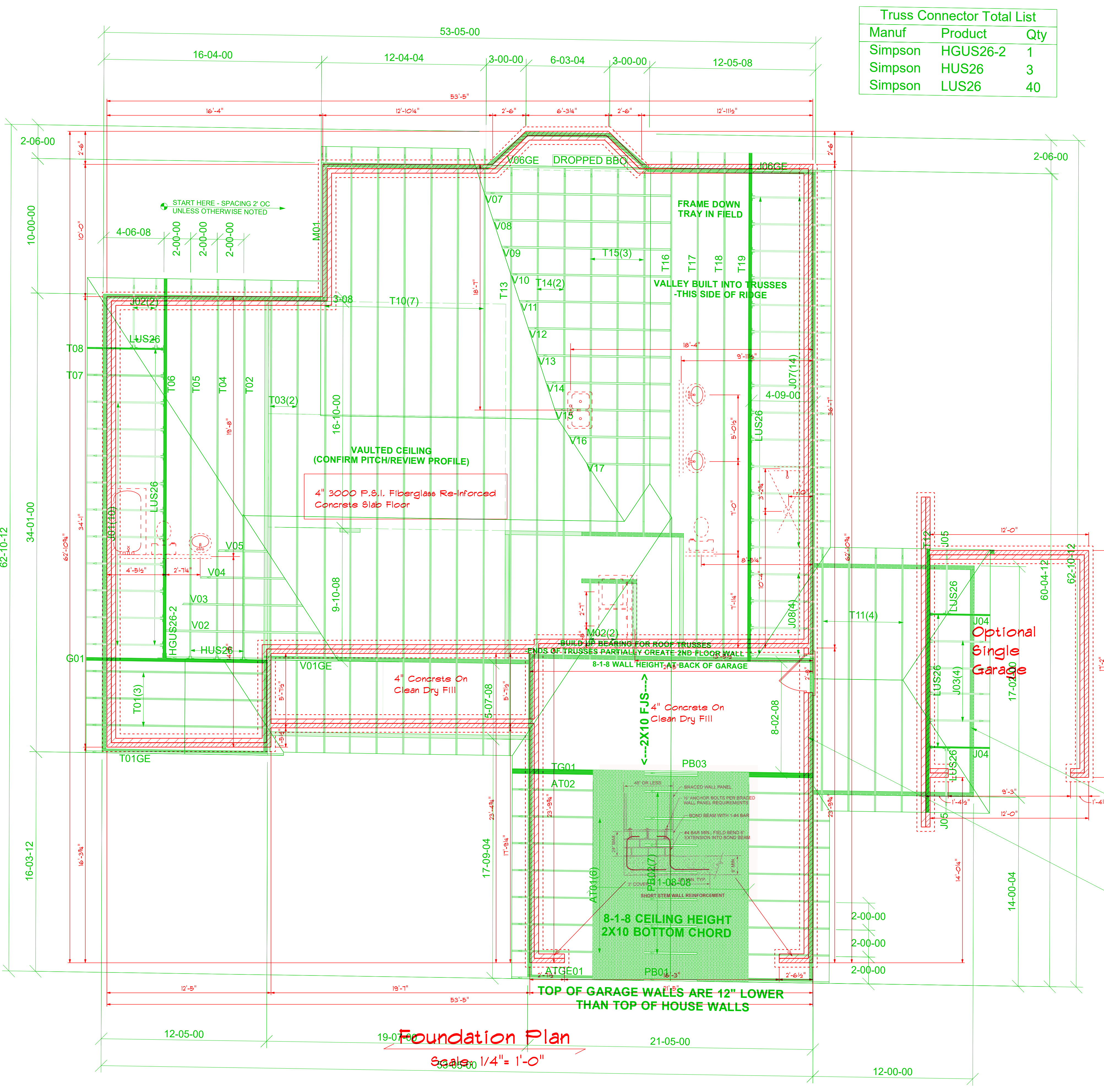
Roof Surface Area: **3931 ft² Sq. Ft.**
 Floor Surface Area: **0 ft² Sq. Ft.**



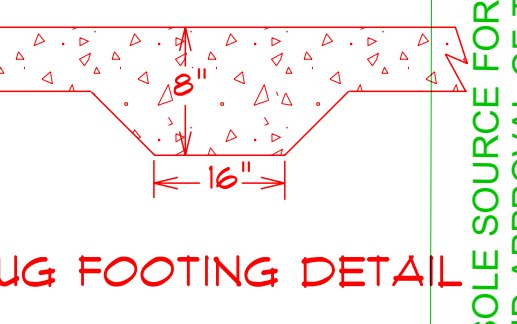
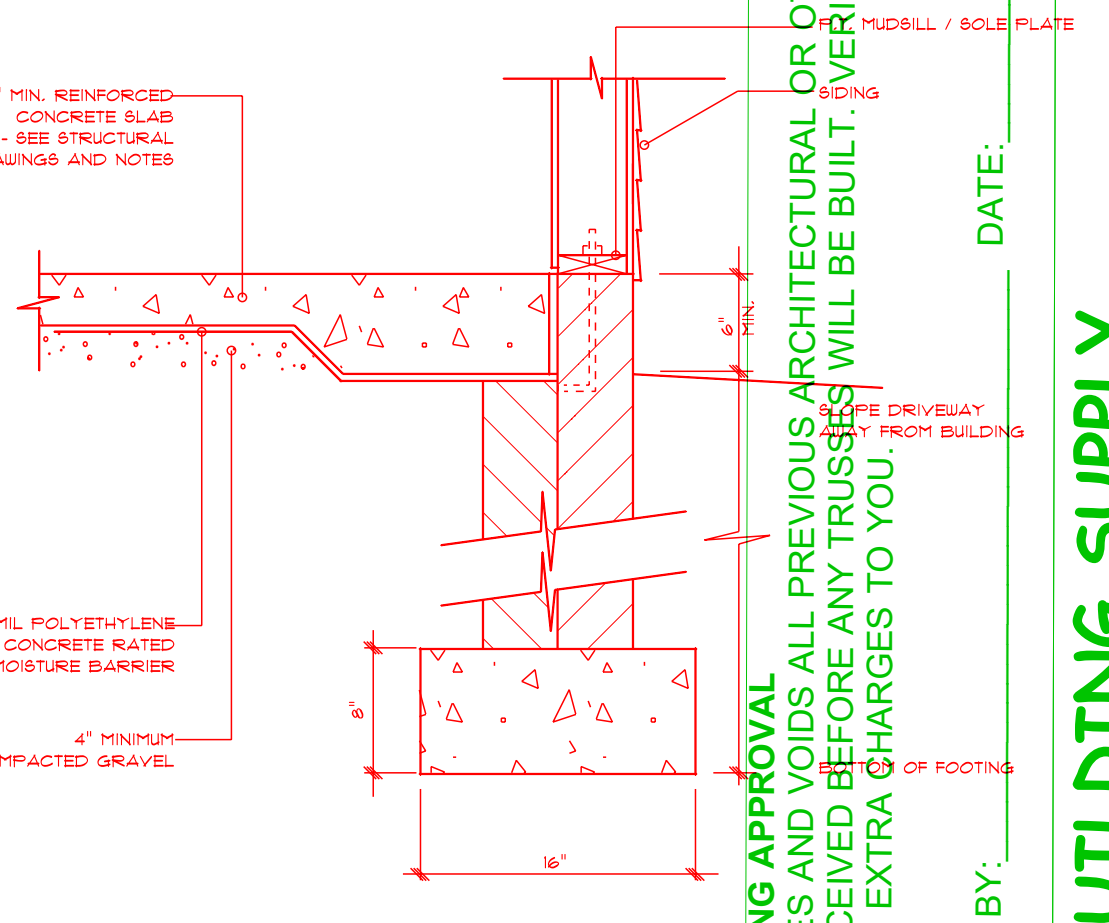
Trusses to roof truss connections provided by others.
 Trusses to building connections provided by others.

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| Truss Connector Total List | | |
|----------------------------|----------|-----|
| Manuf | Product | Qty |
| Simpson | HGUS26-2 | 1 |
| Simpson | HUS26 | 3 |
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| Hanger Conversion Chart | | Client: | PARKS BUILDING SUPPLY |
|-------------------------|----------|---------------|----------------------------|
| USP | Simpson | Job Name: | GARY ROBINSON-LOT 66 SOUTH |
| JUS26 | LUS26 | Model: | CREEK-LAUREN MODEL ROOF |
| THD26 | HUS26 | SCALE: Lot #: | LAUREN 22558 |
| THD26-2 | HHUS26-2 | DESIGNED BY: | LAUREN 22558 |
| HJC26 | THJA26 | ORDER #: | 20-6463-A |
| MSH422 | THA422 | APPROVED BY: | C Smiley |

RIVERSIDE ROOF TRUSS, LLC

733 RIVER PARK DRIVE
 DANVILLE, VA 24540
 (434) 793-0217
 Fax: 225-89-8767

The Laurens
 Roof Surface Area: 3931 ft² Sq. Ft.
 Floor Surface Area: 0 ft² Sq. Ft.

Base Design: 2121 Chimney Pt., Linden, N.C. 28356
 Sales Rep.: Designer: 910-443-1111
 DRAWING: M-C 11/12/2020

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