

VICINITY MAP (NTS)

- LEGEND**
- AC=AIR CONDITIONING UNIT
  - BOC=BACK OF CURB
  - CATV=CABLE TV
  - CB=CATCH BASIN
  - DW=CONC DRIVEWAY
  - EB=ELECTRIC BOX
  - EM=ELECTRIC METER
  - EOP=EDGE OF PAVEMENT
  - EP=ELECTRIC PEDESTAL
  - FH=FIRE HYDRANT
  - ICV=IRRIGATION CONTROL VALVE
  - LP=LIGHT POLE
  - MH=MANHOLE
  - MTR=METER
  - PVC=POLY VINYL CHLORIDE
  - PO=PORCH
  - PP=POWER POLE
  - RCP=REINFORCED CONC PIPE
  - R/W=RIGHT OF WAY
  - SCO=CLEANOUT
  - SW=SIDEWALK
  - TF=TRANSFORMER
  - TP=TELEPHONE PEDESTAL
  - WM=WATER METER
  - WV=WATER VALVE
  - EIP=EXISTING IRON PIPE
  - IRON ROD SET
  - EIR=EXISTING IRON ROD



**CERTIFICATE OF ACCURACY & MAPPING**  
 I, D.B. FLOYD, PLS L-3640, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY DONE UNDER MY SUPERVISION, AND THAT THE ERROR OF CLOSURE AS COMPUTED BY CO-ORDINATES IS LESS THAN 1:10,000.

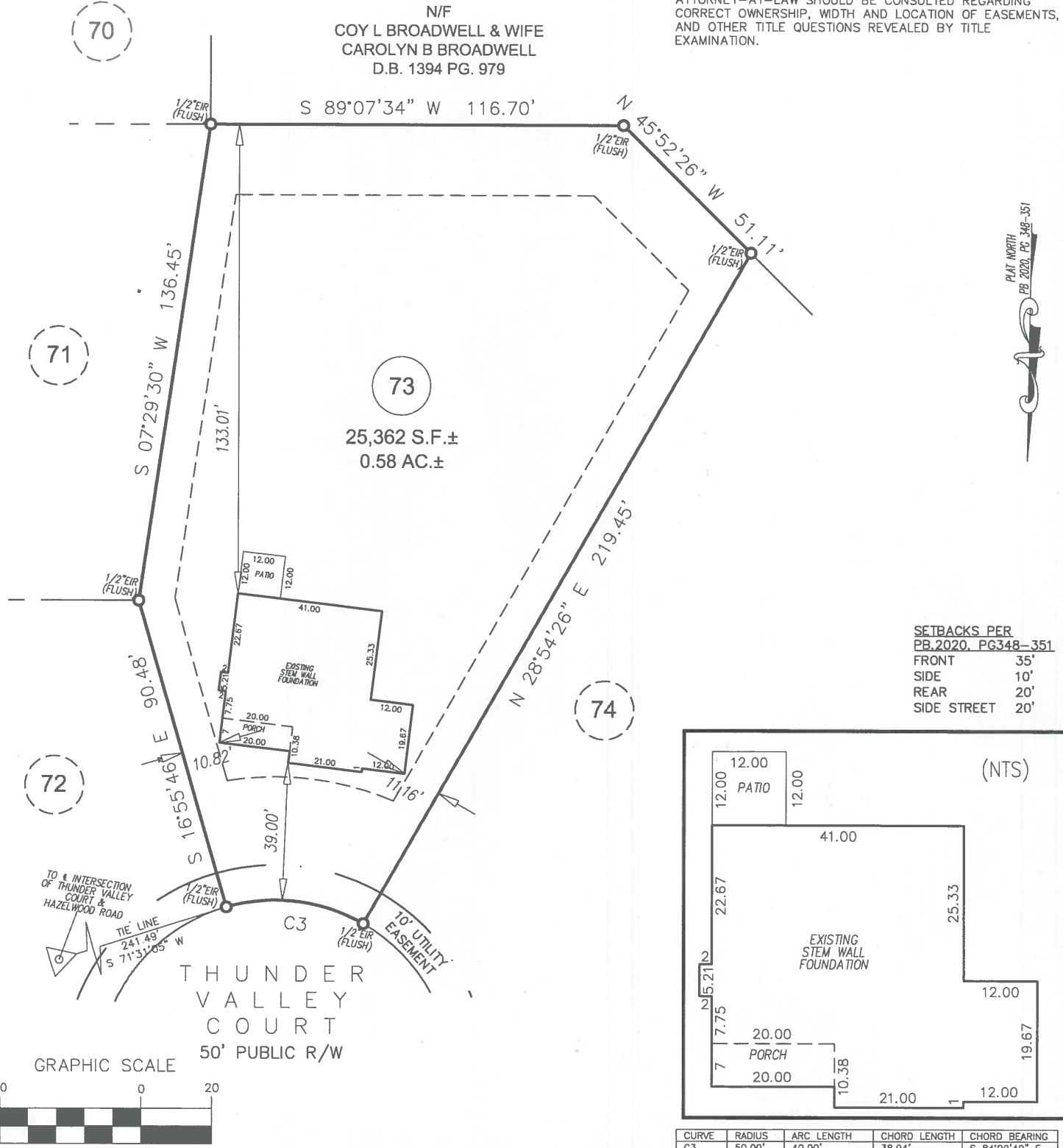
D.B. FLOYD, PLS L-3640 DATE **3-8-21**

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

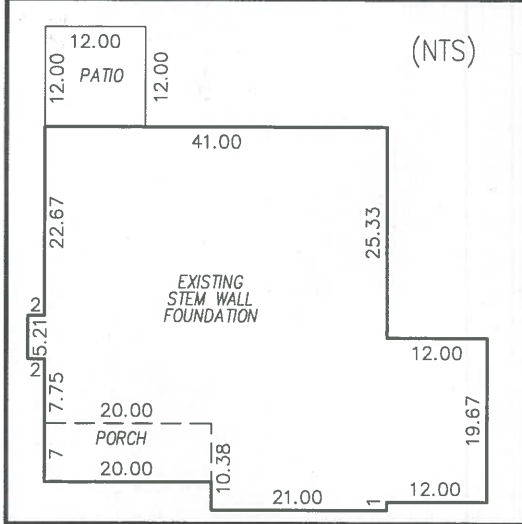
- GENERAL NOTES:**
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
  3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
  4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

N/F  
 COY L BROADWELL & WIFE  
 CAROLYN B BROADWELL  
 D.B. 1394 PG. 979

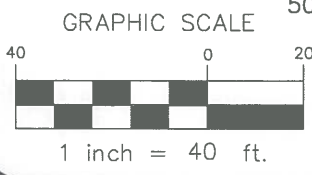


**SETBACKS PER**  
 PB. 2020, PG. 348-351

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C3	50.00'	40.00'	38.94'	S 84°00'40" E



**FOUNDATION SURVEY**

<b>PROJECT:</b>	SOUTH CREEK
<b>DRAWN BY:</b>	CKR
<b>SCALE:</b>	1"=40'
<b>DATE:</b>	10-27-2020

FOR  
**GARY ROBINSON HOMES**  
 129 THUNDER VALLEY COURT  
 LOT 73 SOUTH CREEK SUBDIVISION  
 NEILLS CREEK TWP., HARNETT CO., NC  
 P.B. 2020, PG. 348-351

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