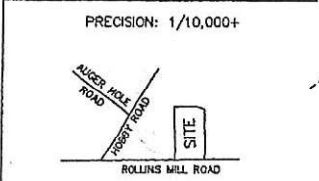


LEGEND	
○	Storm Sewer Manhole
○	Sanitary Sewer Manhole
□	Concrete Monument
△	Now or Formerly
□	Power Box
□	Telephone Pedestal
□	Cable Television Pedestal
□	Power Pole
□	Light Pole
AC	Acres
BOM	Book of Maps
N.T.S.	Not To Scale
ips	Iron Pipe Set
eip	Existing Iron Pipe
---	Line Not Surveyed
R/W	Right-of-way
cp	Computed Point (Not Set)
■	Drop Inlet



ZONED: RA-30
MINIMUM BUILDING SETBACKS

FRONT = 35'
SIDE = 10'
REAR = 25'

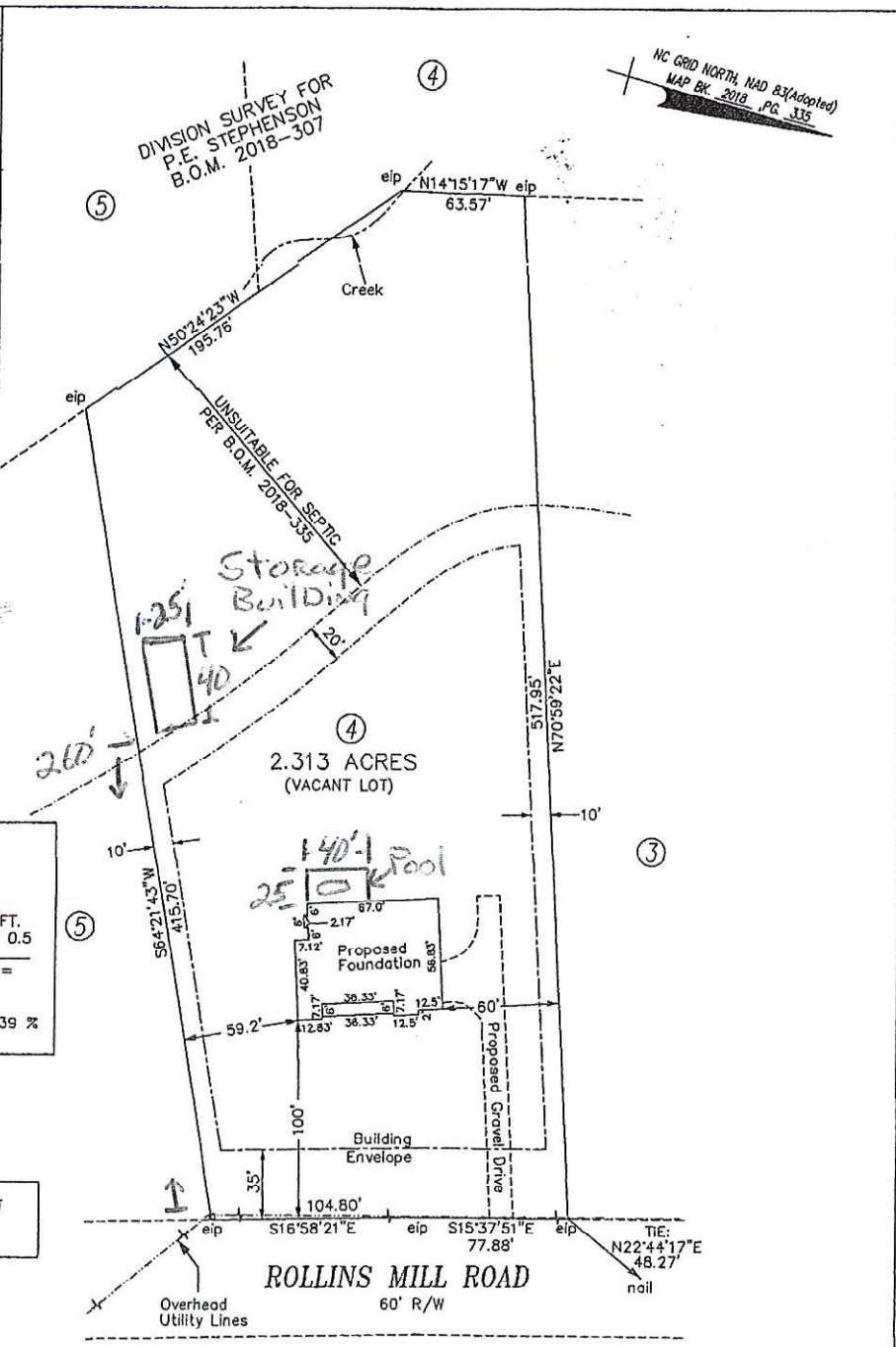
IMPERVIOUS AREA TABLE

LOT 4 = 100,733 SQ.FT.

PROPOSED FOUNDATION = 4,179 SQ.FT.
PROPOSED GRAVEL DRIVE = 2,500 * 0.5 = 1,250 SQ.FT.
TOTAL PROPOSED IMPERVIOUS AREA = 5,429 SQ.FT.

5,429 SQ.FT. / 100,733 SQ.FT. = 5.39 %

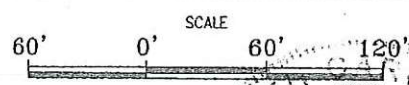
NOTE: 30' DUKE ENERGY EASEMENT ON ELECTRIC SERVICE LINES PER B.O.M. 2018-335.



Map Drawn By: Wesley Nipper

Note: This Survey Was Performed And Mapped Without The Benefit Of A Title Search By A Licensed North Carolina Real Estate Attorney. This Surveyor Assumes No Liability From Any Facts And/Or Omissions (Such As Easements Or Underground Pipes, ETC.) That May Be Revealed By A Title Search By A Licensed North Carolina Real Estate Attorney.

Reference: Lot 4
Sec. Pt. Blk. Ph
DIVISION SURVEY FOR SOUTHERN LIVING INVESTMENT PROPERTIES, LLC
Map Bk. 2018 Pg. 335
Deed Bk. 3814 Pg. 974



I, James W. Nipper, certify that this map is correct and that the buildings lie wholly on the lot and there are no other visible easements or encroachments to my knowledge other than those shown.

James W. Nipper
Professional Land Surveyor

PROPOSED FOUNDATION/GRAVEL DRIVEWAY

TRACY SILVER

867 ROLLINS MILL ROAD HOLLY SPRINGS, N.C.

Date: 08-07-2020
Scale: 1"=60'
File: 867ROLL2 20205/C3345

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