

STATE OF NORTH CAROLINA  
COUNTY OF CUMBERLAND

**LOT PURCHASE CONTRACT  
(BUYER AS BUILDER)**

This LOT PURCHASE CONTRACT (the "Contract") is entered into this the 21st day of FEBRUARY 2020, by and between Oak Grove Developers, LLC, (the "Developer"), and Weaver Homes, Inc. (and/or Assigns), a North Carolina Corporation (the "Buyer"), for the purchase of land/lot(s) upon the terms and conditions contained herein below:

**1) DESCRIPTION OF REAL PROPERTY:** Buyer hereby agrees to purchase and Developer hereby agrees to sell, the following described tract(s) or lot(s) of real property described as: **28 Lot(s)** in that subdivision know as Mitchell Manor shown on that plat map to be recorded in Harnett County, State of North Carolina. **\*\*Preliminary plat map attached for reference.**

**2) PURCHASE PRICE:** The purchase price for the real property described herein above shall be \$45,000 per lot, with said purchase price to be paid in full in certified funds to Developer. Any Earnest Money Deposit shall be credited to the Purchase Price at Closing.

**3) EARNEST MONEY DEPOSIT:** Developer may require Buyer to deposit a sum certain as earnest money, with said earnest money to be refunded to Buyer only if Buyer's failure to close as contemplated hereunder is not the fault of, nor caused by Buyer. Said earnest money shall be credited to the Purchase Price at Closing. Said earnest money deposit shall be payable in cash or certified funds to the Closing Attorney, Joe Hamer, within five business days of execution of this Contract in the amount of \$500 per lot; (\$13,500 total).

**4) TAKE DOWN SCHEDULE:** As per Section 13 hereinbelow, Buyer will close on said real property lots pursuant to the following Take Down Date schedule: Weaver Homes, Inc. (and/or Assigns) will close (12) lots within Thirty (30) days after final plat is recorded. Weaver Homes, Inc. (and/or Assigns) will close (8) lots in Phase II within 30 days of the plat being recorded and the remaining (8 Lots) within 90 days of the plat being recorded.

**5) INTERNET/CABLE SERVICE:** Developer will have Internet and Cable service installed. It is understood and agreed that Developer will ensure that any disturbed areas will be restored to their original condition prior to installation. It is further understood and agreed that Buyer will reimburse Developer up to \$1,000 per lot for actual verifiable cost for the installation of these services.

**6) DEVELOPER'S REPRESENTATIONS:** Developer represents and warrants unto Buyer that:

A) It is seized of title in fee simple, free and clear of all liens and encumbrances, except for any development loan it may have secured by the real property which shall be released within a reasonable amount of time upon Closing;

B) It has the authority and authorization to execute this Contract;

C) It has not received notice of nor has knowledge of any condemnation proceedings or eminent domain takings;

D) It has no knowledge of or notice of any threatened or pending litigation against the real property;

E) It has not received a notice of any violation of any law, ordinance, regulation or restriction with respect to the real property or with respect to the use, occupancy or construction thereon and knows of no facts, conditions or claims that will delay or prevent Buyer from constructing residential improvements on the real property;

F) The property has full and free access to and from public streets and roads;

G) It is not a "foreign person" as defined by IRC Section 1445(f)(3);

H) It has no knowledge of any kind whatsoever regarding the release or discharge or placement of hazardous substances, as defined by applicable State Law and CERCLA, on, about or under the subject real property;

I) It has no knowledge whatsoever of any mineral right or timber reservations of any kind on the subject real property;

J) It is not insolvent, under the control of a receiver or filing or has filed bankruptcy proceedings in any jurisdiction;

K) It has developed the subdivision of which the subject real property is a part according and pursuant to all applicable laws, ordinances, regulations, orders and decrees; and

L) It has a continuing duty to update Buyer in the event that any of the above representations and warranties are subject to change.

**7) BUYER'S REPRESENTATIONS:** Buyer represents and warrants unto Developer that:

A) It is financially able and ready to consummate this Closing as set forth herein, and is not filing or considering the filing of a bankruptcy petition, and is not insolvent or under the control of a receivership or other similar court-appointed entity;

B) It does not have any knowledge of, or any notice of threatened or pending litigation against Buyer;

C) It is not a "foreign person" as defined by IRC Section 1445(f)(3); and

D) It has a continuing duty to update Developer in the event that any of the above representations and warranties are subject to change.

**8) CONDITIONS:**

A) Residential Use: There must be no restrictions, easements, zoning or other governmental regulations that would prevent the reasonable use of the Property for Residential Purposes.

B) Improvements Prior To Closing: The Property must have legal access to a public right of way and improved to Department of Transportation specifications for ingress and egress to all lots. The Property must have all utilities, including electricity, public water, sanitary sewer or septic system with perked soil analysis approved for minimum Three (3) bedroom single family residence on each lot. All required permanent subdivision signage and street lighting must be approved and installed prior to

Closing.

C) Satisfaction of Prior Encumbrances: All deeds of trusts, liens, assessments and other charges against the Property, not assumed by Buyer, must be paid and satisfied by Sellers prior to or at Closing such that cancellation may be promptly obtained following Closing. Sellers shall remain obligated to obtain any such Pre-cancellations following Closing.

D) Good & Marketable Title: Title must be delivered at Closing by a General Warranty Deed unless otherwise stated herein, and must be fee simple marketable and insurable title, free of all encumbrances except: ad valorem taxes for the current year (prorated through the date of Closing); utility easements and unviolated restrictive covenants that do not materially affect the value of the Property; and such other encumbrances as may be assumed or specifically approved by Buyer in writing.

E) Special Assessments: Sellers hereby represent and warranty to Buyer that there is no pending or confirmed governmental special assessments for sidewalk, paving, water, sewer, or other improvements on or adjoining the Property, and no pending or confirmed owner's association special assessments, except as follows: None. Sellers shall pay all owner's association dues and all governmental assessments confirmed through the time of Closing, if any, and Buyer shall take title subject to all pending assessments, if any, unless otherwise agreed as follows: None known. Buyer/Builder shall not be required to pay any owner's association dues until the developed lot is transferred to the initial homeowner.

F) Recorded Plat: A recorded subdivision plat shall be recorded prior to Closing. All lots purchased hereunder shall be shown on the same recorded plat.

G) Use and Infrastructure: Buyer plans to construct residential single-family homes for resale on the real estate property. Buyer shall be required to pay tap fees as may be approved by applicable regulatory authorities, but Developer shall be responsible for all other costs of providing all subdivision infrastructure, including extension of streets and roads, utilities and water services to the Lot(s) in the subdivision. Buyer is responsible for payment for all tap fees and septic tank installation. All lots have been tested and verified to support septic systems for construction of three- and four-bedroom homes thereon.

H) Developer Work: Developer has undertaken road work (grading and paving), drainage, soil erosion and sedimentation controls for the lot(s) subject to the Contract, and shall be responsible for initial grading, seeding and at the time of Closing the lot(s) shall be in compliance with any storm water permits and sedimentation erosion control permits, if applicable. The Buyer intends to undertake construction activities in the subdivision and the lot(s) set forth above. Upon Closing, Buyer shall be fully and wholly responsible and obligated for any and all modification, alteration, damage, improvement, repair and correction of any matters relating to soil erosion and sedimentation control on the property listed above herein. Buyer, shall at Closing or upon submission subsequent thereto, execute all documents and instruments necessary to transfer the soil erosion and sedimentation permits from Developer to Buyer.

I) Streets: Developer shall construct all streets and roads to NCDOT standards and it is the intent that Developer shall dedicate all such streets and roads to NCDOT or an owner's association.

**9) PRORATIONS AND ADJUSTMENTS:** Unless otherwise provided for herein, the following items shall be prorated and either adjusted between the parties hereto or paid at Closing: Ad valorem taxes shall be prorated on a calendar year basis through the date of Closing; All late listing penalties, if any, shall be paid by Sellers; Owner's association dues, if any, shall be paid by Seller and waived for Buyer as set forth in para (7) sub-para (E) contained herein.

**10) EVIDENCE OF TITLE:** Sellers agree to use their best efforts to deliver to Buyer as soon as

reasonably possible after the Effective Date of this contact, copies of all title information in possession of or available to Sellers, including but not limited to title insurance policies, attorney's opinion on title, surveys, covenants, deeds, notes and deeds of trust and easements related to the Property. Seller authorizes any attorney presently or previously representing Sellers to release and disclose any title insurance policy to Buyer and Buyer's attorney and or agents, and the Property's title insurer or its agent to release and disclose all materials related thereto to Buyer and Buyer's agents and attorneys.

**11) LIEN WAIVER AND INDEMNIFICATION:** Sellers shall furnish at Closing an affidavit and indemnification agreement in a form satisfactory to Buyer showing that all labor and materials, if any, furnished to the Property within 120 days prior to the date of closing have been paid and further agree to indemnify Buyer against all loss from any cause or claim arising therefrom.

**12) INSPECTION, APPRAISAL AND INVESTIGATION:**

A) Property Inspection: Buyers shall have the right to have the real property inspected for environmental hazards and other contaminants, as defined pursuant to CERCLA, that would subject the Buyer to liability or otherwise make said property uninhabitable for any purpose whatsoever. Seller hereby warrants, covenants, promises and represents to Buyer that the property is not contaminated with any hazardous substance, as defined pursuant to CERCLA, nor subject to any environmental lien by any governmental agency whatsoever. Additionally, Seller hereby warrants, covenants, promises and represents that the subject property is not subject to wetlands regulation by any governmental agency, nor has Seller received notice from any governmental agency that the property is to be designated as subject to wetlands regulation. In the event that environmental hazards and/or contamination is found to be located on or under the property or if the property is designated as wetlands property by any governmental agency, then Buyer shall have the right to terminate this contract and receive a full refund of any earnest money paid.

B) Closing shall constitute acceptance of the Property in its then existing condition unless provision is otherwise made in writing.

**13) REASONABLE ACCESS:** Sellers will provide reasonable access to the Property through the earlier of Closing or possession by Buyer, to Buyer and Buyer's agents and representatives for the purposes of appraisal, inspection and other evaluation. Buyer may conduct a walk-through of the Property prior to Closing.

**14) CLOSING:** Closing shall be defined as the date and time of recording of the deed. All parties agree to execute any and all documents and papers necessary in connection with the Closing and transfer of title on or before the Take-Down Schedule Dates set forth hereinabove in Section 4, at a place designated by Buyer. The general warranty deed is to be made to: As directed at Closing.

**15) POSSESSION:** Possession shall be delivered at Closing unless otherwise agreed to in writing by Developer.

**16) RISK OF LOSS:** The risk of loss or damage by fire or other casualty prior to Closing shall be borne by the Sellers. If the improvements to the Property are destroyed or materially damaged prior to Closing, Buyer may terminate this contract by written notice delivered to Sellers and all earnest monies shall be returned to Buyer. If Buyer decides not to terminate this contract, Buyer shall be entitled to receive, in addition to the Property, any of Sellers' insurance proceeds payable on account of the damage or destruction applicable to the Property being purchased.

**17) SURVIVAL:** If any provision herein which by its nature and effect is required to be

observed, kept or performed after the Closing, it shall survive the Closing and remain binding upon and for the benefit of the parties hereto until fully observed, kept or performed.

**18) PARTIES:** This contract shall be binding upon and shall inure to the benefit of the parties and their heirs, successors and assigns. As used herein, words in the singular include the plural and the masculine includes the feminine and neuter genders as appropriate.

**19) ENTIRE AGREEMENT:** This contract contains the entire agreement of the parties and there are no representation, inducements or other provisions other than those expressed herein. All changes, additions or deletions hereto must be in writing and signed by all parties.

**THEREFORE AGREED,** on this the 12th day of February, 2020, the undersigned parties place their hands and seals in acceptance to the terms and conditions of this Offer to Purchase and Contract.

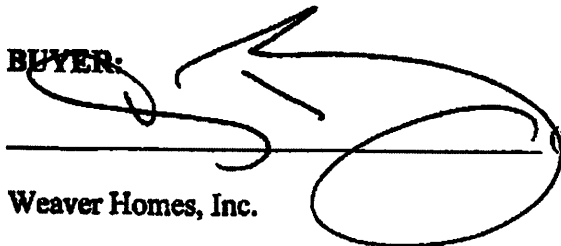
**DEVELOPER:**

 (Seal)

Oak Grove Developers, LLC

By: Bryant W Lockamy

**BUYER:**

 (Seal)

Weaver Homes, Inc.

By: Charles D. Blackwell

Print this page



**Property Description:**

TR#1 GERALD F LAWRENCE  
MAP#2018-360

# Harnett County GIS

**PID:** 040682 0328

**PIN:** 0681-58-5810.000

**REID:** 0018828

**Subdivision:**

**Taxable Acreage:** 11.660 AC ac

**Caclulated Acreage:** 11.37 ac

**Account Number:** 1500029893

**Owners:** OAK GROVE DEVELOPERS LLC

**Neighborhood:** 01101

**Actual Year Built:**

**TotalAcutalAreaHeated:** Sq/Ft

**Sale Month and Year:** 12 / 2018

**Sale Price:** \$182000

**Deed Book & Page:** 3661-0533

**Deed Date:** 2018/12/14

**Owner Address :** C/O BRYANT W LOCKAMY 941 OAK GROVE CHURCH RD ANGIER, NC 27501

**Plat Book & Page:** 2018-360

**Instrument Type:** WD

**Vacant or Improved:**

**QualifiedCode:** Q

**Transfer or Split:** T

**Within 1mi of Agriculture District:**  
Yes

**Property Address:** MITCHELL RD ANGIER, NC 27501

**City, State, Zip:** ANGIER, NC, 27501

**Building Count:** 0

**Township Code:** 11

**Fire Tax District:** Buies Creek

**Prior Building Value:** \$0

**Prior Outbuilding Value :** \$0

**Prior Land Value :** \$174740

**Prior Special Land Value :** \$21220

**Parcel Building Value:** \$0

**Parcel Outbuilding Value :** \$0

**Parcel Land Value :** \$62810

**Parcel Special Land Value :** \$0

**Total Value :** \$62810

**Prior Deferred Value :** \$153520

**Prior Assessed Value :** \$174740

**Parcel Deferred Value :** \$0

**Total Assessed Value :** \$62810

[Print this page](#)



**Property Description:**  
LOT#2 GERALD F LAWRENCE  
MAP#2018-360



**PID:** 040682 0328 12

**PIN:** 0681-59-8015.000

**REID:**

**Subdivision:**

**Taxable Acreage:** 18.900 AC ac

**Caclulated Acreage:** 18.84 ac

**Account Number:** 1400004618

**Owners:** LAWRENCE GERALD FLEMING & LAWRENCE LINDA LOU C

**Owner Address :** 156 WENDY LN ANGIER, NC 27501-0000

**Property Address:** MITCHELL RD ANGIER, NC 27501

**City, State, Zip:** ANGIER, NC, 27501

**Building Count:** 0

**Township Code:** 11

**Fire Tax District:** Buies Creek

**Parcel Building Value:** \$0

**Parcel Outbuilding Value :** \$0

**Parcel Land Value :** \$66150

**Parcel Special Land Value :** \$0

**Total Value :** \$66150

**Parcel Deferred Value :** \$0

**Total Assessed Value :** \$66150

**Neighborhood:** 00401

**Actual Year Built:**

**TotalAcutalAreaHeated:** Sq/Ft

**Sale Month and Year:** 12 / 1983

**Sale Price:** \$0

**Deed Book & Page:** 758-0427

**Deed Date:** 1983/12/01

**Plat Book & Page:** 2018-360

**Instrument Type:** WD

**Vacant or Improved:**

**QualifiedCode:** X

**Transfer or Split:**

**Within 1mi of Agriculture District:** Yes

**Prior Building Value:** \$0

**Prior Outbuilding Value :** \$0

**Prior Land Value :** \$0

**Prior Special Land Value :** \$0

**Prior Deferred Value :** \$0

**Prior Assessed Value :** \$0

# MITCHELL MANOR

## HARNETT COUNTY, NORTH CAROLINA MAJOR SUBDIVISION - CONSTRUCTION DRAWINGS

SUBMITTED TO HARNETT COUNTY: APRIL 2, 2019



### DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS & DEMOLITION PLAN
- C-03 OVERALL SITE LAYOUT
- C-04 PARTIAL SITE LAYOUT
- C-05 UTILITY PLAN
- C-06 GRADING & DRAINAGE PLAN
- C-07 MITCHELL MANOR DRIVE PLAN AND PROFILE
- C-08 LINDA LOU LANE PLAN AND PROFILE
- D-01 SITE DETAILS
- D-02 WATER DETAILS I
- D-03 WATER DETAILS II
- D-04 WATER DETAILS III
- EC-01 EROSION CONTROL PLAN
- EC-02 EROSION CONTROL DETAILS I
- EC-03 EROSION CONTROL DETAILS II
- EC-04 EROSION CONTROL DETAILS III
- EC-05 EROSION CONTROL DETAILS IV

THIS DEVELOPMENT IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT

#### SITE INFORMATION

LOCATION	MITCHELL ROAD ANGER, NC 27501
COUNTY	HARNETT
PARENT P/N	089-158-045
DEVELOPER	3661 / 533
ZONING	RA-30
ACREAGE	11.96 AC
LAND CLASS	AGRICULTURAL
<b>MINIMUM BUILDING SETBACKS</b>	
FRONT YARD	25'
SIDE YARD	10'
REAR YARD	25'
CORNER YARD	20'
<b>RIGHT OF WAY &amp; OTHER AREAS</b>	
RIGHT OF WAY DEDICATION	0.36 AC
NATURAL WETLANDS	0.19 AC
STREAM BUFFER	0.30 AC

<b>LOT ACREAGE (PH 1)</b>	
PHASE 1 AREA	11.96 AC
TOTAL NUMBER PROPOSED LOTS	11 +/-2 METERS
MINIMUM ALLOWED LOT SIZE	SEE BELOW**
MINIMUM PROPOSED LOT SIZE	25,000 SF
MINIMUM PROPOSED LOT SIZE	25,229 SF
AVERAGE PROPOSED LOT SIZE	120,791 SF
AVERAGE PROPOSED LOT SIZE	42,095 SF
<b>LOT ACREAGE (FUTURE PH 2)</b>	
PHASE 2 AREA	17.59 AC
TOTAL NUMBER PROPOSED LOTS	16
MINIMUM ALLOWED LOT SIZE	22,000 SF
MINIMUM PROPOSED LOT SIZE	26,249 SF
MINIMUM PROPOSED LOT SIZE	117,777 SF
AVERAGE PROPOSED LOT SIZE	47,893 SF

<b>PERMEABLE AREAS</b>	
ROADWAYS / PARKING	0.74 AC
SIDEWALKS	0.01 AC
DRIVEWAYS	0.05 AC
LOTS (13,922 SF LOT)	3.51 AC
TOTAL ON-SITE PERMEABLE AREA	4.31 AC
TOTAL ON-SITE PROPOSED IMPERVIOUS PERCENT	30%
TOTAL ON-SITE ALLOWABLE IMPERVIOUS PERCENT	30%
<b>UTILITY DEMANDS (PH 1 + PH 2)</b>	
SEWERAGE USAGE	13.460 GPD
4 BED X 120 GPD/RED X 28 UNITS	
WATER USAGE	13.460 GPD
4 BED X 120 GPD/RED X 28 UNITS	

\*\*THIS DEVELOPMENT PROPOSES SERVICE TO AN ADJACENT PARCEL (P/N 089-158-484) FOR A TOTAL OF 28 UNITS\*\*

#### Land Owner/Developer:

Oak Grove Developers, LLC  
P.O. Box 2135  
Angier, NC 27501  
919-524-3354  
Contact: Bryant Lockamy

#### Surveyor:

Mauldin-Watkins Surveying, PA  
P.O. BOX 444/1301 W. Broad Street  
Fuquay-Varina, NC 27526  
919.552.9326  
Contact: Wayne Mauldin, PLS

#### Civil Engineering:

The Curry Engineering Group, PLLC  
NC License # P-0799  
PO Box 2018  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
Contact: Don Curry, PE  
don@curryeng.com

UTILITY AGENCIES:  
WATER SERVICE  
HARNETT REGIONAL WATER  
700 MCKINNEY PARKWAY  
L.LINTON, NC 27540  
919.893.7375  
CONTACT: MR. SHANE CUMMINGS

NC DENR-PUBLIC WATER SUPPLY  
NC DENR DIVISION OF WATER RESOURCES  
RALEIGH REGIONAL OFFICE  
512 N. SALISBURY STREET  
RALEIGH, NC 27604  
919.707.9100

GOVERNING AGENCIES:  
PLANNING/DEVELOPMENT/LANDSCAPE  
HARNETT COUNTY  
PLANNING DEPT.  
108 E. FRONT ST  
L.LINTON, NC 27540  
919.893.7425 CP1 &  
CONTACT: MR. LANGDON CHANDLER

ENGINEERING  
HARNETT COUNTY PUBLIC  
UTILITIES DEPT.  
700 MCKINNEY PARKWAY  
L.LINTON, NC 27540  
919.893.7375  
CONTACT: MR. SHANE CUMMINGS

STORMWATER  
NC DENR DIVISION OF ENERGY, MINERAL & LAND  
RESOURCES  
RALEIGH REGIONAL OFFICE  
512 N. SALISBURY STREET  
RALEIGH, NC 27604  
919.801.0208  
CONTACT: MR. ROBERT PATTERSON, PE

EROSION CONTROL  
NC DENR DIVISION OF ENERGY, MINERAL & LAND  
RESOURCES  
FAYETTEVILLE REGIONAL OFFICE  
220 GREEN STREET, SUITE 114  
FAYETTEVILLE, NC 28301  
910.423.2300  
CONTACT: MS. JODI PACE

MITCHELL MANOR SUBDIVISION - PHASE 1  
COVER SHEET

DATE: APRIL 2, 2019  
SCALE: 1" = 1000'  
SHEET NO. 1 OF 1



Curry  
ENGINEERING

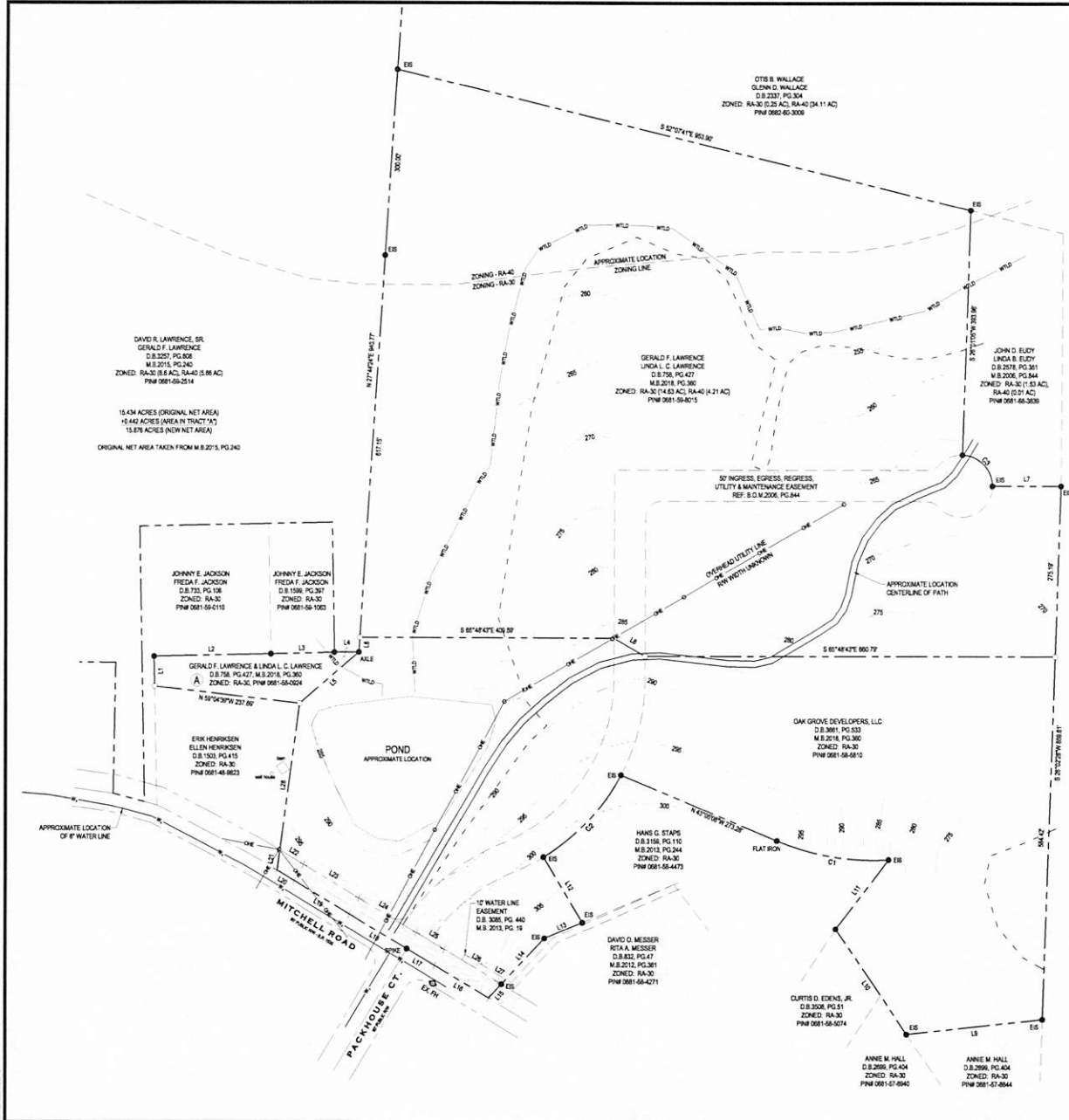
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C-00

*Handwritten initials*







- GENERAL NOTES:**
- THIS PLAN IS NOT INTENDED FOR PLATING OR RECORDATION.
  - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION, THUS IT HAS NOT BEEN SEALED. THE BOUNDARY & ENVIRONMENTAL INFORMATION SHOWN REPRESENTS A SERIES OF FIELD SURVEYS.
  - TOPOGRAPHY SHOWN ON THIS PLAN IS PER SITE SURVEY BY MAULDIN-WATKINS.
  - EXISTING WATER LINES SHOWN ON THIS PLAN FROM HARNETT COUNTY GIS.
  - THE ENGINEER UNDERSTANDS THE SURVEY INFORMATION PROVIDED TO MEET THE FOLLOWING CRITERIA:
    - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS OF RECORD AFFECTING SAME. PROPERTY BOUNDARY SHOWN BASED PER MAPS AND RECORDS OF RECORD ONLY.
    - NO TITLE SEARCH HAS BEEN PERFORMED BY THIS FIRM DURING THE COURSE OF THIS SURVEY.
    - THIS SURVEYOR DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON THE SITE.
    - HORIZONTAL DATUM = NAD83; VERTICAL DATUM = NAVD83.
  - FLOOD HAZARD SOILS SHOWN PER HARNETT COUNTY GIS, AS APPLICABLE.

**PROPERTY CURVE TABLE:**

CURVE	RADIUS	LENGTH	CHORD	CHORD BEAR.
C1	405.00'	183.57'	181.91'	N 58°12'22" W
C2	335.00'	183.84'	181.54'	S 87°14'45" W
C3	53.00'	76.87'	66.52'	S 19°32'26" E

**PROPERTY LINE TABLE:**

COURSE	BEARING	DISTANCE
L1	N 89°43'31" W	237.89'
L2	N 89°43'31" W	237.89'
L3	N 89°43'31" W	237.89'
L4	N 89°43'31" W	237.89'
L5	N 89°43'31" W	237.89'
L6	N 89°43'31" W	237.89'
L7	N 89°43'31" W	237.89'
L8	N 89°43'31" W	237.89'
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L80	N 89°43'31" W	237.89'
L81	N 89°43'31" W	237.89'
L82	N 89°43'31" W	237.89'
L83	N 89°43'31" W	237.89'
L84	N 89°43'31" W	237.89'
L85	N 89°43'31" W	237.89'
L86	N 89°43'31" W	237.89'
L87	N 89°43'31" W	237.89'
L88	N 89°43'31" W	237.89'
L89	N 89°43'31" W	237.89'
L90	N 89°43'31" W	237.89'
L91	N 89°43'31" W	237.89'
L92	N 89°43'31" W	237.89'
L93	N 89°43'31" W	237.89'
L94	N 89°43'31" W	237.89'
L95	N 89°43'31" W	237.89'
L96	N 89°43'31" W	237.89'
L97	N 89°43'31" W	237.89'
L98	N 89°43'31" W	237.89'
L99	N 89°43'31" W	237.89'
L100	N 89°43'31" W	237.89'

- SURVEY LEGEND:**
- EXISTING IRON PIPE (CONTROL POINT)
  - IRON STAKE SET (UNLESS OTHERWISE NOTED)
  - EXISTING CONCRETE MONUMENT (CONTROL POINT)
  - CONCRETE MONUMENT SET
  - 1. COMPUTED POINT ONLY
  - SANITARY SEWER MANHOLE
  - EXISTING IRON STAKE
  - PROPERTY BOUNDARY
  - HERITAGE TREE BUFFER
  - EASEMENT
  - 100-YR FLOOD PLAIN
  - FLOODWAY
  - WETLANDS BOUNDARY
  - RIPARIAN BUFFER
  - OVER-HEAD POWER
  - UG FIBER
  - UG TELECOMMUNICATIONS
  - EXISTING WATER
  - EXISTING SANITARY SEWER
  - FLOOD-HAZARD SOILS BOUNDARY
  - MINOR CONTOUR
  - MAJOR CONTOUR

**Surveyor:**  
 Mauldin-Watkins Surveying, PA  
 P.O. BOX 444/1301 W. Broad Street  
 Fuquay-Varina, NC 27526  
 919.552.8326  
 Contact: Wayne Mauldin, PLS



SCALE 1" = 80' FT  
 SCALE IN FEET  
 HORIZONTAL

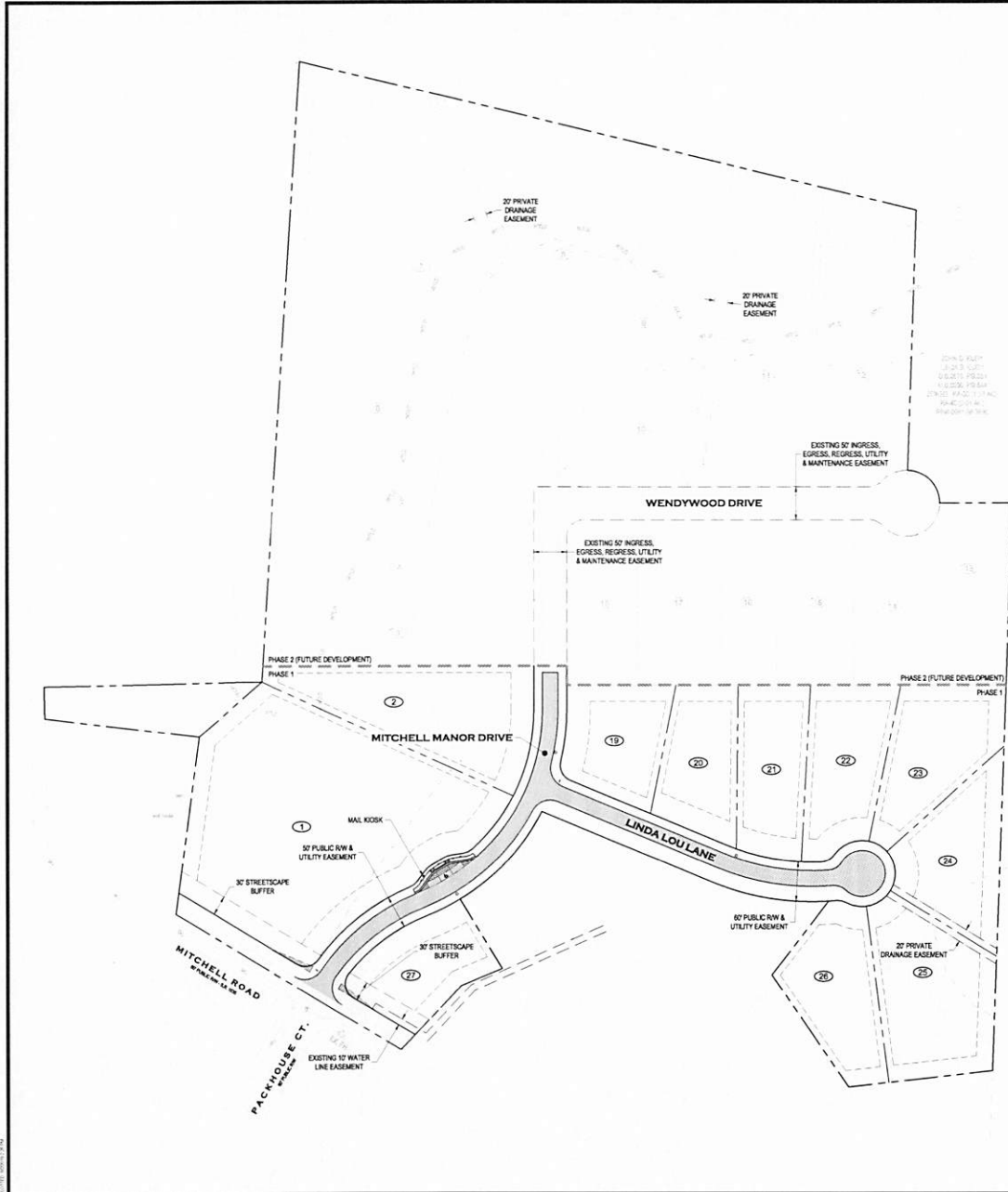
PROFESSIONAL ENGINEER SEAL  
 NOT AFFIXED TO SHEET AS  
 ENGINEER DOES NOT CERTIFY  
 INFORMATION PROVIDED BY  
 OTHERS

**MITCHELL MANOR SUBDIVISION - PHASE 1  
 EXISTING CONDITIONS & DEMOLITION PLAN**

Curry ENGINEERING  
 C-02

DATE: APRIL 2, 2018  
 SHEET NO.: 2018-008  
 SHEET SIZE: 24" X 36"

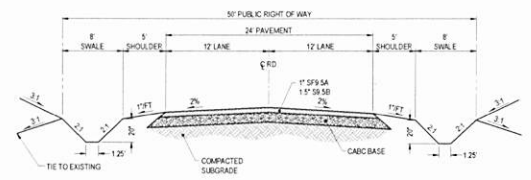
03



- GENERAL NOTES**
- THE FOLLOWING NOTES SHALL BE RELEVANT FOR ALL SUBDIVISION PLAN SHEETS
  - ALL CONSTRUCTION SHALL BE PER HARNETT COUNTY & NC DOT STANDARDS AND SPECIFICATIONS
  - ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED
  - ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED
  - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS
  - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
  - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY PIPES, CONCRETE, DITCHES, CURBS AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS
  - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
  - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY
  - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS. ENTRY SIGNS WILL REQUIRE A SEPARATE SIGN PERMIT
  - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED
  - COMMON OPEN SPACE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS' ASSOCIATION
  - ANY SPECIALITY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE HARNETT COUNTY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
  - ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS
  - AREAS OF PARCEL FRONTS THAT ARE NOT SUBDIVIDED TO CREATE SINGLE FAMILY RESIDENTIAL LOTS ARE TO REMAIN AS ONE PARCEL, TO BE OWNED AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION OF THE NEIGHBORHOOD



1 TYPICAL BUILDING SETBACKS  
SCALE: NTS



2 RESIDENTIAL COLLECTOR  
TYPICAL STREET SECTION  
SCALE: NTS

**LEGEND**

○	STREET LIGHT
⊕	SIGN
⊕	WHEEL CHAIR RAMP
⊕	CLUSTER MAILBOX UNIT
—	ROADWAY CENTERLINE
—	RIGHT OF WAY LINE
—	PHASE LINE
—	SETBACK LINE
—	BMP LIMITS
—	EASEMENT
—	VALLEY CURB & GUTTER
—	STANDARD CURB & GUTTER
—	SPILL CURB & GUTTER
—	CHAIN LINK FENCE
—	CONCRETE SIDEWALK
—	ASPHALT PAVEMENT
—	ASPHALT OVERLAY
—	GRAVEL SURFACING

DATE	APRIL 2, 2019
SCALE	1" = 80'
SHEET NO.	11 OF 12
TITLE	MITCHELL MANOR SUBDIVISION - PHASE 1 OVERALL SITE LAYOUT
DRAWN BY	...
CHECKED BY	...
DESIGNED BY	...
PROJECT NO.	...
CLIENT	...

**MITCHELL MANOR SUBDIVISION - PHASE 1  
OVERALL SITE LAYOUT**

Prepared by: [Signature]  
Checked by: [Signature]  
Date: [Date]

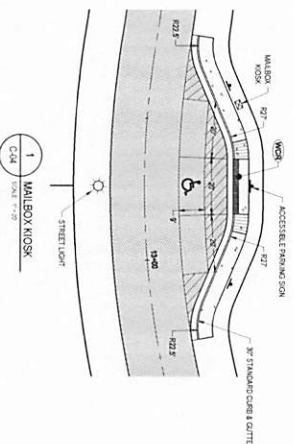
**Curry**  
ENGINEERING

8/2/19

C-03

[Signature]

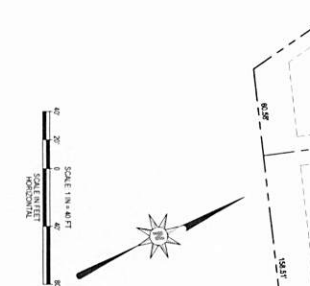
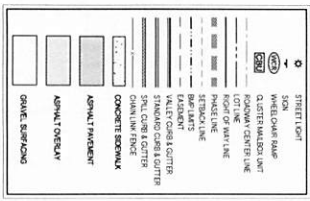
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CURET TABLE									
NAME	ROADWAY	ROADS	ASC	MODE	EXT. STA.	COND.	BEGN. STA.	END STA.	REMARKS
C1	MITCHELL MANOR DRIVE	38.17'	16.38'	191.22'	161.38'	14.31'	147.07'	161.38'	147.07'
C2	MITCHELL MANOR DRIVE	311.17'	295.52'	288.18'	218.26'	52.27'	64.27'	102.244'	154.181'
C3	LINDA LOU LANE	38.41'	21.87'	218.27'	113.41'	16.42'	119.99'	387.9924'	1541.21'

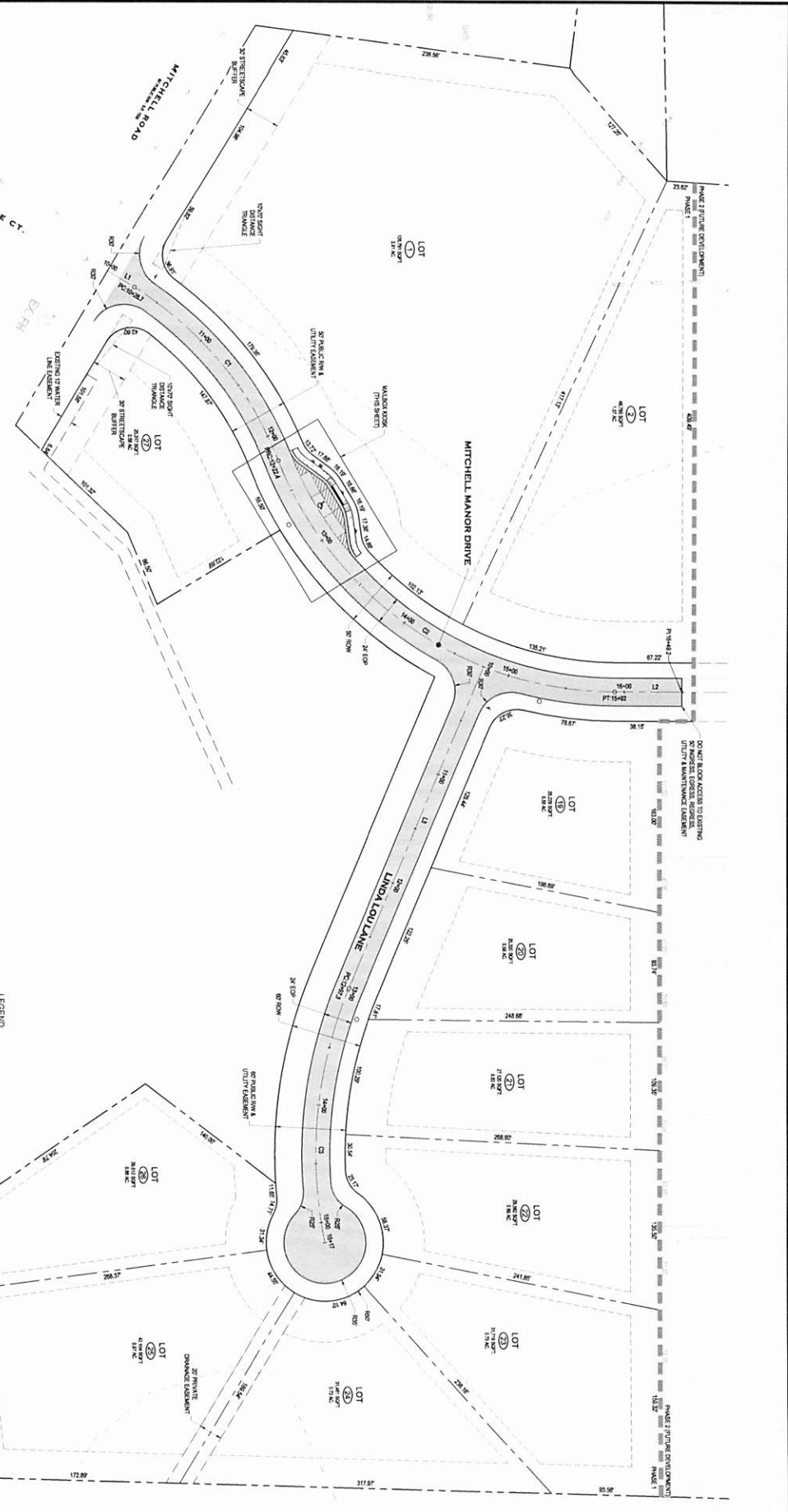
NAME	ROADWAY	LENGTH	DIRECTION	BEGN. STA.	END STA.
L1	MITCHELL MANOR DRIVE	51.26'	NORTH	164.00'	164.51'
L2	MITCHELL MANOR DRIVE	51.26'	SOUTH	164.51'	164.00'
L3	LINDA LOU LANE	201.27'	SOUTH	154.00'	154.27'



**Curry**  
 ENGINEERING

275 S. Foothill Avenue  
 Raleigh, NC 27608  
 Phone: 919.877.1111  
 Fax: 919.877.1112

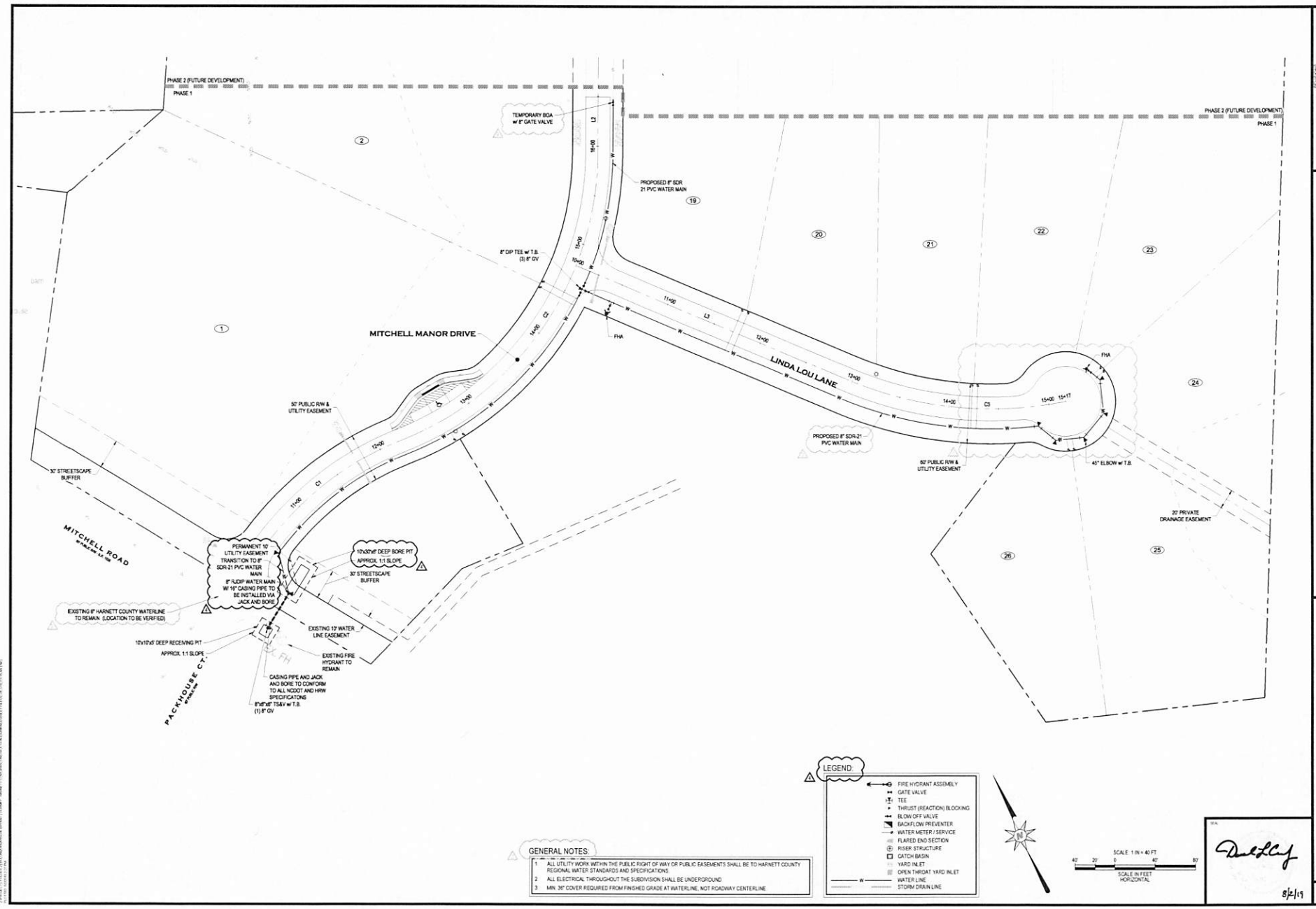
DATE: APRIL 2, 2019  
 FILE NO: 2018-036  
 HORIZ. SCALE: 1" = 40'  
 DRWG. SHEET SIZE: 24 x 36



**MITCHELL MANOR SUBDIVISION - PHASE 1**  
**PARTIAL SITE LAYOUT**

DATE: APRIL 2, 2019  
 FILE NO: 2018-036  
 HORIZ. SCALE: 1" = 40'  
 DRWG. SHEET SIZE: 24 x 36

03



DATE: APRIL 2, 2019	PROJECT: 2018-005	SHEET: 11 OF 12
DATE: APRIL 2, 2019	PROJECT: 2018-005	SHEET: 11 OF 12

**MITCHELL MANOR SUBDIVISION - PHASE 1**  
UTILITY PLAN

2018-005-005  
2018-005-005  
2018-005-005

**Curry**  
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8/2/19

C-05

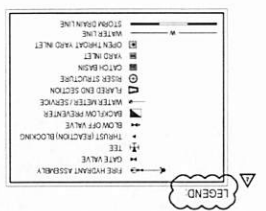
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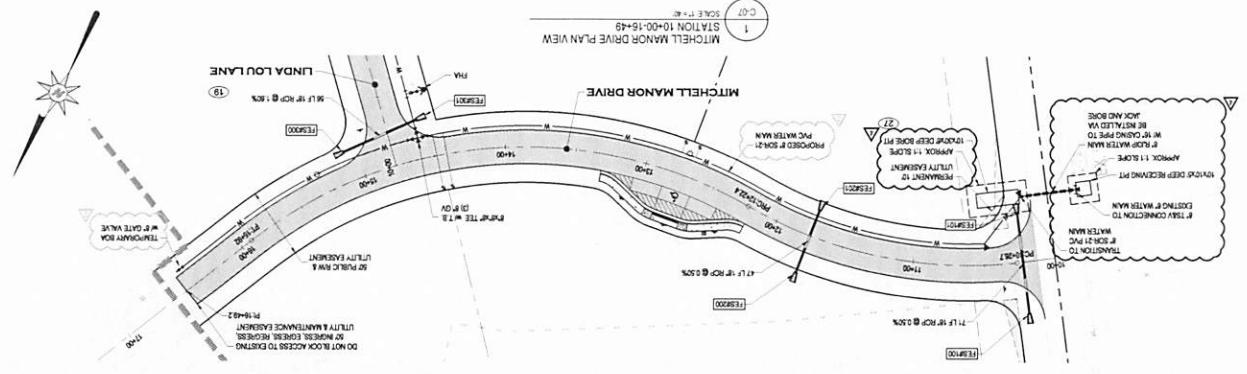
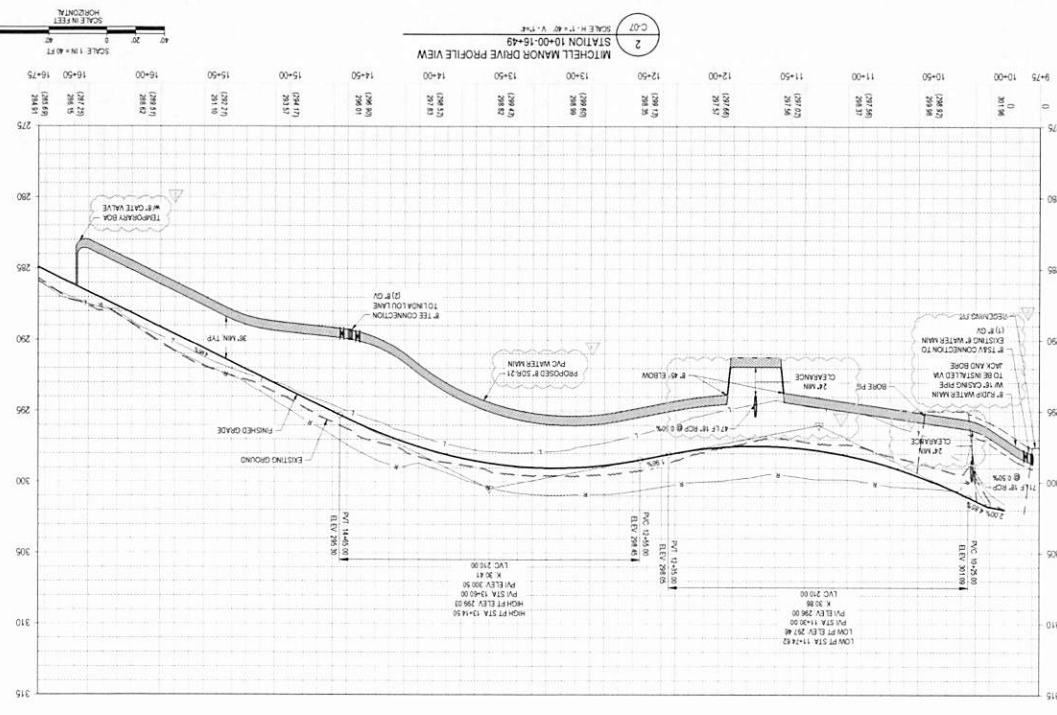
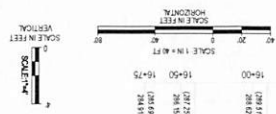
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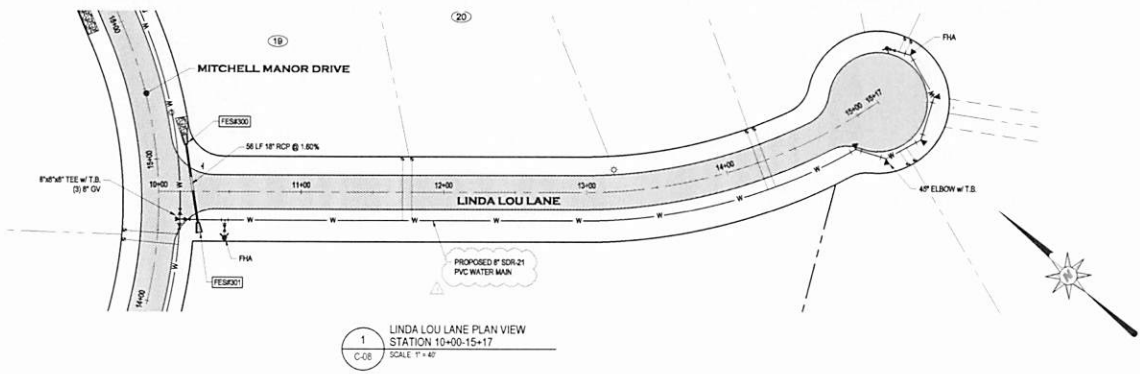
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PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1	SCALE: 1" = 40'
CLIENT: [REDACTED]	SCALE: 1" = 40'
PROJECT NO: [REDACTED]	SCALE: 1" = 40'
DATE: 08/20/2018	SCALE: 1" = 40'

Scale  
*Curry*



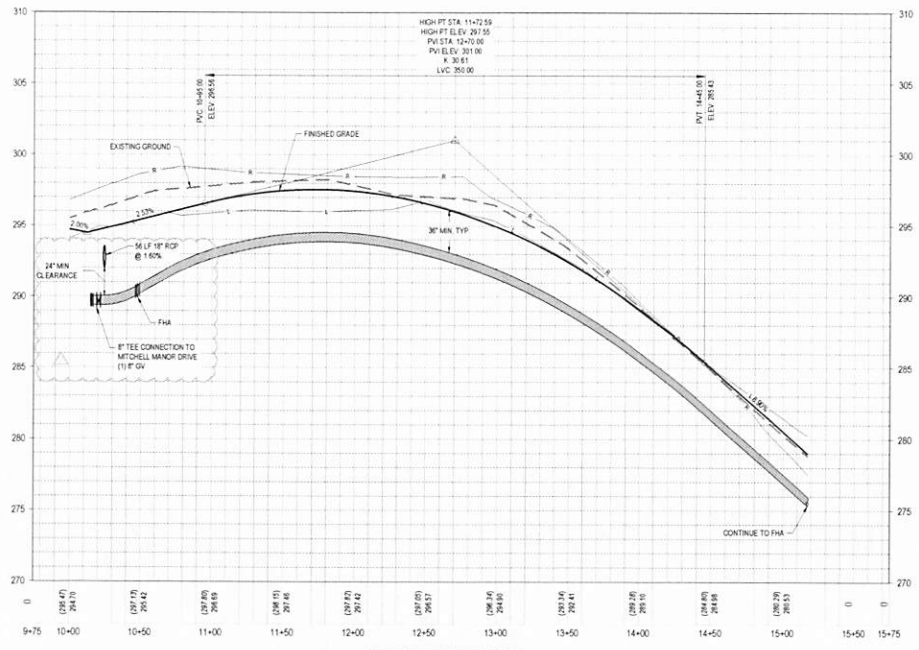
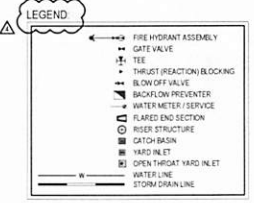
- GENERAL NOTES**
- ALL UTILITIES SHOWN WITHIN THE SUBDIVISION SHALL BE LOCATED IN ACCORDANCE WITH THE HANDBOOK FOR PUBLIC UTILITIES AND SHALL BE TO REMAIN IN PLACE.
  - PRELIMINARY TELEPHONE, GAS, AND CABLE (T) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL CONTACT THE INSTALLATION OF THESE UTILITIES WHEN INSTALLING.
  - ELECTRICAL TRANSFORMERS SHALL NOT BE LOCATED WITHIN REQUIRED LANDSCAPED AREAS.
  - WATER METERS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, NO EXPOSURES, OR OTHER AREAS.
  - ALL ELECTRICAL PROVISIONS OUTSIDE THE SUBDIVISION SHALL BE UNDERGROUND.
  - REFER TO GROUND AND DRAINAGE PLAN FOR STORM DRAINAGE DETAILS.
  - MANHOLE COVERS REQUIRED FROM FINISHED GRADE AT WATERLINE, NOT ROWWAY CENTERLINE.





1 LINDA LOU LANE PLAN VIEW  
STATION 10+00-15+17  
SCALE: H = 1" = 40'

- GENERAL NOTES:**
1. ALL UTILITIES SHOWN WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO HERRITT REGIONAL WATER STANDARDS AND SPECIFICATIONS.
  2. PRIVATE UTILITIES (TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
  3. ELECTRICAL TRANSFORMERS SHALL NOT BE LOCATED WITHIN REQUIRED LANDSCAPED BUFFERS.
  4. WATER METERS SHALL NOT BE LOCATED WITHIN DRIVEWAYS. NO EXCEPTIONS.
  5. ALL ELECTRICAL THROUGHOUT THE SUBDIVISION SHALL BE UNDERGROUND.
  6. REFER TO GRADING AND DRAINAGE PLAN FOR STORM DRAINAGE TABLES.
  7. MIN. 36" COVER REQUIRED FROM FINISHED GRADE AT WATERLINE, NOT ROADWAY CENTERLINE.



2 LINDA LOU LANE PROFILE VIEW  
STATION 10+00-15+17  
SCALE: H = 1" = 40' V = 1" = 4'



PROJECT NO.	2018-001
DATE	APRIL 2, 2019
SCALE	1" = 40'
DATE	APRIL 2, 2019
SCALE	1" = 40'
DATE	APRIL 2, 2019
SCALE	1" = 40'
DATE	APRIL 2, 2019
SCALE	1" = 40'

**MITCHELL MANOR SUBDIVISION - PHASE 1**  
**LINDA LOU LANE PLAN AND PROFILE**

2018-001  
2019-001  
2020-001  
2021-001  
2022-001  
2023-001  
2024-001  
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2099-001  
2100-001



*Paul Jay*  
04/19  
C-08

*09*



26

D-01

ENGINEERING



2000 SOUTH MAIN STREET  
MILWAUKEE, WI 53212  
TEL: 414.224.8800  
WWW.CURRYENGINEERING.COM

size  
*Curry*

MITCHELL MANOR SUBDIVISION - PHASE 1  
SITE DETAILS

DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113
DATE: 09.12.2010	PROJECT: 1113

**848.05**

PROPOSED STAIRWELL CONCRETE FOR CURB RAMPS

NOTES:

1. CONCRETE SHALL BE 2500 PSI.
2. CURB SHALL BE 4" HIGH AND 12" WIDE.
3. CURB SHALL BE SET ON 4" SAND.
4. CURB SHALL BE SET ON 4" SAND.
5. CURB SHALL BE SET ON 4" SAND.
6. CURB SHALL BE SET ON 4" SAND.
7. CURB SHALL BE SET ON 4" SAND.
8. CURB SHALL BE SET ON 4" SAND.
9. CURB SHALL BE SET ON 4" SAND.
10. CURB SHALL BE SET ON 4" SAND.

DATE: 09.12.2010

**848.05**

PROPOSED STAIRWELL CONCRETE FOR CURB RAMPS

DATE: 09.12.2010

**848.01**

PROPOSED STAIRWELL CONCRETE FOR CONCRETE SIDEWALK

DATE: 09.12.2010

**848.05**

PROPOSED STAIRWELL CONCRETE FOR CURB RAMPS

DATE: 09.12.2010

**848.05**

PROPOSED STAIRWELL CONCRETE FOR CURB RAMPS

DATE: 09.12.2010

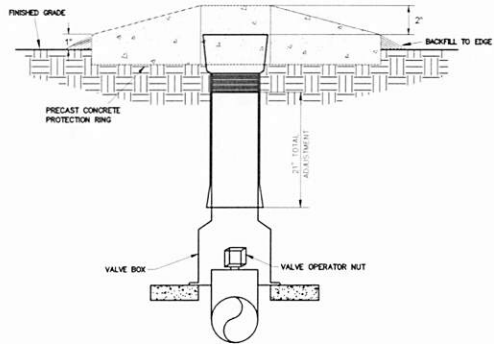
**848.05**

PROPOSED STAIRWELL CONCRETE FOR CURB RAMPS

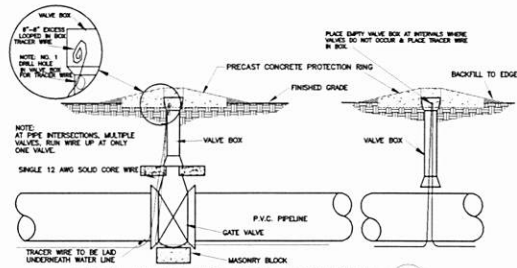
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DATE PLOTTED: 10/12/2010 10:45:00 AM



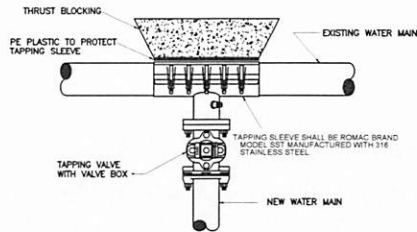


TYPICAL VALVE BOX DETAIL W  
NO SCALE

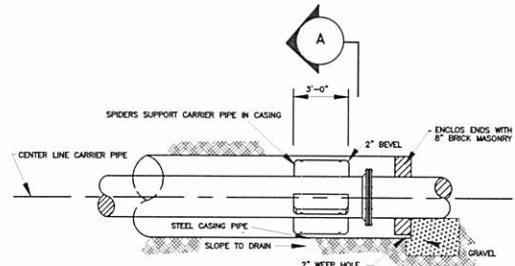


TYPICAL TRACER WIRE INSTALLATION DETAIL W  
NO SCALE

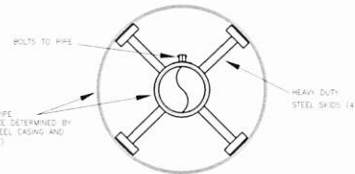
- NOTES:
1. DRILL HOLE IN VALVE BOX TO INSERT TRACER WHIPPING UP TO INSIDE AND PULL UP AT LEAST 4"-6" EXCESS
  2. PLACE TRACER WIRE IN VALVE BOX AT 1.000' INTERVALS OR AS NOTED ON THE PLANS, TYPICAL.
  3. DO NOT SPlice WIRE WHEN BEGINNING A NEW SPOOL. INSTEAD INSTALL A VALVE BOX AND ATTACH EACH WIRE WITH A BRASS SCREW TO THE VALVE BOX.



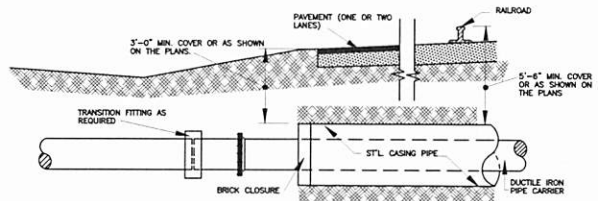
TYPICAL TAPPING SLEEVE AND VALVE ASSEMBLY DETAIL W  
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ELEVATION



SECTION "A"



PROFILE

TYPICAL BORING & JACKING DETAIL W  
NO SCALE

PROJECT NO.	DATE
REVISION NO.	DATE
BY	DATE
CHECKED	DATE
APPROVED	DATE
SCALE	DATE
PROJECT TITLE	DATE

MITCHELL MANOR SUBDIVISION - PHASE 1  
WATER DETAILS II

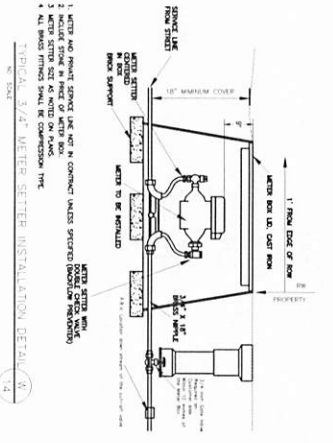
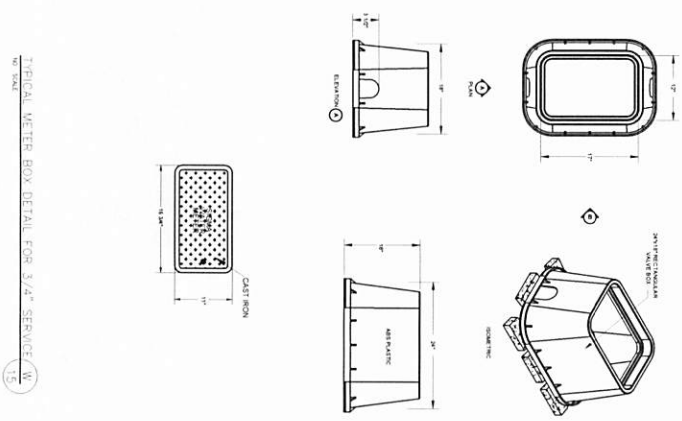
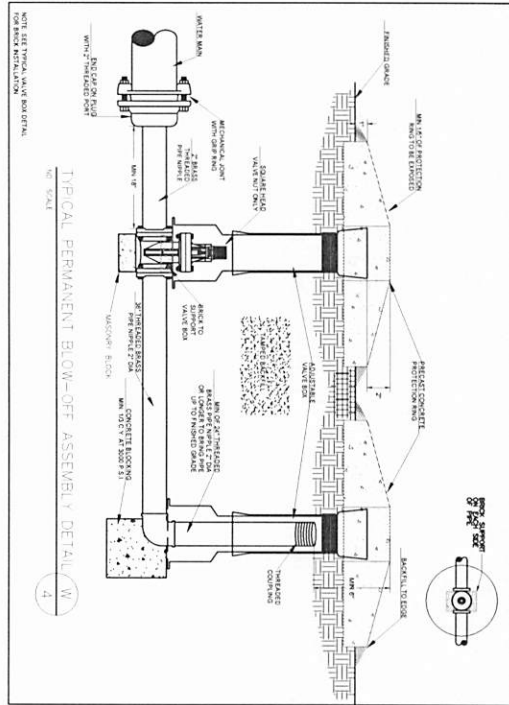
7 800 888 8888  
208 N. Fourth Street  
Corry, PA 16801



*Paul L. Corry*  
8/2/19

D-03

*CR*



<p>WATER DISTRIBUTION SYSTEM  <b>HARNETT COUNTY SPECIFICATIONS</b>                  HARNETT COUNTY - NORTH CAROLINA</p>		<p>HARNETT County                  Public Utilities                  LILLINGTON, NORTH CAROLINA</p>	
Scale: NOTED	Date: 2008	Drawn By: HOPRU	Checked By: W.W.B.
Book No.:	Page No.:	Sheet No.:	2 of 3

*Handwritten signature*  
 6/14/18

**Curry** ENGINEERING  
 205 S. Ferry Street  
 Raleigh, NC 27601  
 919.833.8888

**MITCHELL MANOR SUBDIVISION - PHASE 1**  
**WATER DETAILS III**

DATE: APRIL 2 2018	WORK SCALE: N.T.S.
FILE NO: 2018-038	GRID SHEET SIZE: 24x36

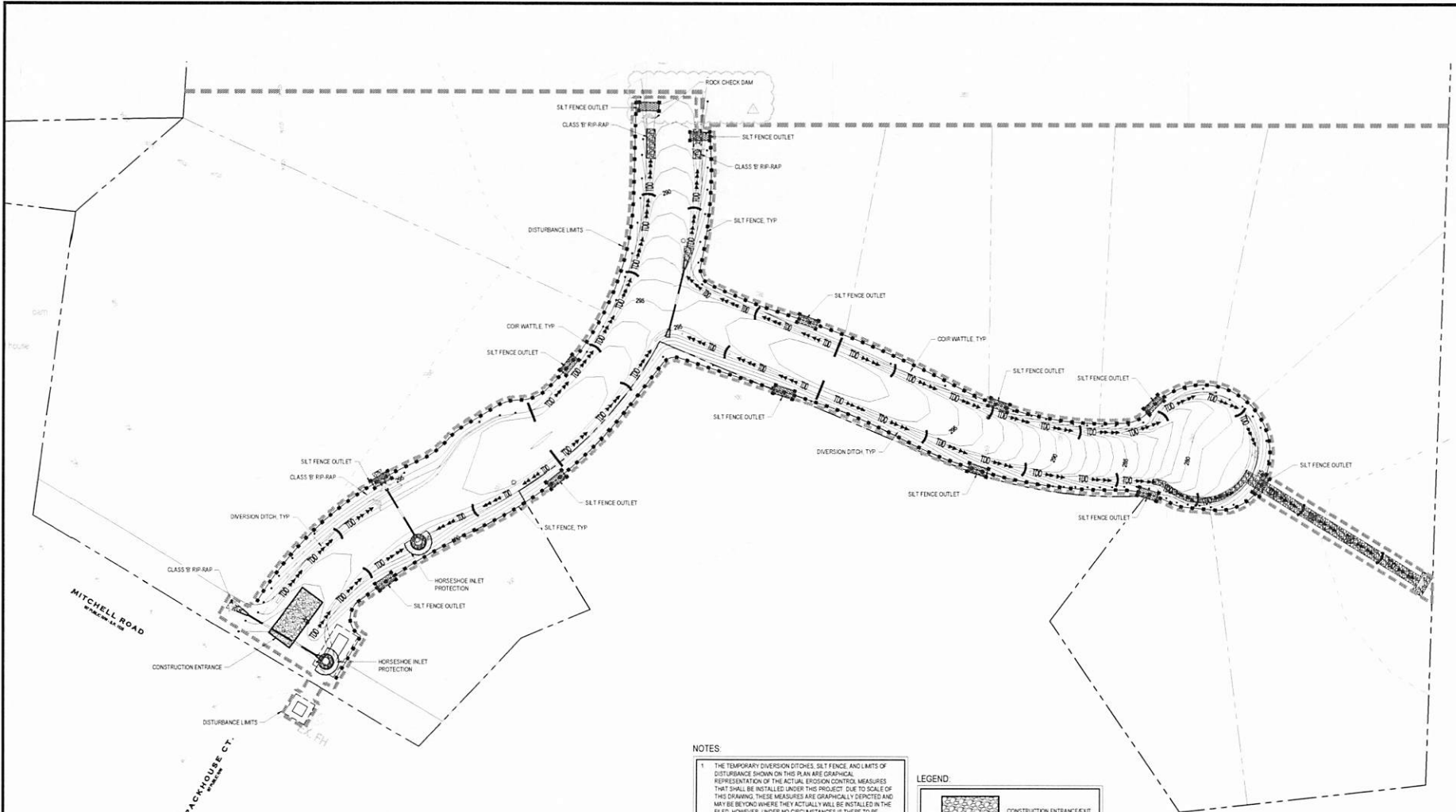
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PROJECT NO. 1901000	PROJECT NO. 1901000	PROJECT NO. 1901000	PROJECT NO. 1901000
DATE: APRIL 2, 2019	DATE: APRIL 2, 2019	DATE: APRIL 2, 2019	DATE: APRIL 2, 2019
SCALE: 1" = 40' HORIZONTAL	SCALE: 1" = 40' HORIZONTAL	SCALE: 1" = 40' HORIZONTAL	SCALE: 1" = 40' HORIZONTAL

**MITCHELL MANOR SUBDIVISION - PHASE 1  
EROSION CONTROL PLAN**

DATE: APRIL 2, 2019  
SCALE: 1" = 40' HORIZONTAL

**Curry**  
ENGINEERING

EC-01



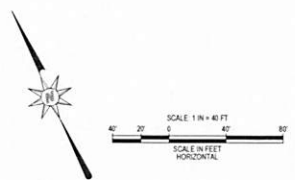
**NPDES STABILIZATION TABLE**

SITE AREA DESCRIPTION	STABILIZATION	TEMPERATURE EXCEPTIONS
Formerly open, wooded, 80% slope and steeper	7 days	None
High Quality Water (HQWL) Zones	7 days	None
Slopes steeper than 3:1	7 days	7 days for 10' slope or steeper and are not steeper than 2:1, 14 days for all other
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 5:1 or steeper
All other areas with slopes flatter than 4:1	14 days	None, except for permittees and HQWL Zones

- NOTES**
1. THE TEMPORARY DIVERSION DITCHES, SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATION OF THE ACTUAL EROSION CONTROL MEASURES THAT SHALL BE INSTALLED UNDER THIS PROJECT. DUE TO SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED AND MAY BE BEYOND WHERE THEY ACTUALLY WILL BE INSTALLED IN THE FIELD. HOWEVER, UNDER NO CIRCUMSTANCES IS THERE TO BE DISTURBANCE WITHIN THE WETLAND AND/OR STREAM BUFFER AREAS.
  2. THE WORK ASSOCIATED WITH THIS PERMIT INCLUDES CLEARING AND GRUBBING AND INFRASTRUCTURE INSTALLATION.
  3. TOTAL DISTURBED AREA = 2.22 AC.
  4. REFER TO DETAIL SHEET EC-02 FOR CONSTRUCTION SEQUENCE, EROSION CONTROL NARRATIVE, MAINTENANCE NOTES, STABILIZATION INSTRUCTIONS & EROSION CONTROL DETAILS.
  5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT NCGENR STANDARDS AND REGULATIONS.
  6. SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
  7. THERE SHALL BE NO DISTURBANCE OUTSIDE THE LIMITS SHOWN ON THIS PLAN WITHOUT AN APPROVED PLAN AMENDMENT BY NCGENR.
  8. ALL DISTURBED AREAS SHALL BE SEEDDED PER STABILIZATION TABLE.
  9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELF-INSPECTION LOG.
  10. ALL DIVERSION DITCHES SHALL HAVE 12" CORR WATTLE CHECK DAMS (SPRIGG) EVERY 300 L.F. OF DITCH.
  11. NOTE THAT PERMANENT GROUND COVER MUST BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR NO MORE THAN 30 CALENDAR DAYS, WHICHEVER IS SHORTER.
  12. INSTALL CORR LINKING IN THE TIGHTS IMMEDIATELY AFTER INSTALLATION IN ORDER TO MINIMIZE EROSION AND PROVIDE A STABLE DITCH LINING. SEED AND MULCH ON THE DITCH IMMEDIATELY UPON INSTALLATION.

**LEGEND**

- CONSTRUCTION ENTRANCE
- HORSESHOE INLET PROTECTION
- SILT FENCE OUTLET
- OUTLET PROTECTION
- CORR WATTLE
- DIVERSION DITCH
- SILT FENCE
- DISTURBANCE LIMITS
- ROCK CHECK DAM



*D. Kelly*

*OK*

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.
2. TOTAL DISTURBANCE LIMITS - 2 Z Z 22
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW AND IS SUBJECT TO A FINE GRADING MORE THAN 1' ACHIEVE WITHOUT AN APPROVED EROSION CONTROL PLAN OR A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW AND IS SUBJECT TO A FINE.
4. THE EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH ALL NCDEM STANDARDS AND SPECIFICATIONS.
5. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. A MINIMUM OF ONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AND UTILIZED. THIS ENTRANCE SHALL BE BETWEEN THE LIMITS OF DISTURBANCE AND ANY ROAD RIGHT-OF-WAY.
6. ADJACENT PROPERTIES AND RIGHT-OF-WAY SHALL BE KEPT FREE OF MUD AND/OR SEDIMENT LOADEN RUNOFF.
7. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE RECOMMENDED AS A MINIMUM IN ORDER TO CONTROL RUNOFF. IT IS POSSIBLE THAT MORE STRINGENT MEASURES MAY BE NEEDED AS DETERMINED BY THE CONTRACTOR, PROJECT ENGINEER, AND/OR EROSION CONTROL INSPECTOR. IF IT IS DETERMINED THAT ADDITIONAL RUNOFF CONTROL IS NEEDED, SUCH MEASURES SHALL BE INSTALLED IMMEDIATELY.
8. SOIL MAINTENANCE ISSUES ARISE, PLEASE CONTACT BRYANT LOCKAMY AT (919) 524-3354.
9. CONTRACTOR SHALL LOCATE AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.

EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THE PURPOSE OF THIS PROJECT IS TO CLEAR A GRUB AND MASS GRADING FOR A BLDG (PHASES 1-3) SINGLE FAMILY RESIDENTIAL SUBDIVISION. THE PROPERTY IS PRIVATELY OWNED. SEE OWNER INFORMATION ON EXISTING CONDITIONS PLAN. THE SITE IS CURRENTLY UNDEVELOPED. APPROXIMATELY 2.21 ACRES WILL BE DISTURBED DURING CONSTRUCTION. THE MAXIMUM FILL WILL BE APPROX. 3 FEET AND THE MAXIMUM CUT WILL BE APPROX. 3 FEET. THIS PROJECT WILL INCLUDE REMOVAL OF TOPSOIL TO CREATE RESIDENTIAL ROADWAY, INFRASTRUCTURE, & PAD ROAD LOTS. STORMWATER MANAGEMENT IS NOT REQUIRED ON THIS DEVELOPMENT.

THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION ON 11/26/2016 WITH PROJECT COMMUNICATION AND FINAL STABILIZATION BY FALL 2016. THE EROSION AND SEDIMENT CONTROL PROGRAM FOR THIS PROJECT WILL INCLUDE THE INSTALLATION OF A SUIPER & CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCING, SILT FENCE OUTLETS, DIVERSION DITCHES, INLET PROTECTION MEASURES AND SEDIMENT BASINS.

ADJACENT PROPERTY

ADJACENT PROPERTY OWNERS ARE NOTED ON THE EXISTING CONDITIONS PLAN. THE SOILS AT THIS SITE ARE PREDOMINANTLY LOMAM SANDS. SOILS ARE MOSTLY WELL DRAINED WITH KsR RANGES FROM MODERATELY HIGH TO HIGH SLOPES ARE LARGELY BETWEEN 10 TO 15%.

CONSTRUCTION SEQUENCE

- 1. OBTAIN A LAND DISTURBING PERMIT FROM NCDEM.
2. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH NCDEM AT LEAST ONE WEEK PRIOR TO START OF LAND DISTURBANCE.
3. CLEAR THE AREA NEEDED TO CONSTRUCT THE PROPOSED CONSTRUCTION ENTRANCE.
4. CONSTRUCT THE ENTRANCE AS SHOWN ON THE PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE DAILY TO ENSURE THAT MUD AND SILT WILL NOT BE TRACKED ONTO THE FRESH SURFACE. IF MUD IS TRACKED ONTO THE SURFACE, IT IS TO BE REMOVED IMMEDIATELY.
5. CLEAR THE AREA NEEDED TO CONSTRUCT THE REMAINDER OF PERMANENT EROSION CONTROL MEASURES INCLUDING SILT FENCE, ROCK CHECK DAMS, TEMPORARY DIVERSIONS, SEDIMENT BASIN, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. INSTALL PROPOSED DEVICES. SEED TEMPORARY DIVERSIONS, BEINGS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. THE STRAW BUFFER AREA MAY BE CLEARED AT THIS TIME AS WELL, BUT DO NOT DISTURB THE STRAW ITSELF.
6. CLEAR AND INSTALL THE SEDIMENT RISER BASINS AND DAMMER SEDIMENT BASINS. INSTALL CORN HESH BARRIERS, SHANKER DEVICES, AND OTHER FEATURES AND STABILIZE IMMEDIATELY AFTER CONSTRUCTION. THE PERMANENT RISER STRUCTURES FOR THE FUTURE WET DETENTION BASINS SHALL BE INSTALLED AT THIS TIME.
7. CALL NCDEM FOR AN ONSITE INSPECTION BY THE ONSITE INSPECTOR TO OBTAIN A CERTIFICATE OF COMPLIANCE.
8. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
9. ROUTE GRADE ALL ROADWAYS.
10. CONSTRUCT WATER MAINS THROUGHOUT PROJECT.
11. INSTALL STORM SEWER AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROL, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN BEGON CONSTRUCTION BUILDING, ETC.
12. CONTINUE WITH MASS GRADING OF LOTS AND OPEN SPACE AREAS.
13. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS WITHIN 7 OR 14 DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
14. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL NCDEM ON SITE INSPECTOR.
15. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISTRIBATORS, SHOULD NOW BE INSTALLED. EXISTING STORM DRAINAGE SYSTEM SHALL BE CLEARED OF ANY SEDIMENT.
16. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ONSITE INSPECTOR, OBTAIN A CERTIFICATE OF COMPLETION.
17. SUBMIT NOTICE OF TERMINATION TO NCDEM.
18. INSPECTOR REFERS TO NORTH CAROLINA LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.
19. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES LAND QUALITY SECTION, EROSION AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL.
20. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL DEVICES DURING CONSTRUCTION AND THE OWNER IS RESPONSIBLE FOR ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE. IF ANY PERMANENT METHODS ARE REQUIRED.

DUST CONTROL

VEGETATIVE COVER

FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

MULCH

WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.

MAINTENANCE

MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

SEDIMENT & EROSION CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY. TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE, SHOW ON THE EROSION AND SEDIMENT CONTROL PLAN AND ADDITIONAL CONTROL MEASURES AS REQUIRED. TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS, ALL PREVENTATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES BE TO THE STANDARDS OF THE NC DEPT. OF ENVIRONMENTAL MANAGEMENT, LAND QUALITY SECTION, AND ARTICLE 11 OF THE HARNETT COUNTY LIMITED DEVELOPMENT CODE, LATEST EDITION.

STRUCTURAL PRACTICES

- 1. SILT FENCE (SEDIMENT FENCE): SILT FENCE CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND FILL EROSION. SILT FENCES SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE BARRIERS SHALL BE USED TO CONTAIN SEDIMENT.
2. SILT FENCE OUTLET: GRAVEL, SILT FENCE OUTLETS SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE OUTLETS SHALL BE LOCATED AT ALL LOW POINTS IN A ROW OF SILT FENCE AND USED TO DISCHARGE CLEAN WATER OFF-SITE.
3. DIVERSION DITCHES: USE DIVERSION DITCHES TO CONVEY SEDIMENT LADEN RUNOFF TO EROSION CONTROL BMPs AS SHOWN ON THE PLAN.
4. CONSTRUCTION ENTRANCE: CONSTRUCTION TRAFFIC SHALL BE LIMITED TO STABILIZED AREAS. AT A MINIMUM, A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE PROVIDED AS SHOWN ON THIS DRAWING. WATER WHEELS SHALL BE CLEAN WHEN LEAVING THE SITE TO PREVENT THE TRACKING OF MUD ON PAVED ROADS.
5. ROCK CHECK DAMS: ROCK CHECK DAMS CAN BE USED TO REDUCE EROSION IN A DRAINAGE CHANNEL, TO LIMIT EROSION BY REDUCING VELOCITY IN OPEN CHANNELS.
6. SEDIMENT BASINS: SEDIMENT BASINS WITH SHANKERS AND POROUS BARRIERS ARE USED TO RETAIN SEDIMENT ON THE CONSTRUCTION SITE, AND PREVENT SEDIMENTATION IN OFF-SITE STREAMS, LAKES, AND DRAINAGEWAYS.
7. INLET PROTECTION: HARDWARE CLOTH AND GRASS PROTECTION DEVICES CAN BE USED TO PREVENT SEDIMENT FROM ENTERING YARD INLETS, GRATED STORM DRAINS OR DROP LINES DURING CONSTRUCTION. THIS PRACTICE ALLOWS EROSION TO BE BROUGHT UP TO THE STORM DRAIN SYSTEM.

VEGETATIVE PRACTICES

- 1. TEMPORARY SEEDING: DISTURBED AREAS THAT ARE NOT ANTICIPATED TO BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 7 OR 14 CALENDAR DAYS MUST RECEIVE TEMPORARY SEEDING (SEE SUIPER TABLE). A GOOD GRASSING GRASS SPECIES WHICH WILL PRODUCE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING, SHOULD BE USED. TEMPORARY SEEDING SHALL BE PER HARNETT COUNTY REQUIREMENTS.
2. TEMPORARY GRASSING: THE SEEDING OR SEEDING AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
3. TEMPORARY REGRASSING: IF AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSING AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE RESEED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER. RESEED AND MULCH BARE SPOTS LARGER THAN 9 SQUARE FEET.
4. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDDED. PERMANENT SEEDING SHALL BE PER HARNETT COUNTY REQUIREMENTS. IF GROWTH IS NOT ESTABLISHED BY FINAL PROJECT INSPECTION, CONTINUE SPECIFIED ATTENTION UNTIL THE STAND OF GRASS IS ACCEPTABLE. NOTE THAT PERMANENT GROUND COVER MUST BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR NO MORE THAN 30 CALENDAR DAYS, WHICHEVER IS SHORTER.
5. STOCKPILE MANAGEMENT: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY. PER NCDEM CONSTRUCTION GENERAL PERMIT REVISED AUGUST 4, 2011, ALL EARTHEN MATERIAL STOCKPILES MUST BE LOCATED FAR FROM STORM DRAINS AND STREAMS UNLESS NO OTHER REASONABLE ALTERNATIVE IS AVAILABLE.
6. RIP-RAP OUTLET PROTECTION: ALL RIP-RAP SHALL BE INSTALLED WITH FILTER FABRIC BENEATH.
7. SOIL DISPOSAL: DISPOSE OF ALL STOCKPILED MATERIAL TO AN APPROVED PERMITTED HARNETT COUNTY DISPOSAL SITE.
8. DENEATURING: ALL TRENCHPIT DENEATURING MUST DISCHARGE TO AN APPROVED SDC MEASURE OR SILT SLOD PRIOR TO LEAVING THE SITE.
9. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

MAINTENANCE/INSPECTION PROCEDURES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL NEED TO MAINTAIN EROSION AND SEDIMENT CONTROL.

- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT. THE PERSON RESPONSIBLE FOR THE DAILY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT DAILY AND WITHIN 24 HOURS OF EVERY RAINFALL EVENT.
• SILT FENCE & FABRIC INLET PROTECTION: INSPECT FOR DEPTH OF SEDIMENT TEARS. TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRM IN THE GROUND. BUILD UP SEDIMENT W/IN BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE.
• SILT FENCE OUTLET: INSPECT THE SILT FENCE OUTLETS FOR THE SCHEDULED OUTLINE ABOVE. CHECK FOR TEARS IN THE FABRIC AND ADDRESS REPAIRS PER THE SILT FENCE & FABRIC INLET PROTECTION NOTES ABOVE. REMOVE ACCUMULATED SEDIMENT PER THIS REQUIREMENT AS WELL. INSPECT THE STONE PORTION OF THIS MEASURE AND REPLACE ANY DISPLACED STONE. NOTE ANY LEAKING TENDENCIES AND RE-INSTALL THEM VERTICALLY AND SECURELY.
• HORSESHOE INLET PROTECTION: INSPECT ROCK PIPE INLET PROTECTION PER THE SCHEDULE ABOVE. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND RE-LEASE THE CONTAMINATED PART OF THE GRAVEL FACING CHECK THE STRUCTURE FOR DAMAGE. ANY RIP-RAP DISPLACED FROM THE STONE HORSESHOE MUST BE REPLACED IMMEDIATELY.
• ROCK CHECK DAMS: INSPECT DAMS PER THE SCHEDULE ABOVE. CLEAN OUT SEDIMENT, STRAW LABELS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL. WHEN NEEDED ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS DURING THE EDGE OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS INSTALLING A PROTECTIVE RIP-RAP LINE IN THAT PORTION OF THE CHANNEL. REMOVE SEDIMENT ACCUMULATED BETWEEN THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.
• DIVERSION DITCHES/SLOTTES: INSPECT AND ANY BRUSHES/WEEDS/PLANTS: SEDIMENT SHALL BE REMOVED FROM THE LOW AREAS IMMEDIATELY AFTER EACH RAIN. ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES: MAINTAIN THE GRAVEL PAD A CONDITION TO PREVENT MUD OR SEDIMENT FROM SPILLING. THE CONSTRUCTION SITE MUST REQUIRE PERIODIC TOP-DRESSING WITH 2" STONE AFTER A RAINFALL. IMMEDIATELY REMOVE ALL OBJECTS/DEBRIS MATERIALS SPILLING, WASHED, OR TRACKED ONTO ROADWAYS.
• SEDIMENT BASIN: INSPECT AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (10 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO ONE-HALF THE DESIGN DEPTH. PLACE REMOVED SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PILING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA. REPAIR BARRIERS AND SHANKERS AS NEEDED.
• INLET PROTECTION: INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (10" OR GREATER) RAINFALL EVENT. CLEAR THE MESH AREA OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. RE-PLACE STONE AS NEEDED.
• SEEDING, FERTILIZING AND MULCHING: REPAIRS AND RE-SEEDING SHALL BE MADE WITHIN THE SAME SEASON. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
• MAINTAIN THE ON SITE RAIN GAUGE & DATA AND STORMWATER INSPECTION LOG SHEETS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL HARNETT COUNTY HAS CLOSED THE PROJECT.
• THE CONTACT PERSONS REQUIRED TO MAINTAIN A LOG OF SELF-INSPECTIONS PER REQUIREMENTS AS OUTLINED IN NCDEM PERMIT. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL HARNETT COUNTY HAS CLOSED THE PROJECT.
• THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILING OUT THE INSPECTION AND MAINTENANCE REPORT.
• PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROL SYSTEMS IN GOOD WORKING ORDER.
• GROUND STABILIZATION SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE.
A. ALL REPAIRS TO SLOPES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (E) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
B. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

NOTIFICATION OF COMBINED SELF-MONITORING AND SELF-INSPECTION FORM

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES SETTING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND WIDES SELF-MONITORING REPORTS, DWD AND DEAR DEVELOPED A COMBINED FORM. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NCDEM STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE SCOPE OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE FORM CAN BE ACCESSSED AT: HTTP://PORTAL.NCDEM.ORG/WEB/REGISTRATION

IF YOU HAVE QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE RALEIGH REGIONAL OFFICE AT (919) 791-4000.

INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCDEM10000 AND SELF-INSPECTION RECORDS FOR LAND-DISTURBING ACTIVITIES PER SDC 1124-24.1

Form with fields for Project Name, Party of Party, Inspector Name, Date, and Location. Includes checkboxes for various inspection items.

Table with columns for Date/Time, Rain Amt (inches), and Phase of Grading. Includes rows for various construction phases and weather conditions.

By the Signature of Inspector: [Signature] Date: [Date]

GROUND STABILIZATION TABLE

Table with columns for Slope Area Description, Stabilization Method, and Duration. Lists various stabilization methods and their durations.

PART 2A. EROSION AND SEDIMENTATION CONTROL MEASURES

Table with columns for Measure ID, Measure Description, Inspection Date, and Describe Actions Needed. Lists various erosion and sedimentation control measures.

PART 2B. STORMWATER DISCHARGE OUTFALLS

Table with columns for Discharge Point, Inspection Date, and Describe Actions Needed. Lists stormwater discharge outfalls.

PART 3. GROUND STABILIZATION

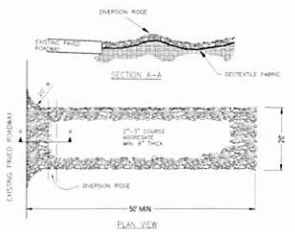
Table with columns for Area, Inspection Date, and Describe Actions Needed. Lists ground stabilization areas.

Vertical table with fields for Date, Inspector, and other project details.

MITCHELL MANOR SUBDIVISION - PHASE 1 EROSION CONTROL DETAILS







**CONSTRUCTION SPECIFICATIONS**

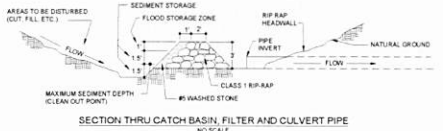
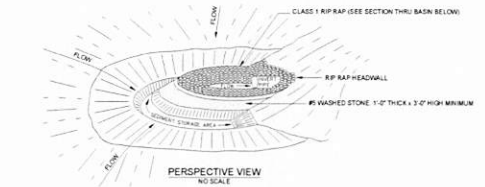
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER QUESTIONABLE MATERIAL AND PROPERLY GRADE IT.
2. PLACE THE GRADE TO THE SPECIFIC GRADE AND SMOOTHING SHOWN ON THE PLANS, AND SMOOTH IT.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUFFICIENT OUTLET.
4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OF HIGH-WATER TABLE.

**MAINTENANCE**

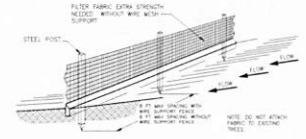
MAINTAIN THE GRADE PAD IN A CONDITION TO PREVENT WASH OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TORSRESSING WITH 2-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT DAILY AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTABLE MATERIALS SPILLED, WASHED, OR TRADED ONTO PUBLIC ROADWAYS.

DETAIL REFERENCE 6.06, NC, ESD/PM

1 STANDARD CONSTRUCTION ENTRANCE  
SCALE NTS



2 HORSESHOE INLET PROTECTION  
SCALE NTS



**CONSTRUCTION SPECIFICATIONS**

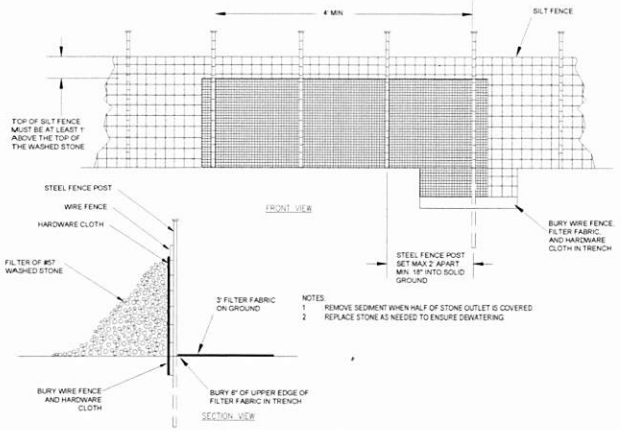
1. USE A SYNTHETIC FILTER FABRIC OF AT LEAST 100% BY WEIGHT OF POLYPROPYLENE OR POLYESTER WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6441, WHICH IS SHOWN IN PART 1 IN TABLE E.04. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 100°F.
2. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 TO 1.5 INCHES FT STEEL WITH A MINIMUM LENGTH OF 5 FEET. MAKE SURE THAT STEEL POSTS HAVE PROTRUDING TO FACILITATE TIGHTENING THE FABRIC.
3. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 1/4 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

**MAINTENANCE**

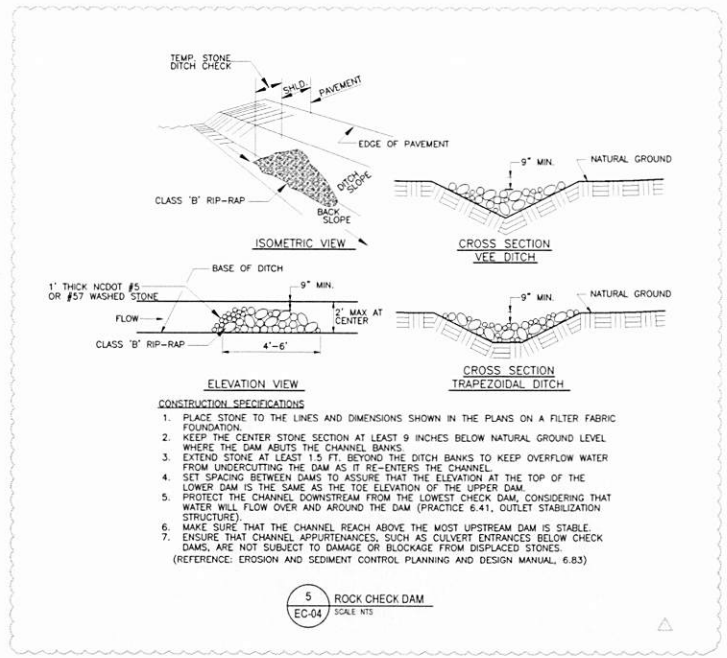
INSPECT SEDIMENT FENCES DAILY AND AFTER EACH RAINFALL. EVENT MAKE ANY REQUIRED REPAIRS. IMMEDIATELY SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, BECOME OR BECOME INEFFECTIVE. REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PREVENT ACCUMULATED STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FABRIC. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING LEANING. REMOVE ALL FENCING MATERIALS AND DISPLACE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

DETAIL REFERENCE 6.02, NC, ESD/PM

3 STANDARD TEMPORARY SILT FENCE  
SCALE NTS



4 STANDARD SILT FENCE OUTLET  
SCALE NTS



**CONSTRUCTION SPECIFICATIONS**

1. PLACE STONE TO THE LINES AND DIMENSIONS SHOWN IN THE PLANS ON A FILTER FABRIC FOUNDATION.
2. KEEP THE CENTER STONE SECTION AT LEAST 9 INCHES BELOW NATURAL GROUND LEVEL WHERE THE DAM ABUTS THE CHANNEL BANKS.
3. EXTEND STONE AT LEAST 1.5 FT. BEYOND THE DITCH BANKS TO KEEP OVERFLOW WATER FROM UNDERCUTTING THE DAM AS IT RE-ENTERS THE CHANNEL.
4. SET SPACING BETWEEN DAMS TO ASSURE THAT THE ELEVATION AT THE TOP OF THE LOWER DAM IS THE SAME AS THE TOE ELEVATION OF THE UPPER DAM.
5. PROTECT THE CHANNEL DOWNSTREAM FROM THE LOWEST CHECK DAM, CONSIDERING THAT WATER WILL FLOW OVER AND AROUND THE DAM (PRACTICE 6.41, OUTLET STABILIZATION STRUCTURE).
6. MAKE SURE THAT THE CHANNEL REACH ABOVE THE MOST UPSTREAM DAM IS STABLE.
7. ENSURE THAT CHANNEL APPURTENANCES, SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS, ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES. (REFERENCE: EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, 6.83)

5 ROCK CHECK DAM  
SCALE NTS

NO.	DATE	BY	CHKD.	APP'D.
1	APRIL 2018			
2				
3				
4				
5				
6				
7				
8				
9				
10				

MITCHELL MANOR SUBDIVISION - PHASE 1  
EROSION CONTROL DETAILS III

PROJECT NO. 18-0000  
DATE: APRIL 2018  
SCALE: NTS  
SHEET NO. 11/13  
TOTAL SHEETS: 14/13



*Paul Hoff*  
9/19

EC-04

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### NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

#### APPROVED STABILIZATION AND MATERIALS HANDLING PROCESSES FOR COMPLIANCE WITH THE NCDC CONSTRUCTION GENERAL PERMIT

The following table lists the approved stabilization and materials handling processes for compliance with the NCDC Construction General Permit. The permittee must ensure that all stabilization and materials handling processes are approved by the permittee before construction begins. The permittee must also ensure that all stabilization and materials handling processes are approved by the permittee before construction begins.

Site Area Description	Stabilization Process	Temporary Site Setup
1. Field Area	1. Field Area	None
2. High Water Table	2. High Water Table	None
3. Slope Protection	3. Slope Protection	3. Slope Protection
4. Slope Protection	4. Slope Protection	4. Slope Protection
5. Slope Protection	5. Slope Protection	5. Slope Protection
6. Slope Protection	6. Slope Protection	6. Slope Protection
7. Slope Protection	7. Slope Protection	7. Slope Protection
8. Slope Protection	8. Slope Protection	8. Slope Protection
9. Slope Protection	9. Slope Protection	9. Slope Protection
10. Slope Protection	10. Slope Protection	10. Slope Protection

#### PERMIT AND EROSION MAINTENANCE

1. The permittee must obtain a permit from the permittee before construction begins.
2. The permittee must ensure that all stabilization and materials handling processes are approved by the permittee before construction begins.
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#### CONCRETE WALLS

1. The permittee must ensure that all concrete walls are constructed in accordance with the approved plans.
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### NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

#### SECTION A: SELF-INSPECTION

The permittee must conduct self-inspections of the project site at the following intervals:

- 1. Daily
- 2. Weekly
- 3. Monthly
- 4. Quarterly
- 5. Annually

#### SECTION B: RECORDKEEPING

The permittee must maintain the following records:

- 1. Daily inspection logs
- 2. Weekly inspection logs
- 3. Monthly inspection logs
- 4. Quarterly inspection logs
- 5. Annual inspection logs

#### SECTION C: REPORTING

The permittee must submit the following reports:

- 1. Daily inspection reports
- 2. Weekly inspection reports
- 3. Monthly inspection reports
- 4. Quarterly inspection reports
- 5. Annual inspection reports

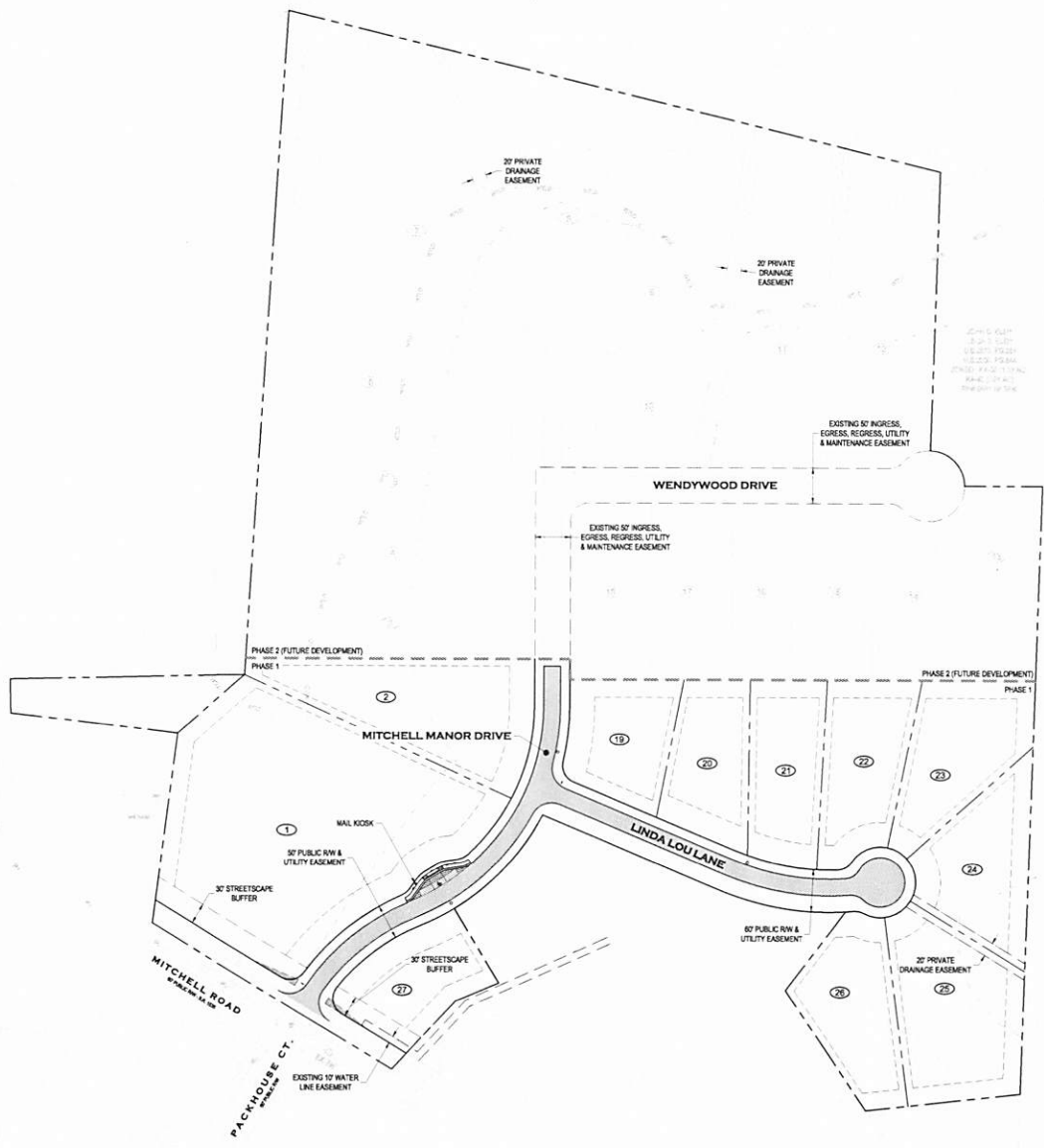
#### SECTION D: ADDITIONAL REQUIREMENTS

1. The permittee must ensure that all stabilization and materials handling processes are approved by the permittee before construction begins.
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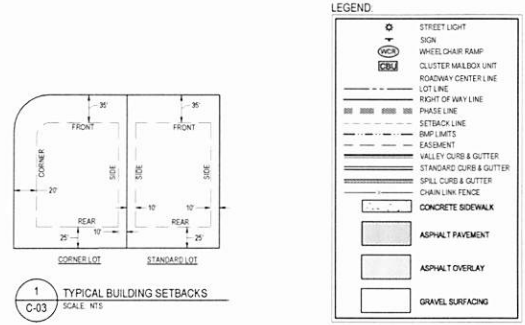
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PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1  
 SHEET: OVERALL SITE LAYOUT  
 DATE: MARCH 9, 2019  
 DRAWN BY: J. B. CURRY  
 CHECKED BY: J. B. CURRY  
 SCALE: 1" = 80' FT  
 SHEET NO.: 24.10



- GENERAL NOTES**
- THE FOLLOWING NOTES SHALL BE RELEVANT FOR ALL SUBDIVISION PLAN SHEETS
1. ALL CONSTRUCTION SHALL BE PER HARNETT COUNTY & NC DOT STANDARDS AND SPECIFICATIONS
  2. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED
  3. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED
  4. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS
  5. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPAIRED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR
  6. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
  7. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION
  8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURBS AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS
  9. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DETERMINED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER
  10. ANY AND ALL QUANTITIES SHOWN OR WRITTEN ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY
  11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS
  12. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS. ENTRY SIGNS WILL REQUIRE A SEPARATE SIGN PERMIT
  13. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED
  14. COMMON OPEN SPACE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS' ASSOCIATION
  15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE HARNETT COUNTY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
  16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS
  17. AREAS OF PARENT PARCEL THAT ARE NOT SUBDIVIDED TO CREATE SINGLE FAMILY RESIDENTIAL LOTS ARE TO REMAIN AS ONE PARCEL TO BE OWNED AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION OF THE NEIGHBORHOOD



**MITCHELL MANOR SUBDIVISION - PHASE 1**  
**OVERALL SITE LAYOUT**

J. B. CURRY  
 ENGINEER  
 1000 S. HARNETT COUNTY ROAD 101  
 WASHINGTON, NC 27583  
 TEL: 919.566.1111  
 FAX: 919.566.1112  
 www.jbc-engineering.com

DATE: MARCH 9, 2019  
 DRAWN BY: J. B. CURRY  
 CHECKED BY: J. B. CURRY  
 SCALE: 1" = 80' FT  
 SHEET NO.: 24.10

CURRY ENGINEERING  
 J. B. CURRY  
 ENGINEER  
 8/21/19  
 C-03

CS