

STATE OF NORTH CAROLINA
COUNTY OF CUMBERLAND

**LOT PURCHASE CONTRACT
(BUYER AS BUILDER)**

This LOT PURCHASE CONTRACT (the "Contract") is entered into this the 12 day of FEBRUARY 2020, by and between **Oak Grove Developers, LLC**, (the "Developer"), and **Weaver Homes, Inc. (and/or Assigns)**, a North Carolina Corporation (the "Buyer"), for the purchase of land/lot(s) upon the terms and conditions contained herein below:

1) **DESCRIPTION OF REAL PROPERTY:** Buyer hereby agrees to purchase and Developer hereby agrees to sell, the following described tract(s) or lot(s) of real property described as: **27 Lot(s)** in that subdivision know as Mitchell Manor shown on that plat map to be recorded in Harnett County, State of North Carolina. ****Preliminary plat map attached for reference.**

2) **PURCHASE PRICE:** The purchase price for the real property described herein above shall be \$45,000 per lot, with said purchase price to be paid in full in certified funds to Developer. Any Ernest Money Deposit shall be credited to the Purchase Price at Closing.

3) **EARNEST MONEY DEPOSIT:** Developer may require Buyer to deposit a sum certain as earnest money, with said earnest money to be refunded to Buyer only if Buyer's failure to close as contemplated hereunder is not the fault of, nor caused by Buyer. Said earnest money shall be credited to the Purchase Price at Closing. Said earnest money deposit shall be payable in cash or certified funds to the Closing Attorney, Joe Hamer, within five business days of execution of this Contract in the amount of \$500 per lot; (\$13,500 total).

4) **TAKE DOWN SCHEDULE:** As per Section 13 hereinbelow, Buyer will close on said real property lots pursuant to the following Take Down Date schedule: Weaver Homes, Inc. (and/or) Assigns will close (7) lots within Thirty (30) days after final plat is recorded. Weaver Homes, Inc. (and/or) Assigns will close (10) lots in Phase II within 30 days of the plat being recorded and the remaining (10 Lots) within 90 days of the plat being recorded.

5) **DEVELOPER'S REPRESENTATIONS:** Developer represents and warrants unto Buyer that:

A) It is seized of title in fee simple, free and clear of all liens and encumbrances, except for any development loan it may have secured by the real property which shall be released within a reasonable amount of time upon Closing;

B) It has the authority and authorization to execute this Contract;

C) It has not received notice of nor has knowledge of any condemnation proceedings or eminent domain takings;

D) It has no knowledge of or notice of any threatened or pearing litigation against the real property;

E) It has not received a notice of any violation of any law, ordinance, regulation or restriction with respect to the real property or with respect to the use, occupancy or construction thereon and knows of no facts, conditions or claims that will delay or prevent Buyer from

constructing residential improvements on the real property;

F) The property has full and free access to and from public streets and roads;

G) It is not a "foreign person" as defined by IRC Section 1445(f)(3);

H) It has no knowledge of any kind whatsoever regarding the release or discharge or placement of hazardous substances, *as* defined by applicable State Law and CERCLA, on, about or under the subject real property;

I) It has no knowledge whatsoever of any mineral right or timber reservations of any kind on the subject real property;

J) It is not insolvent, under the control of a receiver or filing or has filed bankruptcy proceedings in any jurisdiction;

K) It has developed the subdivision of which the subject real property is a part according and pursuant to all applicable laws, ordinances, regulations, orders and decrees; and

L) It has a continuing duty to update Buyer in the event that any of the above representations and warranties are subject to change.

6) BUYER'S REPRESENTATIONS: Buyer represents and warrants unto Developer that:

A) It is financially able and ready to consummate this Closing as set forth herein, and is not filing or considering the filing of a bankruptcy petition, and is not insolvent or under the control of a receivership or other similar court-appointed entity;

B) It does not have any knowledge of, or any notice of threatened or pending litigation against Buyer;

C) It is not a "foreign person" as defined by IRC Section 1445(f)(3); and

D) It has a continuing duty to update Developer in the event that any of the above representations and warranties are subject to change.

7) CONDITIONS:

A) Residential Use: There must be no restrictions, easements, zoning or other governmental regulations that would prevent the reasonable use of the Property for Residential Purposes.

B) Improvements Prior To Closing: The Property must have legal access to a public right of way and improved to Department of Transportation specifications for ingress and egress to all lots. The Property must have all utilities, including electricity, public water, sanitary sewer or septic system with perked soil analysis approved for minimum four (4) bedroom single family residence on each lot. All required permanent subdivision signage and street lighting must be approved and installed prior to Closing.

C) Satisfaction of Prior Encumbrances: All deeds of trusts, liens, assessments and other charges against the Property, not assumed by Buyer, must be paid and satisfied by Sellers prior to or at Closing such that cancellation may be promptly obtained following Closing. Sellers shall remain obligated to obtain any such Pre-cancellations following Closing.

D) Good & Marketable Title: Title must be delivered at Closing by a General Warranty Deed

unless otherwise stated herein, and must be fee simple marketable and insurable title, free of all encumbrances except: ad valorem taxes for the current year (prorated through the date of Closing); utility easements and unviolated restrictive covenants that do not materially affect the value of the Property; and such other encumbrances as may be assumed or specifically approved by Buyer in writing.

E) **Special Assessments:** Sellers hereby represent and warranty to Buyer that there is no pending or confirmed governmental special assessments for sidewalk, paving, water, sewer, or other improvements on or adjoining the Property, and no pending or confirmed owner's association special assessments, except as follows: None. Sellers shall pay all owner's association dues and all governmental assessments confirmed through the time of Closing, if any, and Buyer shall take title subject to all pending assessments, if any, unless otherwise agreed as follows: None known. Buyer/Builder shall not be required to pay any owner's association dues until the developed lot is transferred to the initial homeowner.

F) **Recorded Plat:** A recorded subdivision plat shall be recorded prior to Closing. All lots purchased hereunder shall be shown on the same recorded plat.

G) **Use and Infrastructure:** Buyer plans to construct residential single-family homes for resale on the real estate property. Buyer shall be required to pay tap fees as may be approved by applicable regulatory authorities, but Developer shall be responsible for all other costs of providing all subdivision infrastructure, including extension of streets and roads, utilities and water services to the Lot(s) in the subdivision. Buyer is responsible for payment for all tap fees and septic tank installation. All lots have been tested and verified to support septic systems for construction of three- and four-bedroom homes thereon.

H) **Developer Work:** Developer has undertaken road work (grading and paving), drainage, soil erosion and sedimentation controls for the lot(s) subject to the Contract, and shall be responsible for initial grading, seeding and at the time of Closing the lot(s) shall be in compliance with any storm water permits and sedimentation erosion control permits, if applicable. The Buyer intends to undertake construction activities in the subdivision and the lot(s) set forth above. Upon Closing, Buyer shall be fully and wholly responsible and obligated for any and all modification, alteration, damage, improvement, repair and correction of any matters relating to soil erosion and sedimentation control on the property listed above herein. Buyer, shall at Closing or upon submission subsequent thereto, execute all documents and instruments necessary to transfer the soil erosion and sedimentation permits from Developer to Buyer.

I) **Streets:** Developer shall construct all streets and roads to NCDOT standards and it is the intent that Developer shall dedicate all such streets and roads to NCDOT or an owner's association.

8) **PRORATIONS AND ADJUSTMENTS:** Unless otherwise provided for herein, the following items shall be prorated and either adjusted between the parties hereto or paid at Closing: Ad valorem taxes shall be prorated on a calendar year basis through the date of Closing; All late listing penalties, if any, shall be paid by Sellers; Owner's association dues, if any, shall be paid by Seller and waived for Buyer as set forth in para (7) sub-para (E) contained herein.

9) **EVIDENCE OF TITLE:** Sellers agree to use their best efforts to deliver to Buyer as soon as reasonably possible after the Effective Date of this contact, copies of all title information in possession of or available to Sellers, including but not limited to title insurance policies, attorney's opinion on title, surveys, covenants, deeds, notes and deeds of trust and easements related to the Property. Seller authorizes any attorney presently or previously representing Sellers to release and disclose any title insurance policy to Buyer and Buyer's attorney and or agents, and the Property's title insurer or its agent to release and disclose all materials related thereto to Buyer and Buyer's agents and attorneys.

10) LIEN WAIVER AND INDEMNIFICATION: Sellers shall furnish at Closing an affidavit and indemnification agreement in a form satisfactory to Buyer showing that all labor and materials, if any, furnished to the Property within 120 days prior to the date of closing have been paid and further agree to indemnify Buyer against all loss from any cause or claim arising therefrom.

11) INSPECTION, APPRAISAL AND INVESTIGATION:

A) Property Inspection: Buyers shall have the right to have the real property inspected for environmental hazards and other contaminants, as defined pursuant to CERCLA, that would subject the Buyer to liability or otherwise make said property uninhabitable for any purpose whatsoever. Seller hereby warrants, covenants, promises and represents to Buyer that the property is not contaminated with any hazardous substance, as defined pursuant to CERCLA, nor subject to any environmental lien by any governmental agency whatsoever. Additionally, Seller hereby warrants, covenants, promises and represents that the subject property is not subject to wetlands regulation by any governmental agency, nor has Seller received notice from any governmental agency that the property is to be designated as subject to wetlands regulation. In the event that environmental hazards and/or contamination is found to be located on or under the property or if the property is designated as wetlands property by any governmental agency, then Buyer shall have the right to terminate this contract and receive a full refund of any earnest money paid.

B) Closing shall constitute acceptance of the Property in its then existing condition unless provision is otherwise made in writing.

12) REASONABLE ACCESS: Sellers will provide reasonable access to the Property through the earlier of Closing or possession by Buyer, to Buyer and Buyer's agents and representatives for the purposes of appraisal, inspection and other evaluation. Buyer may conduct a walk-through of the Property prior to Closing.

13) CLOSING: Closing shall be defined as the date and time of recording of the deed. All parties agree to execute any and all documents and papers necessary in connection with the Closing and transfer of title on or before the Take-Down Schedule Dates set forth hereinabove in Section 4, at a place designated by Buyer. The general warranty deed is to be made to: As directed at Closing.

14) POSSESSION: Possession shall be delivered at Closing.

15) RISK OF LOSS: The risk of loss or damage by fire or other casualty prior to Closing shall be borne by the Sellers. If the improvements to the Property are destroyed or materially damaged prior to Closing, Buyer may terminate this contract by written notice delivered to Sellers and all earnest monies shall be returned to Buyer. If Buyer decides not to terminate this contract, Buyer shall be entitled to receive, in addition to the Property, any of Sellers' insurance proceeds payable on account of the damage or destruction applicable to the Property being purchased.

16) ASSIGNMENTS: This contract may not be assigned without the express written consent of all parties to this agreement.

17) SURVIVAL: If any provision herein which by its nature and effect is required to be observed, kept or performed after the Closing, it shall survive the Closing and remain binding upon and for the benefit of the parties hereto until fully observed, kept or performed.

18) PARTIES: This contract shall be binding upon and shall inure to the benefit of the parties and their heirs, successors and assigns. As used herein, words in the singular include

the plural and the masculine includes the feminine and neuter genders as appropriate.

19) **ENTIRE AGREEMENT:** This contract contains the entire agreement of the parties and there are no representation, inducements or other provisions other than those expressed herein. All changes, additions or deletions hereto must be in writing and signed by all parties.

THEREFORE AGREED, on this the 12th day of February, 2020, the undersigned parties place their hands and seals in acceptance to the terms and conditions of this Offer to Purchase and Contract.


DEVELOPER:

_____ (Seal)

Oak Grove Developers, LLC

By: Bryant W Lockamy

BUYER:

 _____ (Seal)

Weaver Homes, Inc.

By: Charles D. Blackwell

[Print this page](#)



Harnett
COUNTY
NORTH CAROLINA

Property Description:

TR#1 GERALD F LAWRENCE
MAP#2018-360

Harnett County GIS

PID: 040682 0328

PIN: 0681-58-5810.000

REID: 0018828

Subdivision:

Taxable Acreage: 11.660 AC ac

Caclulated Acreage: 11.37 ac

Account Number: 1500029893

Owners: OAK GROVE DEVELOPERS LLC

Owner Address : C/O BRYANT W LOCKAMY 941 OAK GROVE CHURCH RD ANGIER, NC 27501

Property Address: MITCHELL RD ANGIER, NC 27501

City, State, Zip: ANGIER, NC, 27501

Building Count: 0

Township Code: 11

Fire Tax District: Buies Creek

Parcel Building Value: \$0

Parcel Outbuilding Value : \$0

Parcel Land Value : \$62810

Parcel Special Land Value : \$0

Total Value : \$62810

Parcel Deferred Value : \$0

Total Assessed Value : \$62810

Neighborhood: 01101

Actual Year Built:

TotalAcutalAreaHeated: Sq/Ft

Sale Month and Year: 12 / 2018

Sale Price: \$182000

Deed Book & Page: 3661-0533

Deed Date: 2018/12/14

Plat Book & Page: 2018-360

Instrument Type: WD

Vacant or Improved:

QualifiedCode: Q

Transfer or Split: T

Within 1mi of Agriculture District:
Yes

Prior Building Value: \$0

Prior Outbuilding Value : \$0

Prior Land Value : \$174740

Prior Special Land Value : \$21220

Prior Deferred Value : \$153520

Prior Assessed Value : \$174740

Print this page



Harnett
COUNTY
NORTH CAROLINA

Property Description:

LOT#2 GERALD F LAWRENCE
MAP#2018-360

Harnett
County GIS

PID: 040682 0328 12

PIN: 0681-59-8015.000

REID:

Subdivision:

Taxable Acreage: 18.900 AC ac

Caclulated Acreage: 18.84 ac

Account Number: 1400004618

Owners: LAWRENCE GERALD FLEMING & LAWRENCE LINDA LOU C

Owner Address : 156 WENDY LN ANGIER, NC 27501-0000

Property Address: MITCHELL RD ANGIER, NC 27501

City, State, Zip: ANGIER, NC, 27501

Building Count: 0

Township Code: 11

Fire Tax District: Buies Creek

Parcel Building Value: \$0

Parcel Outbuilding Value : \$0

Parcel Land Value : \$66150

Parcel Special Land Value : \$0

Total Value : \$66150

Parcel Deferred Value : \$0

Total Assessed Value : \$66150

Neighborhood: 00401

Actual Year Built:

TotalAcutalAreaHeated: Sq/Ft

Sale Month and Year: 12 / 1983

Sale Price: \$0

Deed Book & Page: 758-0427

Deed Date: 1983/12/01

Plat Book & Page: 2018-360

Instrument Type: WD

Vacant or Improved:

QualifiedCode: X

Transfer or Split:

Within 1mi of Agriculture District: Yes

Prior Building Value: \$0

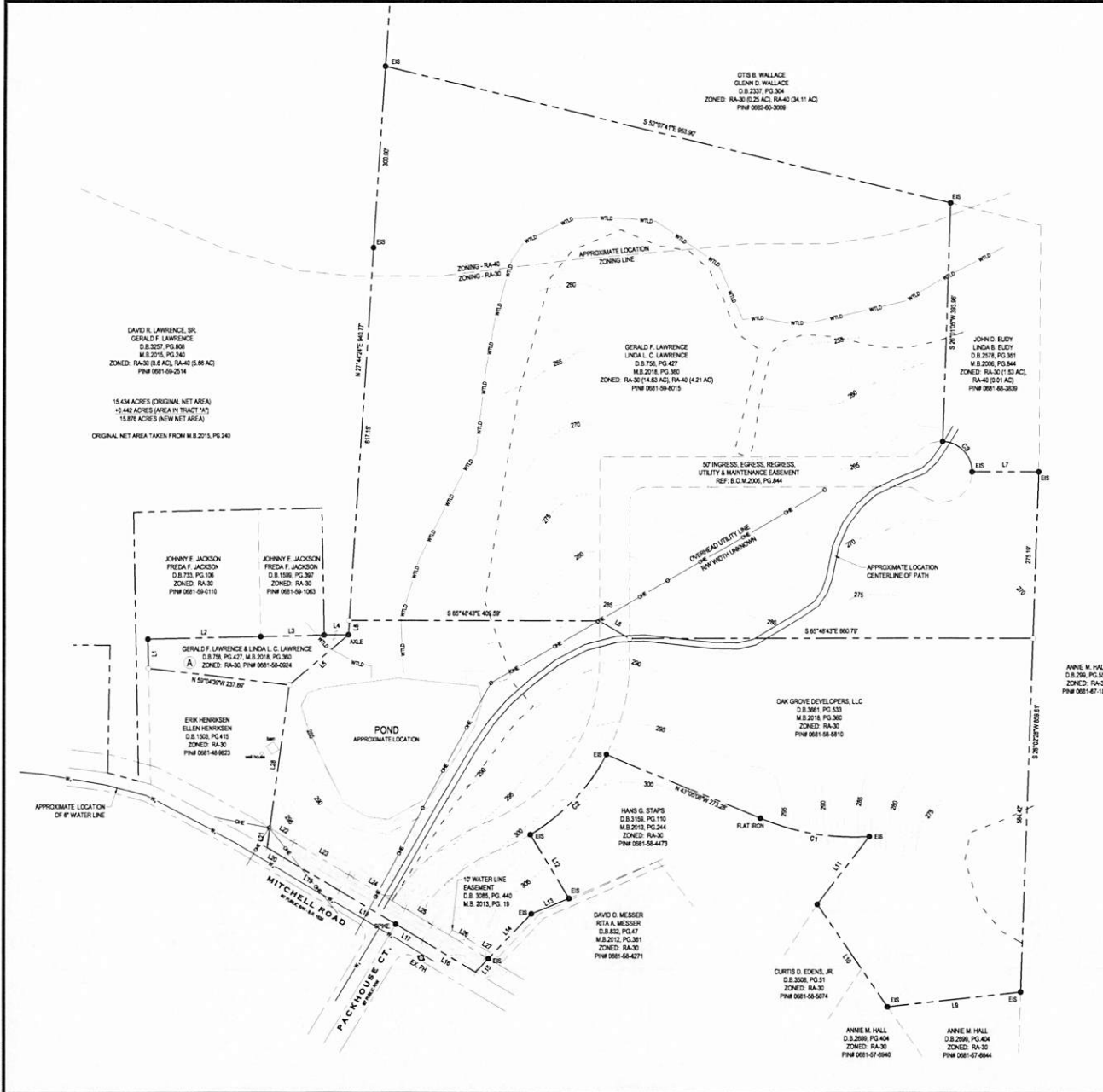
Prior Outbuilding Value : \$0

Prior Land Value : \$0

Prior Special Land Value : \$0

Prior Deferred Value : \$0

Prior Assessed Value : \$0



GENERAL NOTES

1. THIS PLAN IS NOT INTENDED FOR PLATING OR RECORDATION.
2. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS PLAN HAS NOT BEEN SEALED. THE BOUNDARY & ENVIRONMENTAL INFORMATION SHOWN REPRESENTS A SERIES OF FIELD SURVEYS.
3. TOPOGRAPHY SHOWN ON THIS PLAN IS PER SITE SURVEY BY MAULDIN-WATKINS.
4. EXISTING WATER LINES SHOWN ON THIS PLAN FROM HARNETT COUNTY GIS.
5. THE ENGINEER UNDERSTANDS THE SURVEY INFORMATION PROVIDED TO MEET THE FOLLOWING CRITERIA:
 - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS OF RECORD AFFECTING SAME. PROPERTY BOUNDARY SHOWN BASED PER MAPS AND DEEDS OF RECORD ONLY.
 - NO TITLE SEARCH HAS BEEN PERFORMED BY THIS FIRM DURING THE COURSE OF THIS SURVEY.
 - THIS SURVEYOR DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON THIS SITE.
 - HORIZONTAL DATUM = NAD83; VERTICAL DATUM = NAVD83.
6. FLOOD HAZARD SOILS SHOWN PER HARNETT COUNTY GIS, AS APPLICABLE.

PROPERTY CURVE TABLE

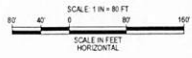
CURVE	RADIUS	LENGTH	CHORD	CHORD BEAR
C1	400.00'	181.51'	181.51'	N 54°12'22" W
C2	330.00'	163.84'	163.84'	S 87°12'42" W
C3	50.00'	78.87'	69.52'	S 1°52'26" E

PROPERTY LINE TABLE

LINE NO.	BEARING	DISTANCE
1	N 54°12'22" W	181.51
2	S 87°12'42" W	163.84
3	S 1°52'26" E	78.87
4	S 87°12'42" W	163.84
5	S 1°52'26" E	78.87
6	N 54°12'22" W	181.51
7	S 87°12'42" W	163.84
8	S 1°52'26" E	78.87
9	S 87°12'42" W	163.84
10	S 1°52'26" E	78.87
11	N 54°12'22" W	181.51
12	S 87°12'42" W	163.84
13	S 1°52'26" E	78.87
14	S 87°12'42" W	163.84
15	S 1°52'26" E	78.87
16	N 54°12'22" W	181.51
17	S 87°12'42" W	163.84
18	S 1°52'26" E	78.87
19	S 87°12'42" W	163.84
20	S 1°52'26" E	78.87
21	N 54°12'22" W	181.51
22	S 87°12'42" W	163.84
23	S 1°52'26" E	78.87
24	S 87°12'42" W	163.84
25	S 1°52'26" E	78.87
26	N 54°12'22" W	181.51
27	S 87°12'42" W	163.84
28	S 1°52'26" E	78.87
29	S 87°12'42" W	163.84
30	S 1°52'26" E	78.87
31	N 54°12'22" W	181.51
32	S 87°12'42" W	163.84
33	S 1°52'26" E	78.87
34	S 87°12'42" W	163.84
35	S 1°52'26" E	78.87
36	N 54°12'22" W	181.51
37	S 87°12'42" W	163.84
38	S 1°52'26" E	78.87
39	S 87°12'42" W	163.84
40	S 1°52'26" E	78.87
41	N 54°12'22" W	181.51
42	S 87°12'42" W	163.84
43	S 1°52'26" E	78.87
44	S 87°12'42" W	163.84
45	S 1°52'26" E	78.87
46	N 54°12'22" W	181.51
47	S 87°12'42" W	163.84
48	S 1°52'26" E	78.87
49	S 87°12'42" W	163.84
50	S 1°52'26" E	78.87

- SURVEY LEGEND**
- EXISTING IRON PIPE (CONTROL POINT)
 - IRON STAKE SET (UNLESS OTHERWISE NOTED)
 - EXISTING CONCRETE MONUMENT (CONTROL POINT)
 - CONCRETE MONUMENT SET
 - △ COMPUTED POINT ONLY
 - SANITARY SEWER MAN-HOLE
 - SANITARY SEWER MAN-HOLE
 - EXISTING IRON STAKE
 - PROPERTY BOUNDARY
 - HERITAGE TREE BUFFER
 - EASEMENT
 - 100 YR FLOOD PLAIN
 - FLOODWAY
 - WETLANDS BOUNDARY
 - RIPARIAN BUFFER
 - OVER-HEAD POWER
 - UG FIBER
 - UG TELECOMMUNICATIONS
 - EXISTING WATER
 - EXISTING SANITARY SEWER
 - FLOOD HAZARD SOILS BOUNDARY
 - MINOR CONTOUR
 - MAJOR CONTOUR

Surveyor:
 Mauldin-Watkins Surveying, PA
 P.O. BOX 444/1301 W. Broad Street
 Fuquay-Varina, NC 27526
 919.552.9326
 Contact: Wayne Mauldin, PLS



PROFESSIONAL ENGINEERS SEAL
 NOT AFFIXED TO SHEET AS
 ENGINEER DOES NOT CERTIFY
 INFORMATION PROVIDED BY
 OTHERS

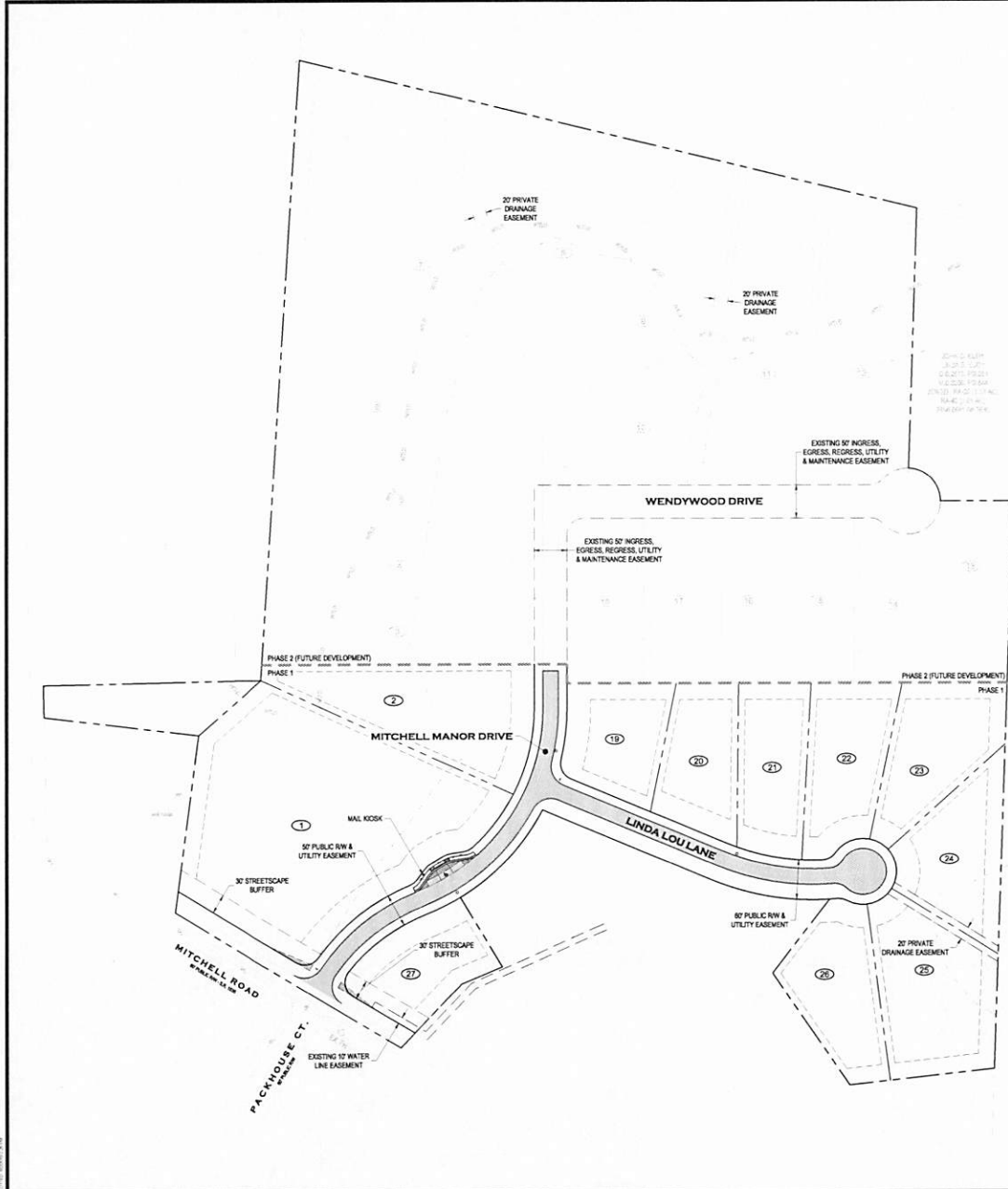
NO.	DATE	DESCRIPTION
1	02/15/2018	PRELIMINARY
2	03/15/2018	REVISED
3	04/15/2018	REVISED
4	05/15/2018	REVISED
5	06/15/2018	REVISED
6	07/15/2018	REVISED
7	08/15/2018	REVISED
8	09/15/2018	REVISED
9	10/15/2018	REVISED
10	11/15/2018	REVISED
11	12/15/2018	REVISED
12	01/15/2019	REVISED
13	02/15/2019	REVISED
14	03/15/2019	REVISED
15	04/15/2019	REVISED
16	05/15/2019	REVISED
17	06/15/2019	REVISED
18	07/15/2019	REVISED
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37	02/15/2021	REVISED
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39	04/15/2021	REVISED
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47	12/15/2021	REVISED
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49	02/15/2022	REVISED
50	03/15/2022	REVISED
51	04/15/2022	REVISED
52	05/15/2022	REVISED
53	06/15/2022	REVISED
54	07/15/2022	REVISED
55	08/15/2022	REVISED
56	09/15/2022	REVISED
57	10/15/2022	REVISED
58	11/15/2022	REVISED
59	12/15/2022	REVISED
60	01/15/2023	REVISED
61	02/15/2023	REVISED
62	03/15/2023	REVISED
63	04/15/2023	REVISED
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85	02/15/2025	REVISED
86	03/15/2025	REVISED
87	04/15/2025	REVISED
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89	06/15/2025	REVISED
90	07/15/2025	REVISED
91	08/15/2025	REVISED
92	09/15/2025	REVISED
93	10/15/2025	REVISED
94	11/15/2025	REVISED
95	12/15/2025	REVISED
96	01/15/2026	REVISED
97	02/15/2026	REVISED
98	03/15/2026	REVISED
99	04/15/2026	REVISED
100	05/15/2026	REVISED

MITCHELL MANOR SUBDIVISION - PHASE 1
EXISTING CONDITIONS & DEMOLITION PLAN

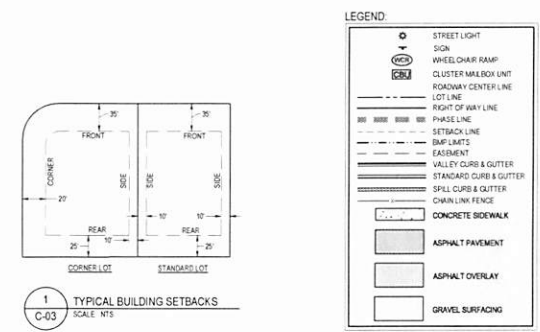


Curry
 ENGINEERING
 C-02

03



- GENERAL NOTES**
- "THE FOLLOWING NOTES SHALL BE RELEVANT FOR ALL SUBDIVISION PLAN SHEETS"
1. ALL CONSTRUCTION SHALL BE PER HARNETT COUNTY & NC DOT STANDARDS AND SPECIFICATIONS
 2. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED
 3. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED
 4. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT OF WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS
 5. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR
 6. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
 7. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION
 8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL, DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, COLLECTORS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS
 9. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER
 10. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY
 11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS
 12. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS. ENTRY SIGNS WILL REQUIRE A SEPARATE SIGN PERMIT
 13. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED
 14. COMMON OPEN SPACE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS' ASSOCIATION
 15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE HARNETT COUNTY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
 16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS
 17. AREAS OF PARENT PARCELS THAT ARE NOT SUBDIVIDED TO CREATE SINGLE FAMILY RESIDENTIAL LOTS ARE TO REMAIN AS ONE PARCEL, TO BE OWNED AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION OF THE NEIGHBORHOOD



MITCHELL MANOR SUBDIVISION - PHASE 1
OVERALL SITE LAYOUT

DATE: APRIL 2018
SCALE: 1" = 80'
SHEET NO. 2018-08
SHEET SIZE: 24" x 36"

Curry
ENGINEERING

8/14/19
C-03

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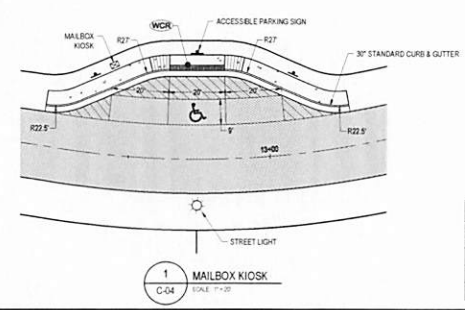
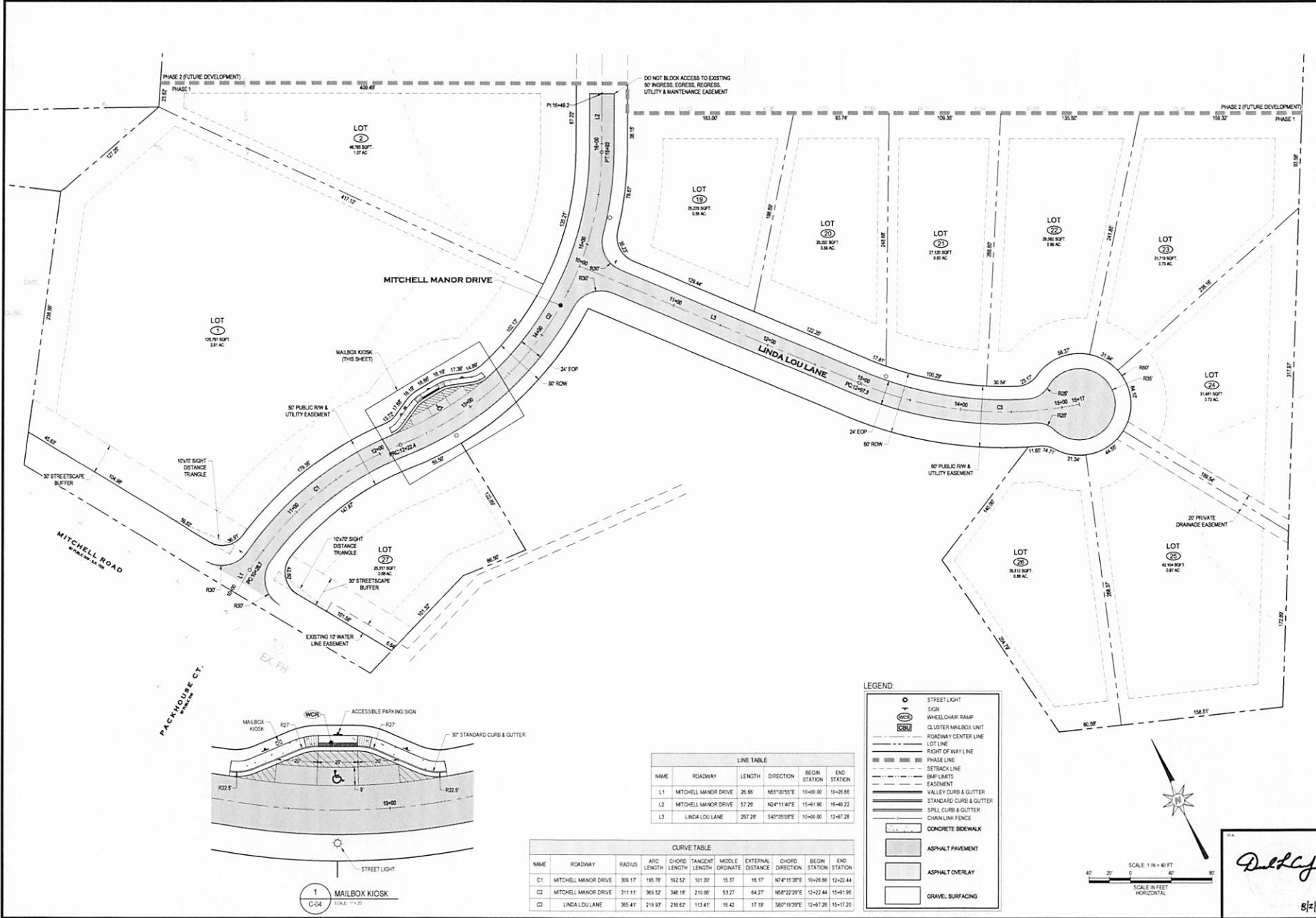
PROJECT NO.	2018-001
DATE	APRIL 2, 2018
SCALE	1" = 40'
SHEET NO.	1 OF 2
TITLE	MITCHELL MANOR SUBDIVISION - PHASE 1 PARTIAL SITE LAYOUT

MITCHELL MANOR SUBDIVISION - PHASE 1 PARTIAL SITE LAYOUT

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: APRIL 2, 2018

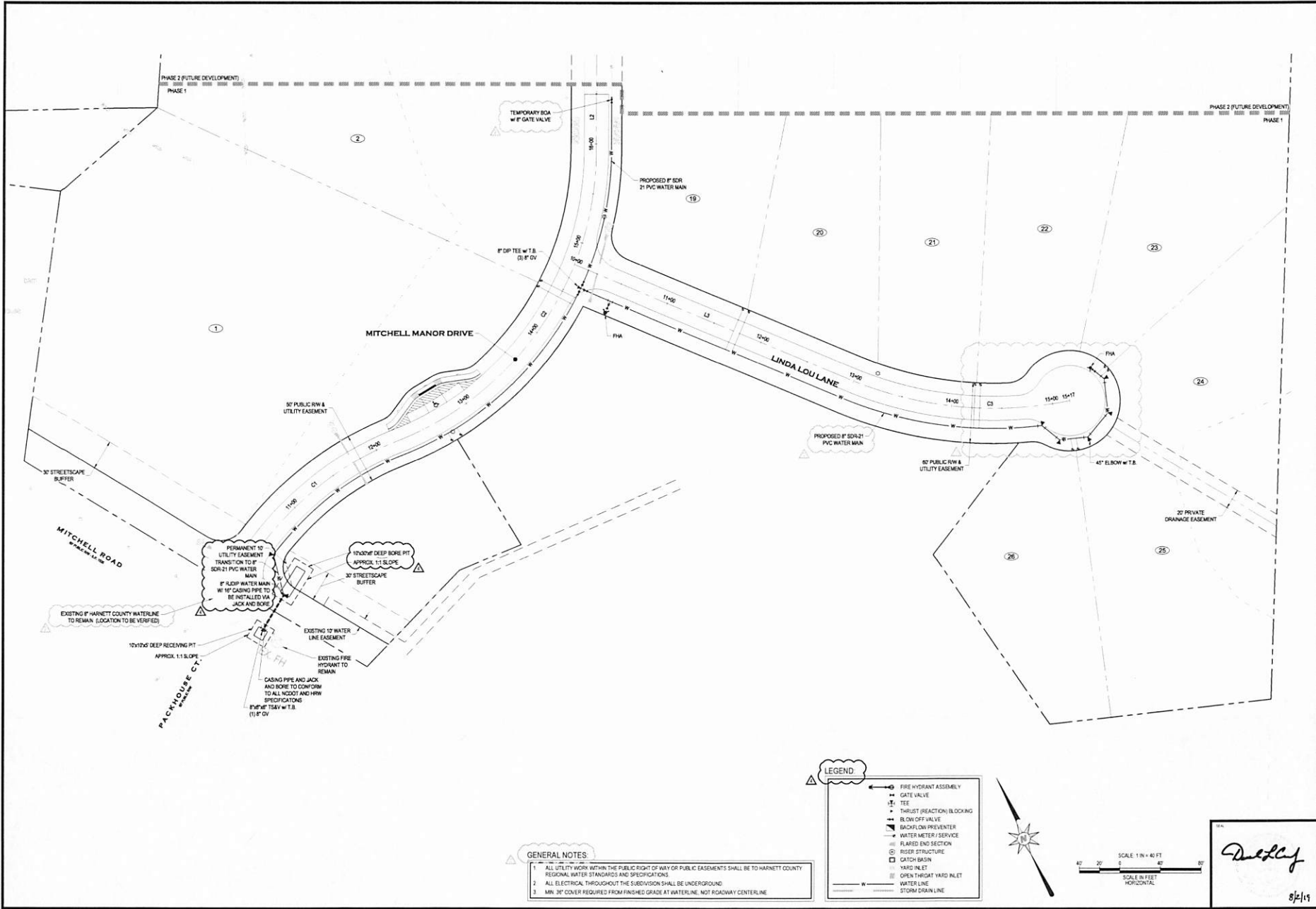
Curry
ENGINEERING

8/2/19
C-04



NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	MITCHELL MANOR DRIVE	26.66'	N65°00'55"E	10+00.00	10+26.66
L2	MITCHELL MANOR DRIVE	57.20'	N24°11'40"E	15+41.96	16+40.22
L3	LINDA LOU LANE	297.28'	S43°59'59"E	10+00.00	12+47.28

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT LENGTH	MIDDLE ORDINATE	EXTERNAL DISTANCE	CHORD DIRECTION	BEGIN STATION	END STATION
C1	MITCHELL MANOR DRIVE	309.17'	195.78'	192.52'	101.30'	15.37'	16.17'	N74°15'30"E	10+26.66	12+22.44
C2	MITCHELL MANOR DRIVE	311.11'	369.52'	348.18'	210.06'	53.27'	64.27'	N64°22'29"E	12+22.44	15+41.96
C3	LINDA LOU LANE	365.41'	219.93'	216.62'	113.41'	16.42'	17.19'	S60°19'39"E	12+47.28	15+17.20



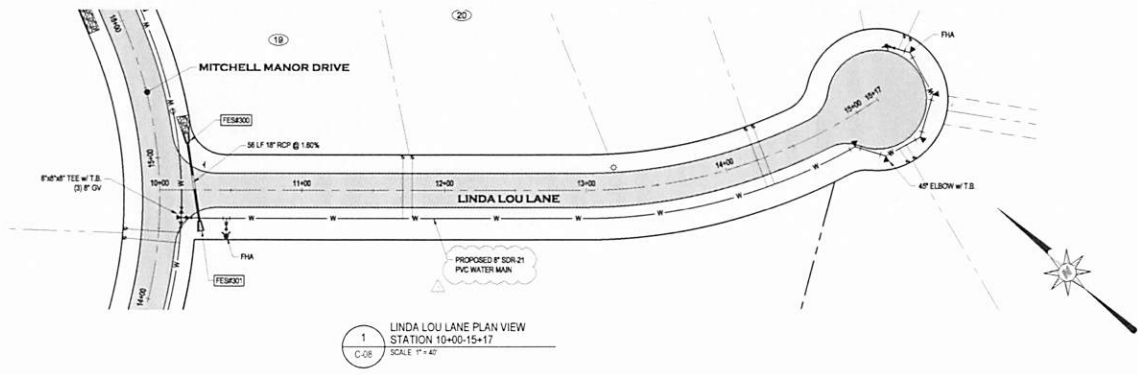
PROJECT NO.	2018-0000
DATE	APRIL 2, 2018
SCALE	1" = 40'
SHEET NO.	24 OF 26
TITLE	UTIL. PLAN

MITCHELL MANOR SUBDIVISION - PHASE 1
UTILITY PLAN

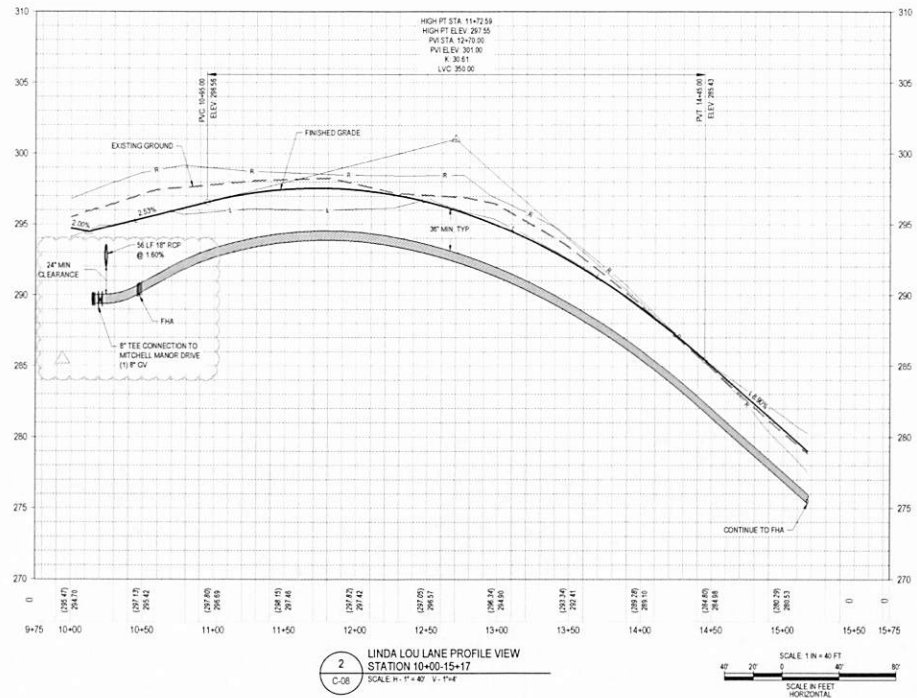
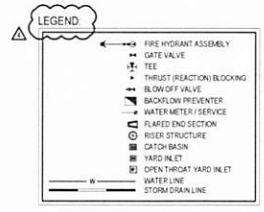
Curry Engineering
 1000 S. HARRIS ST.
 WELLSVILLE, NC 27587
 TEL: 704.733.7373
 FAX: 704.733.7374

Curry
 ENGINEERING
 8/2/19
C-05

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- GENERAL NOTES**
1. ALL UTILITIES WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO HARNETT REGIONAL WATER STANDARDS AND SPECIFICATIONS.
 2. PRIVATE UTILITIES (TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
 3. ELECTRICAL TRANSFORMERS SHALL NOT BE LOCATED WITHIN REQUIRED LANDSCAPED BUFFERS.
 4. WATER METERS SHALL NOT BE LOCATED WITHIN DRIVEWAYS. NO EXCEPTIONS.
 5. ALL ELECTRICAL THROUGHOUT THE SUBDIVISION SHALL BE UNDERGROUND.
 6. REFER TO GRADING AND DRAINAGE PLAN FOR STORM DRAINAGE TABLES.
 7. MIN. 36" COVER REQUIRED FROM FINISHED GRADE AT WATERLINE, NOT ROADWAY CENTERLINE.



DATE	APRIL 2, 2018	SHEET SCALE	1" = 40'
PROJECT	MITCHELL MANOR SUBDIVISION - PHASE 1	DWG. SHEET NO.	C-08
DESIGNED BY	DAVID L. CURRY	CHECKED BY	DAVID L. CURRY
DRAWN BY	DAVID L. CURRY	DATE PLOTTED	APR 11 2018 10:00 AM

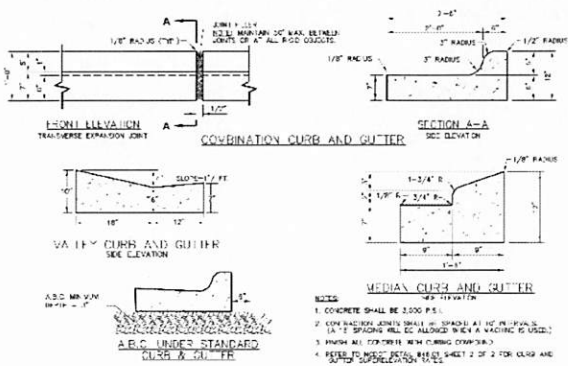
MITCHELL MANOR SUBDIVISION - PHASE 1
LINDA LOU LANE PLAN AND PROFILE

DAVID L. CURRY
P.E. License No. 27004
10000 W. HARRIS ROAD
SUITE 100
HARRIS, NC 27555
757-433-1111

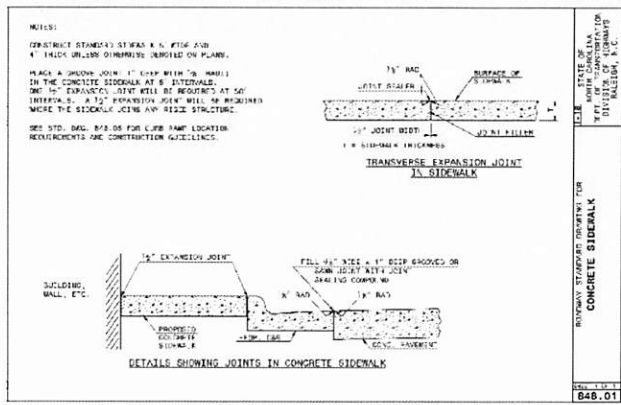


David Curry
4/11/18
C-08

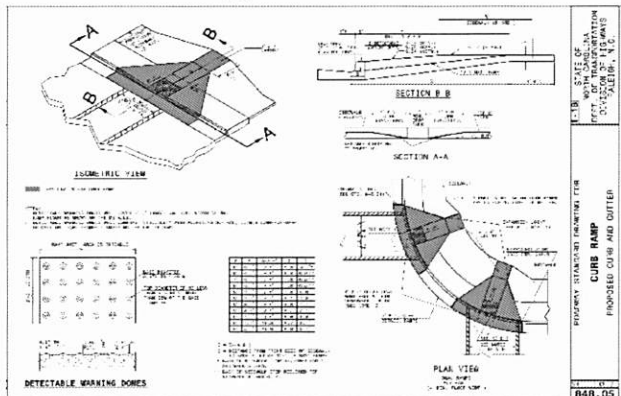
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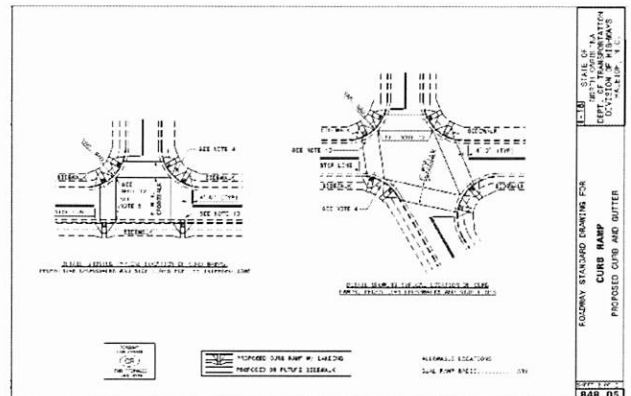
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SCALE: NTS



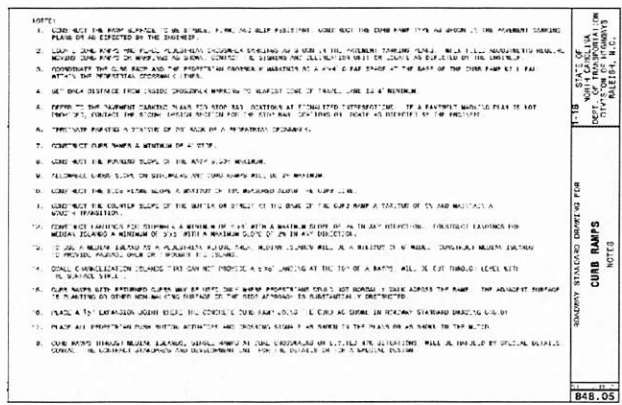
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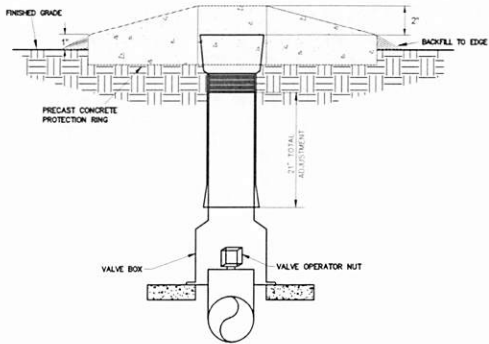
Curry



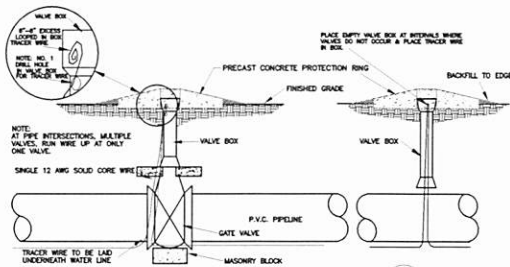
8/2/19 D-01

MITCHELL MANOR SUBDIVISION - PHASE 1
SITE DETAILS

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF FORT WORTH

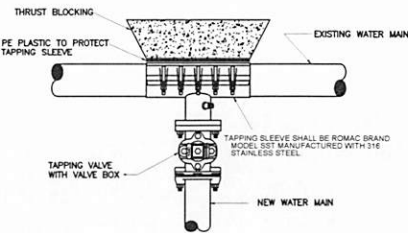


TYPICAL VALVE BOX DETAIL W
NO SCALE

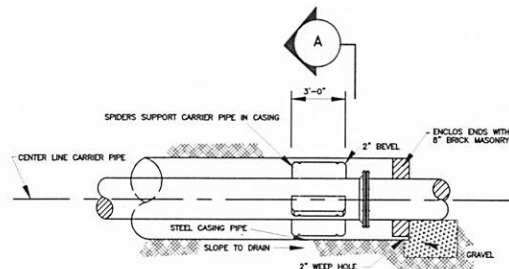


TYPICAL TRACER WIRE INSTALLATION DETAIL W
NO SCALE

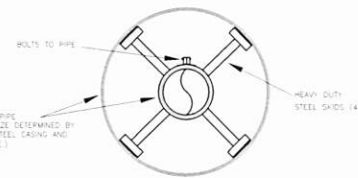
- NOTES:
1. DRILL HOLE IN VALVE BOX TO INSERT TRACER WHIRLING UP TO HEDGE AND PULL UP AT LEAST 4"-8" EXCESS
 2. PLACE TRACER WIRE IN VALVE BOX AT 1.000' INTERVALS OR AS NOTED ON THE PLANS, TYPICAL.
 3. DO NOT SPlice WIRE WHEN BEGINNING A NEW SPOOL, INSTEAD INSTALL A VALVE BOX AND ATTACH EACH WIRE WITH A BRASS SCREW TO THE VALVE BOX.



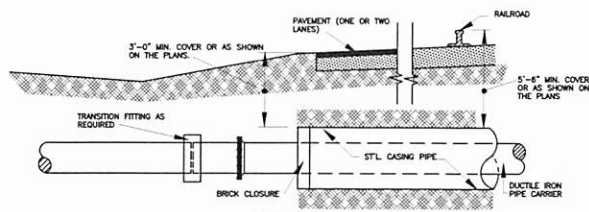
TYPICAL TAPPING SLEEVE AND VALVE ASSEMBLY DETAIL W
NO SCALE



ELEVATION



SECTION "A"



PROFILE

TYPICAL BORING & JACKING DETAIL W
NO SCALE

DATE	BY	CHECKED	SCALE	NO.
10/15/19	JL	JL	AS SHOWN	1
10/15/19	JL	JL	AS SHOWN	2
10/15/19	JL	JL	AS SHOWN	3
10/15/19	JL	JL	AS SHOWN	4
10/15/19	JL	JL	AS SHOWN	5

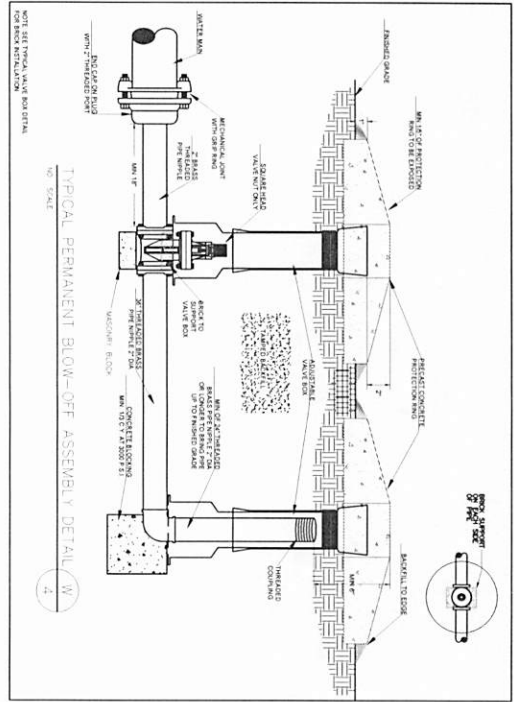
MITCHELL MANOR SUBDIVISION - PHASE 1
WATER DETAILS II

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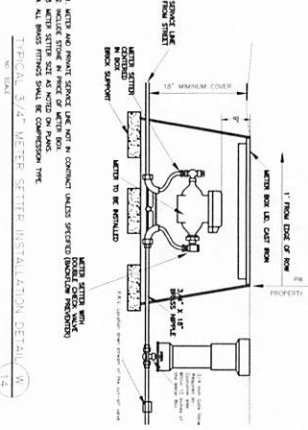
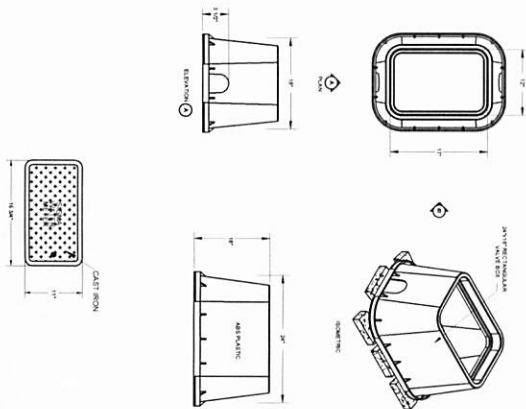


David L. Curry
8/2/19
D-03

DL



TYPICAL WATER BOX DETAIL FOR 3/4" SERVICE W-15
 1/8" SCALE



WATER DISTRIBUTION SYSTEM HARNETT COUNTY SPECIFICATIONS HARNETT COUNTY - NORTH CAROLINA		HARNETT County Public Utilities LILLINGTON, NORTH CAROLINA	
SCALE: NOTED DATE: 2009 DRAWN BY: HERNU CHECKED BY: W.W.R. BOOK NO.: PAGE NO.: JOB NO.: SHEET NO.:	2 of 3	Mark	Revisions

Handwritten signature
 6/1/19

Curry
 ENGINEERING

208 S. Fayette Avenue
 Fuquay-Varina, NC 27088
 P 919.552.0900
 F 919.552.0903

MITCHELL MANOR SUBDIVISION - PHASE 1
WATER DETAILS III

DATE: APRIL 2 2019	WORK SCALE: N.T.S.
FILE NO: 2018-036	DRWG SHEET SIZE: 24 x 36

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN...
2. TOTAL DISTURBANCE LIMITS +22 ACRES.
3. ANY GRADING BEYOND THE DENIED LIMITS SHOWN IN THE PLAN IS A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW...
4. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT...

EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION
THE PURPOSE OF THIS PROJECT IS TO CLEAR & GRAB AND MASS GRADING FOR A BILLOT (PHASES 1-3) SINGLE FAMILY RESIDENTIAL SUBDIVISION...
APPROXIMATELY 2.21 ACRES WILL BE DISTURBED DURING CONSTRUCTION...
THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION IN SUMMER 2016 WITH PROJECT COMPLETION AND FINAL STABILIZATION BY FALL 2016...

ADJACENT PROPERTY
ADJACENT PROPERTY OWNERS ARE NOTED ON THE EXISTING CONDITIONS PLAN.
NATIVE SOILS
THE SOILS AT THIS SITE ARE PREDOMINANTLY LOAMY SANDS. SOILS ARE MOSTLY WELL DRAINED WITH RAIN RANGES FROM MODERATELY HIGH TO HIGH SLOPES ARE LARGELY BETWEEN 10% TO 20%.

CONSTRUCTION SEQUENCE

- 1. OBTAIN A LAND DISTURBANCE PERMIT FROM NCDCMR.
2. SCHEDULE A RECONSTRUCTION CONFERENCE WITH NCDCMR AT LEAST ONE WEEK PRIOR TO START OF LAND DISTURBANCE.
3. CLEAR THE AREA NEEDED TO CONSTRUCT THE PROPOSED CONSTRUCTION ENTRANCE.
4. CONSTRUCT THE ENTRANCE AS SHOWN ON THE PLAN. MAINTAIN THE CONSTRUCTION ENTRANCE DAILY TO ENSURE THAT MUD AND SILT WILL NOT BE TRACKED ONTO THE ADJACENT SURFACE...
5. CLEAR THE AREA NEEDED TO CONSTRUCT THE REMAINDER OF PERMANENT EROSION CONTROL MEASURES INCLUDING SILT FENCE, ROCK CHECK DAMS, TEMPORARY DIVERSIONS, SEDIMENT BASIN AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN...
6. BEGON CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
7. ROUGH GRADE ALL ROADWAYS.
8. CONSTRUCT WATER MAINS THROUGHOUT PROJECT.
9. INSTALL STORM SEWER AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN BEGON CONSTRUCTION. BUILDING, ETC.
10. CONTINUE WITH MASS GRADING OF LOTS AND OPEN SPACE AREAS.
11. STABILIZE SITES AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENIED AREAS WITHIN 7 OR 14 DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
12. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL NCDCMR ON SITE INSPECTOR.
13. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISTRIBATORS, SHOULD NOW BE INSTALLED. EXISTING STORM DRAINAGE SYSTEM SHALL BE CLEANED OF ANY SEDIMENT.
14. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ON-SITE INSPECTOR. OBTAIN A CERTIFICATE OF COMPLETION.
15. SUBMIT NOTICE OF TERMINATION TO NCDCMR.
16. INSPECTOR REFERS TO NORTH CAROLINA LAND QUALITY INSPECTOR OR HIS REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR.
17. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES LAND QUALITY SECTION - EROSION AND SEDIMENT CONTROL, PLANNING AND DESIGN MANUAL.
18. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL MEASURES DURING CONSTRUCTION AND THE OWNER IS RESPONSIBLE FOR ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE. IF ANY PERMANENT STRUCTURE AND/OR EQUIPMENT ARE REQUIRED.

DUST CONTROL

- VEGETATIVE COVER
FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC VEGETATION PROVIDED THE MOST PRACTICAL METHOD OF DUST CONTROL.
MULCH
WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.
MAINTENANCE
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

SEDIMENT & EROSION CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE...

STRUCTURAL PRACTICES

- 1. SILT FENCE (SEDIMENT FENCE)
SILT FENCE CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION. SILT FENCES SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE BARRIERS SHALL BE USED TO CONTAIN SEDIMENT.
2. SILT FENCE OUTLET
GRAVEL SILT FENCE OUTLETS SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE OUTLETS SHALL BE LOCATED AT ALL LOW POINTS IN A RUN OF SILT FENCE AND USED TO DISCHARGE "CLEAN WATER" OFF-SITE.
3. DIVERSION DITCHES
USE DIVERSION DITCHES TO CONTROL SEDIMENT LINED RUNOFF TO EROSION CONTROL BMP'S AS SHOWN ON THE PLAN.
4. CONSTRUCTION ENTRANCE
CONSTRUCTION TRAFFIC SHALL BE LIMITED TO STABILIZED AREAS. AT A MINIMUM, A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE PROVIDED AS SHOWN ON THIS DRAWING. VEHICLE WHEELS SHALL BE CLEAN WHEN LEAVING THE SITE TO PREVENT THE TRACKING OF MUD ON PAVED ROADS.
5. ROCK CHECK DAMS
ROCK CHECK DAMS CAN BE USED TO REDUCE EROSION IN A DRAINAGE CHANNEL. TO LIMIT EROSION BY REDUCING VELOCITY IN OPEN CHANNELS.
6. SEDIMENT BASINS
SEDIMENT BASINS WITH SHAMERS AND POROUS BARRIERS ARE USED TO RETAIN SEDIMENT ON THE CONSTRUCTION SITE AND PREVENT SEDIMENTATION IN OFF-SITE STREAMS, LAKES, AND DRAINAGEWAYS.
7. INLET PROTECTION
WHIPWORE CLOTH AND GRAVEL INLET PROTECTION DEVICES CAN BE USED TO PREVENT SEDIMENT FROM ENTERING YARD INLETS. GRADED STORM DRAIN OR DRAINAGE DITCHES DURING CONSTRUCTION. THIS PRACTICE ALLOWS EROSION TO BE OF THE STORM DRAIN SYSTEM.

VEGETATIVE PRACTICES

- 1. TEMPORARY SEEDING
DISTURBED AREAS THAT ARE NOT ANTICIPATED TO BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 10 CALENDAR DAYS MUST RECEIVE TEMPORARY SEEDING (SEE TABLE A). QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH THEY ARE PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. SEEDING SHOULD BE PER HANNETT COUNTY REQUIREMENTS.
2. TEMPORARY GRASSING
THE SEED OR SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
3. PERMANENT SEEDING
IF AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSING AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE RESEED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. RESEED AND MULCH BARE SPOTS LARGER THAN 3 SQUARE FEET.
4. PERMANENT SEEDING
ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDING. PERMANENT SEEDING SHALL BE PER HANNETT COUNTY REQUIREMENTS. IF GROWTH IS NOT ESTABLISHED BY FINAL PROJECT INSPECTION, CONTINUE SPECIFIED ATTENTION UNTIL THE STAND OF GRASS IS ACCEPTABLE. NOTE THAT PERMANENT GROUND COVER MUST BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR NO MORE THAN 30 CALENDAR DAYS, WHICHEVER IS SHORTER.
MANAGEMENT STRATEGIES
1. STOCKPILE MATERIAL
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY. PER NCDCMR CONSTRUCTION PERMIT REVISED AUGUST 4 2011 ALL EARTHEN MATERIAL STOCKPILES MUST BE COVERED BY FROM STORM DRAINS AND STREAMS UNLESS NO OTHER REASONABLE ALTERNATIVE IS AVAILABLE.
2. RIP-RAP OUTLET PROTECTION
ALL RIP-RAP SHALL BE INSTALLED WITH FILTER FABRIC BENEATH.
3. SOIL DISPOSAL
DISPOSE OF ALL STOCKPILED MATERIAL TO AN APPROVED PERMITTED HANNETT COUNTY DISPOSAL SITE.
4. DEWATERING
ALL TRENCH/DRAINAGE DEWATERING MUST DISCHARGE TO AN APPROVED SEED MEASURE OR SILT SAND POND TO LEAVING THE SITE.
5. PERMANENT EROSION CONTROL
THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

MAINTENANCE/INSPECTION PROCEDURES

- THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.
1. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, DAILY AND WITHIN 4 HOURS OF EVERY RAINFALL EVENT.
2. SILT FENCE & FABRIC INLET PROTECTION
INSPECT FOR DEPTH OF SEDIMENT. TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND TO IDENTIFY IF THE FENCE POSTS ARE FIRMLY IN THE GROUND. BUILT UP SEDIMENT MAY BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED THE HEIGHT OF THE FENCE.
3. SILT FENCE OUTLET
INSPECT THE SILT FENCE OUTLET FOR THE SCHEDULE OUTLINED ABOVE. CHECK FOR TEARS IN THE FABRIC AND ADDRESS REPAIRS PER THE "SILT FENCE & FABRIC INLET PROTECTION" NOTES ABOVE. REMOVE ACCUMULATED SEDIMENT FOR THIS REQUIREMENT AS WELL AS INSPECT THE STONE PORTION OF THIS MEASURE AND REPLACE ANY DISPLACED STONE. NOTE ANY LEAKING STAKES AND RE-INSTALL THEM VERTICALLY AND SECURELY.
4. HORSESHOE INLET PROTECTION
INSPECT ROCK PIPE INLET PROTECTION PER THE SCHEDULE ABOVE. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPAIR THE CONTAMINATED PART OF THE GRAVEL FACING. CHECK THE STRUCTURE FOR DAMAGE. ANY RIP-RAP DISPLACED FROM THE STONE HORSESHOE MUST BE REPLACED IMMEDIATELY.
5. ROCK CHECK DAMS
INSPECT DAMS PER THE SCHEDULE ABOVE. CLEAN OUT SEDIMENT, STRAW, LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED. ANY EXCESSIVE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGE OF THE DAM CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS INSTALLING A PROTECTIVE RIP-RAP LINE IN THAT PORTION OF THE CHANNEL. REMOVE SEDIMENT ACCUMULATED BETWEEN THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONE TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.
6. DIVERSION OR SWALLETS
INSPECT AND ANY BRANCHES TEMPORARILY REPAIRED SEDIMENT SHALL BE REMOVED FROM THE LOW AREA IMMEDIATELY AFTER EACH RAIN. ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES MUST MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THEY MAY REQUIRE PERIODIC TOP-DRESSING WITH 2" STONE AFTER A RAINFALL. IMMEDIATELY REMOVE ALL OBJECTABLE MATERIALS (SPILLED, WASHED, OR TRACKED) OUT OF ROADWAYS.
7. SEDIMENT BASIN
INSPECT AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATED TO ONE-HALF THE DESIGN DEPTH. PLACE REMOVED SEDIMENT IN AN AREA WITH SLOPES GREATER THAN 2%. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PILING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA. REPAIR BARRIERS AND SHAMERS AS NEEDED.
8. INLET PROTECTION
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH AREA OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO REMOVE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
9. SEEDING, RESEEDING AND MULCHING
INSPECT SEEDING AREAS FOR FAILURE AND NECESSARY REPAIRS AND RESEEDING SHALL BE MADE WITHIN THE SAME SEASON. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE CHECKED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
10. MAINTAIN THE ON-SITE RAIN GAGE DATA AND STORMWATER INSPECTION LOG SHEETS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL HANNETT COUNTY HAS CLOSED THE PROJECT.
11. THE CONTACT PERSONS REQUIRED TO MAINTAIN A LOG OF SELF-INSPECTIONS PER REQUIREMENTS AS OUTLINED IN NCDCMR PERMIT. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THESE REPORTS WILL BE COLLECTED AND MAINTAINED UNTIL HANNETT COUNTY HAS CLOSED THE PROJECT.
12. THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES AND FILING OUT THE INSPECTION AND MAINTENANCE REPORT.
13. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED DURING CONSTRUCTION WORKING PROPERLY.
14. GROUND STABILIZATION SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE.
A. ALL PERMITTED SITES, SLOPES, STORIES, PERMITTED SLOPES AND ALL SLOPES STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
B. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

NOTIFICATION OF COMBINED SELF-MONITORING AND SELF-INSPECTION FORM

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES ESTABLISHING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

TO SIMPLY DOCUMENTATION OF SELF-INSPECTION REPORTS AND WIDES SELF-MONITORING REPORTS, DWG AND DEMR DEVELOPED A COMBINED FORM. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE WIDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE RESULTS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT AND COMBINED WITH PERMANENT GROUND COVER IS ESTABLISHED. THE FORM CAN BE ACCESS AT: HTTP://PORTAL.NCDCMR.ORG/WEB/EROSION

IF YOU HAVE QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE REGIONAL OFFICE AT (919) 793-4200

INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCDCMR000000 AND SELF-INSPECTION RECORDS FOR LAND-DISTURBING ACTIVITIES PER G.S. 113A-361

Form with fields for Project Name, Frequency/Inspection Party, Inspector Name, Date, and Location. Includes checkboxes for various inspection items.

Table with columns: Date, Rain Area (sq ft), Daily Rainfall (inches), and Phase of Grading. Includes rows for different dates and phases.

By the signatories, I am certifying in accordance with the NCDCMR permit and G.S. 113A-361 that the report is accurate and complete to the best of my knowledge.

Table with columns: Date, Inspection Date, and Ground Stabilization Parameters. Includes rows for different dates and parameters.

EROSION AND SEDIMENTATION CONTROL MEASURES

Table with columns: Location, Date, Inspection Date, and Description of Action Needed. Includes rows for various locations and dates.

STORMWATER DISCHARGE OUTFALLS

Table with columns: Location, Date, Inspection Date, and Description of Action Needed. Includes rows for various locations and dates.

GROUND STABILIZATION PARAMETERS

Table with columns: Date, Inspection Date, and Description of Action Needed. Includes rows for various dates and parameters.

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EC-02

DATE: APRIL 27, 2016
SCALE: AS SHOWN
PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1
EROSION CONTROL DETAILS I

CONSTRUCTION SPECIFICATIONS

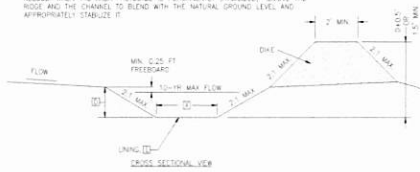
1. REMOVE AND PROPERLY DISPOSE OF ALL TREES, BRUSH, STUMPS, AND OTHER OBSTRUCTIBLE MATERIAL.
2. ENSURE THAT THE MINIMUM CONSTRUCTED CROSS SECTION MEETS ALL DESIGN REQUIREMENTS.
3. ENSURE THAT THE TOP OF THE DIKE IS NOT LOWER AT ANY POINT THAN THE DESIGN ELEVATION PLUS THE SPECIFIED SETTLEMENT.
4. PROVIDE SUFFICIENT ROOM AROUND DIVERSIONS TO PERMIT MACHINE REGADING AND CLEANOUT.
5. VEGETATE THE RIDGE AND CHANNEL IMMEDIATELY AFTER CONSTRUCTION, UNLESS IT WILL REMAIN IN PLACE LESS THAN 30 WORKING DAYS.

GENERAL NOTES

1. DIVERSION TO BE USED TO CONVEY SEDIMENT LADEN WATER INTO AN APPROVED EROSION AND SEDIMENT CONTROL BASIN.
2. IMMEDIATELY LINE AND STABILIZE BEFORE ANY DOWNSLOPE GRADING BEGINS. (STABILIZATION MUST OCCUR BEFORE ISSUANCE OF A CERTIFICATE OF COMPLIANCE)
3. STABILIZATION METHOD IS BASED ON VELOCITY OF DRAINAGE.
4. DIVERSIONS SHOULD ONLY BE USED FOR DRAINAGE AREAS 5 ACRES OR LESS.
5. MINIMUM LONGITUDINAL SLOPE OF DIVERSION SHALL BE 0.2%.
6. DESIGN SHOWS SHALL BE FINAL AFTER SETTLEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING DIMENSIONS IN FIELD TO MEET DESIGN CRITERIA IF SETTLEMENT OCCURS.
7. REFER TO SWMMER BASIN DETAIL FOR DIVERSION DITCH/SWMMER BASIN ENTRANCE.

MAINTENANCE

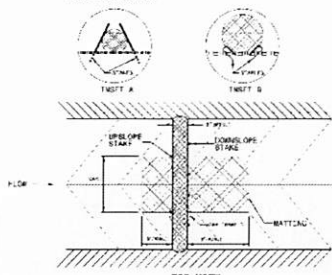
INSPECT TEMPORARY DIVERSIONS DAILY AND REPAIR, AS NECESSARY AND FOLLOWING EVERY RAINFALL EVENT OF GREATER THAN 1/2" WITHIN A 24-HR PERIOD. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE CAREFULLY CHECK INLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.



DETAIL REFERENCE 6.102 IN EC500W

1 TEMPORARY DIVERSION DITCH
SCALE: NTS

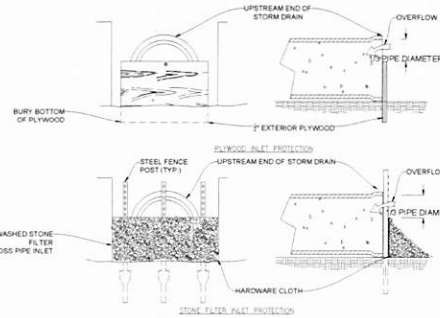
NOTES:
USE PLYWOOD TO BRIDGE OVER 2" DIA. HOLES (LOCATE FIBER MATS WITH 2' DIA. HOLES) SPACED WITH A 2' DIA. BY 2' DIA. INTERVAL WITHIN MATS.
2" DIA. HOLES MUST BE 1/2" TO 1" DIA. IN SIZE AND 1/2" DIA. HOLES MUST BE 1/2" TO 1" DIA. IN SIZE AND 1/2" DIA. HOLES MUST BE 1/2" TO 1" DIA. IN SIZE.
INSTALL A MINIMUM OF 2 APPROXIMATELY 4' X 4' DOWNLOPE STAKES AT AN ANGLE OF 90 DEGREES TO THE FLOW OF WATER.
REMOVE EXCESS MATS OR EXPOSED MATS BY CUTTING TO LEAVE THE CHANNEL 2' TO 3' WIDER THAN THE 2' DIA. LENGTH.
INSTALL STAKES APPROXIMATELY EVERY 1' ALONG FOOT OF MATS TO BE USED TO HOLD MATS TO CHANNEL. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THE STAKES IN PLACE.



4 COIR FIBER WATTLE DETAIL
SCALE: NTS

GENERAL NOTE

1. ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THESE DETAILS.
2. THIS IS NOT AN APPROVED METHOD OF INLET PROTECTION AND WILL ONLY BE USED TO PROTECT THE CONTRACTOR'S WORK. OUTSIDE LONGER PERIODS OF PROTECTION WILL REQUIRE THE STONE PILET PROTECTION DETAIL PER THE "NOISE" SECTION.



2 PIPE INLET PROTECTION
SCALE: NTS

NOTES

1. SURFACE SHALL BE STONE OR TONGUE AND GROOVE PLYWOOD.
2. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.
3. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.
4. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.

CONSTRUCTION SPECIFICATIONS

1. SURFACE SHALL BE STONE OR TONGUE AND GROOVE PLYWOOD.
2. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.
3. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.
4. SURFACE SHALL BE 2' TONGUE AND GROOVE PLYWOOD.

MAINTENANCE

INSPECT RIP-RAP OUTLET STRUCTURES DAILY AND AFTER SIGNIFICANT (1/2" RAIN OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP-RAP HAS TAKEN PLACE. IF EROSION HAS BEEN OBSERVED, IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

NOTES

1. 2' DIA. LENGTH OF THE RIP-RAP APRON.
2. 2' DIA. 1/2" TALL MAXIMUM STONE DIAMETER BUT NOT LESS THAN 4" (MINIMUM).
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON OF THE CHANNEL BEYOND TO AN ELEVATION OF 4" (MINIMUM) ABOVE THE MAXIMUM TALKABLE DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
4. A FILTER BLANKET OF FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.

CONSTRUCTION SPECIFICATIONS

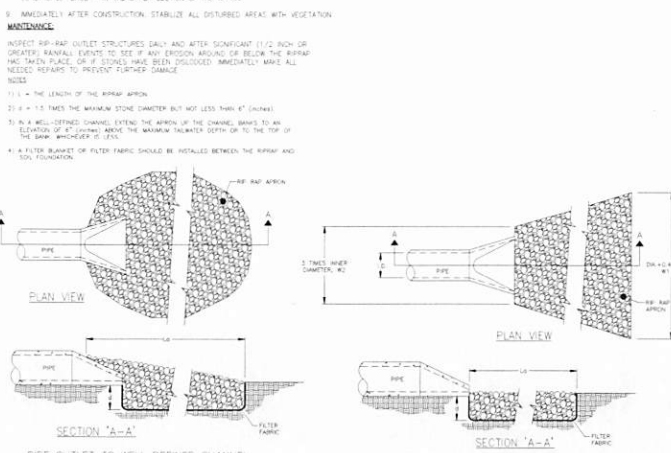
1. ENSURE THAT THE SUBGRADE FOR THE FILTER AND RIP-RAP FOLLOWS THE REQUIRED LINES AND GRADES SHOWN IN THE PLAN. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO THE DENSITY OF THE SURROUNDING UNDISTURBED MATERIAL. LOW AREAS IN THE SUBGRADE ON UNDISTURBED SOIL MAY ALSO BE FILLED BY INCREASING THE RIP-RAP THICKNESS.
2. THE RIP-RAP AND GRAVEL FILTER MUST CONFORM TO THE SPECIFIED GRADING LIMITS SHOWN ON THE PLANS.
3. FILTER CLOTH WHEN USED MUST MEET DESIGN REQUIREMENTS AND BE PROPERLY PROTECTED FROM PUNCHING OR TEARING DURING INSTALLATION. REPAIR ANY DAMAGE BY REMOVING THE RIP-RAP AND PLACING ANOTHER PIECE OF FILTER CLOTH OVER THE DAMAGED AREA. ALL CONNECTING JOINTS SHOULD OVERLAP SO THE TOP LAYER IS ABOVE THE DOWNSTREAM LAYER A MINIMUM OF 1 FOOT IF THE DAMAGE IS EXTENSIVE, REPLACE THE ENTIRE FILTER CLOTH.
4. RIP-RAP MAY BE PLACED BY EQUIPMENT, BUT TAKE CARE TO AVOID DAMAGING THE FILTER.
5. THE MINIMUM THICKNESS OF THE RIP-RAP SHOULD BE 1.5 TIMES THE MAXIMUM STONE DIAMETER.
6. RIP-RAP MAY BE FIELD STONE OR QUARRY QUADRANT STONE. IT SHOULD BE WASHED, ANGULAR, SPOKE-1 WEATHER-RESISTANT AND WELL GRADED.
7. CONSTRUCT THE APRON ON ZERO GRADE WITH NO OVERFILL AT THE END. MAKE THE TOP OF THE RIP-RAP AT THE DOWNSTREAM END LEVEL WITH THE RECEIVING AREA OF SLOPE 1:1 BELOW IT.
8. ENSURE THAT THE APRON IS PROPERLY ALIGNED WITH THE RECEIVING STREAM AND PREFERABLY STRAIGHT THROUGHOUT ITS LENGTH. IF A CURVE IS NEEDED TO FIT SITE CONDITIONS, PLACE 75% IN THE UPPER SECTION OF THE APRON.

MAINTENANCE

IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

NOTES

1. 2' DIA. LENGTH OF THE RIP-RAP APRON.
2. 2' DIA. 1/2" TALL MAXIMUM STONE DIAMETER BUT NOT LESS THAN 4" (MINIMUM).
3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON OF THE CHANNEL BEYOND TO AN ELEVATION OF 4" (MINIMUM) ABOVE THE MAXIMUM TALKABLE DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
4. A FILTER BLANKET OF FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.



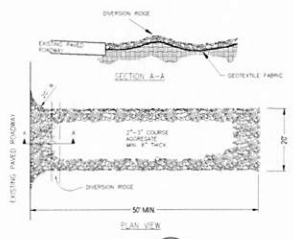
5 RIP-RAP OUTLET PROTECTION
SCALE: NTS

3 SEEDING SCHEDULE
SCALE: NTS

DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1	SCALE: 1/8" = 1'-0"	DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1	SCALE: 1/8" = 1'-0"
FILE NO: EC-03	DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1	SCALE: 1/8" = 1'-0"	DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1
FILE NO: EC-03	DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1	SCALE: 1/8" = 1'-0"	DATE: 08/19/2019	PROJECT: MITCHELL MANOR SUBDIVISION - PHASE 1

Curry

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CONSTRUCTION SPECIFICATIONS

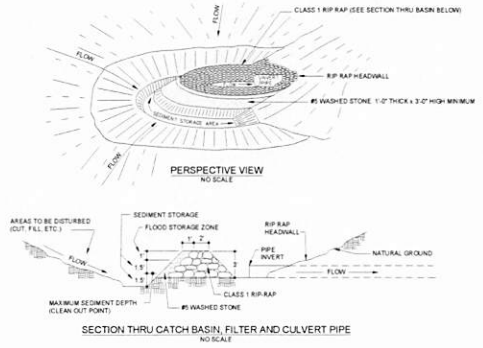
1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLAN, AND SMOOTH IT.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
4. USE GEOTEXTILE FABRIC BECAUSE THEY PROVIDE STABILITY TO THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OF HIGH WATER TABLE.

MAINTENANCE

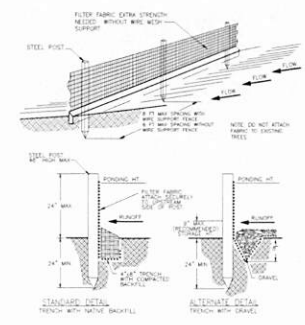
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE AFTER EACH RAINFALL. PROTECT ANY STRUCTURE USED TO TRAP SEDIMENT SOIL AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

DETAIL REFERENCE 6.08, NO. ES030M

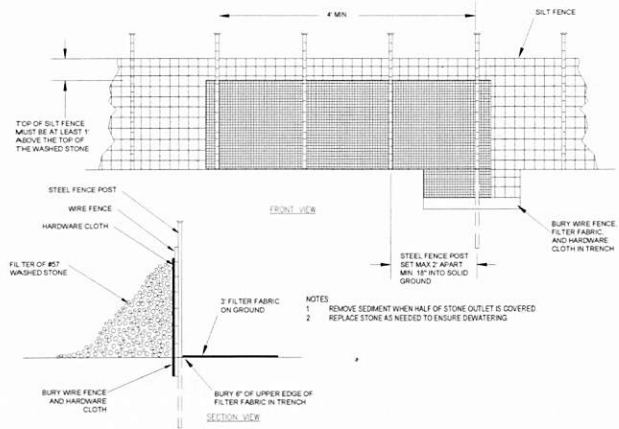
1 STANDARD CONSTRUCTION ENTRANCE
SCALE: NTS



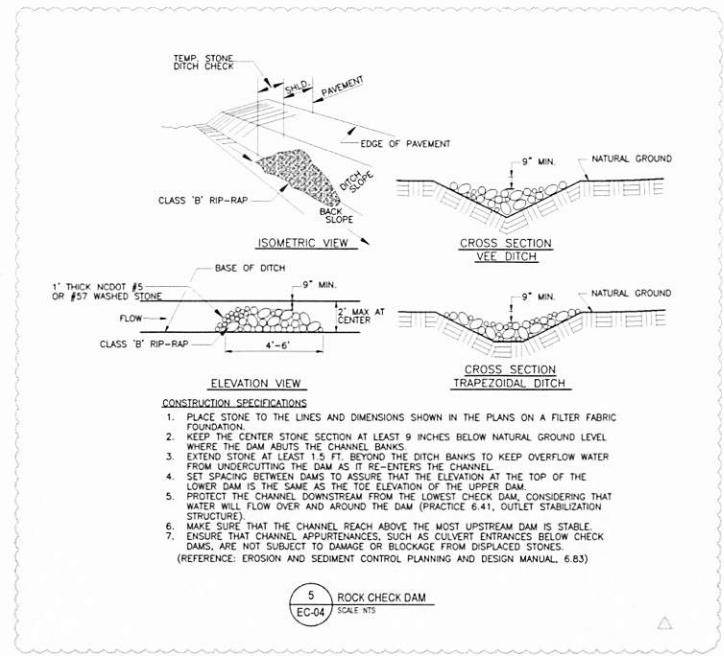
2 HORSESHOE INLET PROTECTION
SCALE: NTS



3 STANDARD TEMPORARY SILT FENCE
SCALE: NTS



4 STANDARD SILT FENCE OUTLET
SCALE: NTS



5 ROCK CHECK DAM
SCALE: NTS

PROJECT NO.	DATE	SCALE	SHEET NO.	TOTAL SHEETS
1000000000	APRIL 2, 2013	N.T.S.	14	29

MITCHELL MANOR SUBDIVISION - PHASE 1
EROSION CONTROL DETAILS III

Curry Engineering
1000000000
APRIL 2, 2013
N.T.S.



EC-04

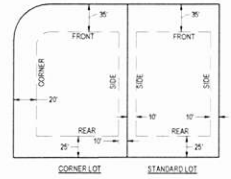
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GENERAL NOTES

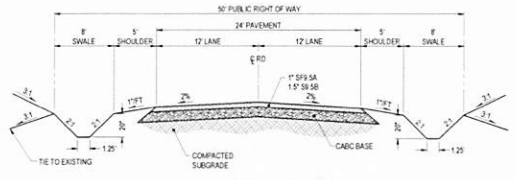
- THE FOLLOWING NOTES SHALL BE RELEVANT FOR ALL SUBDIVISION PLAN SHEETS
1. ALL CONSTRUCTION SHALL BE PER HARNETT COUNTY & NCSDOT STANDARDS AND SPECIFICATIONS
 2. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED
 3. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED
 4. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS
 5. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR
 6. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
 7. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION
 8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS
 9. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEMAND NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER
 10. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY
 11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS
 12. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGNS MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS. ENTRY SIGNS WILL REQUIRE A SEPARATE SIGN PERMIT
 13. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF THE GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED
 14. COMMON OPEN SPACE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS ASSOCIATION
 15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE HARNETT COUNTY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
 16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS BUILT LOCATIONS
 17. AREAS OF ADJACENT PARCELS THAT ARE NOT SUBDIVIDED TO CREATE SINGLE FAMILY RESIDENTIAL LOTS ARE TO REMAIN AS ONE PARCEL, TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OF THE NEIGHBORHOOD

LEGEND

- STREET LIGHT
- SIGN
- WHEEL CHAIR RAMP
- CLUSTER MAILBOX UNIT
- ROADWAY CENTERLINE
- LOT LINE
- RIGHT OF WAY LINE
- PHASE LINE
- SETBACK LINE
- IMP. LIMITS
- EASEMENT
- VALLEY CURB & GUTTER
- STANDARD CURB & GUTTER
- SPILL CURB & GUTTER
- CHAIN LINK FENCE
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- ASPHALT OVERLAY
- GRAVEL SURFACING



1 TYPICAL BUILDING SETBACKS
C-03 SCALE: NTS



2 RESIDENTIAL COLLECTOR
TYPICAL STREET SECTION
C-03 SCALE: NTS



Delaney

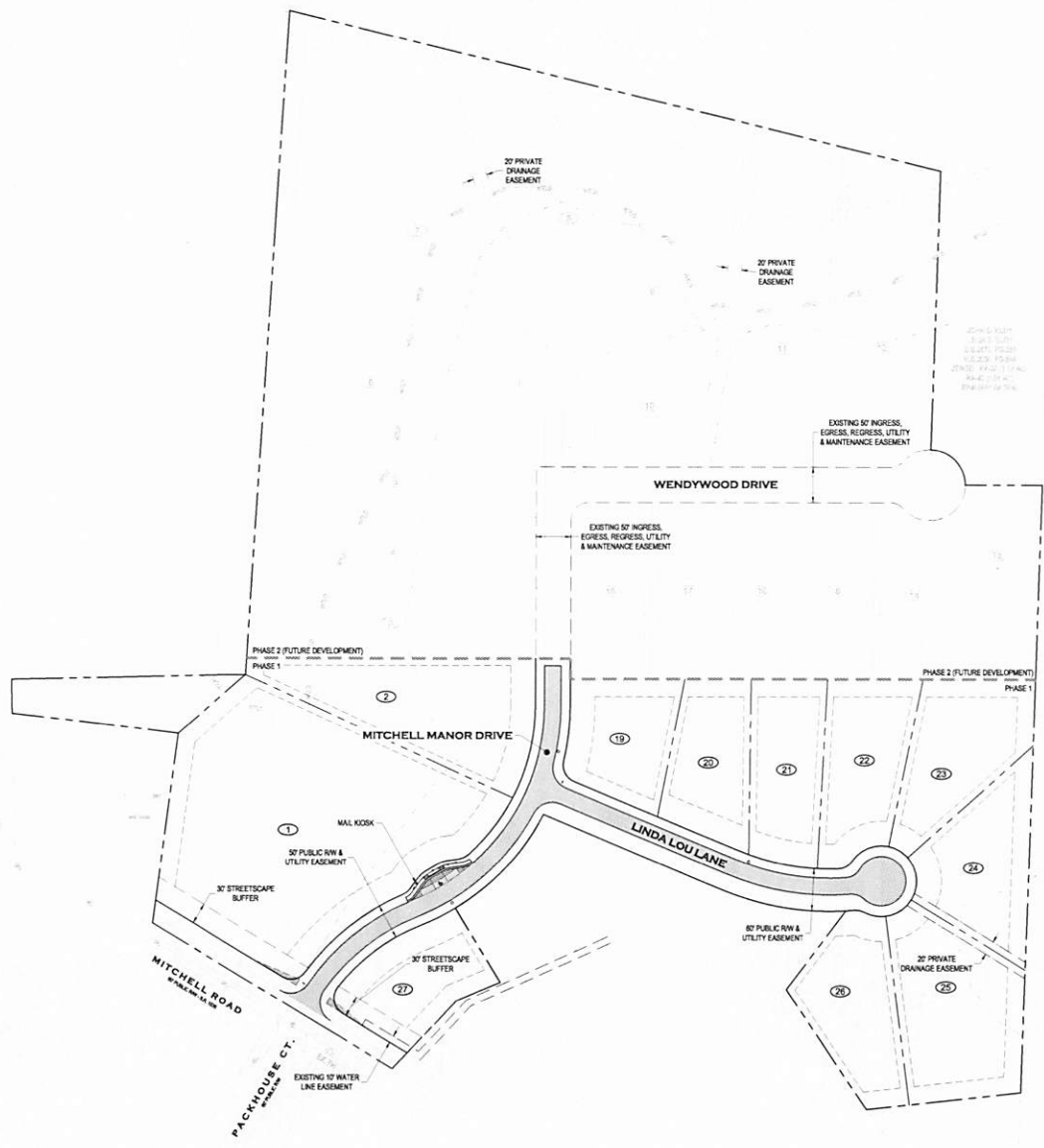
Curry
ENGINEERING

8/2/19

C-03

MITCHELL MANOR SUBDIVISION - PHASE 1
OVERALL SITE LAYOUT

DATE: APRIL 2019	PROJECT SCALE: 1" = 80'
FILE NO: 2019-018	DWG SHEET NO: 241-N



DATE: APRIL 2019 PROJECT SCALE: 1" = 80' FILE NO: 2019-018 DWG SHEET NO: 241-N