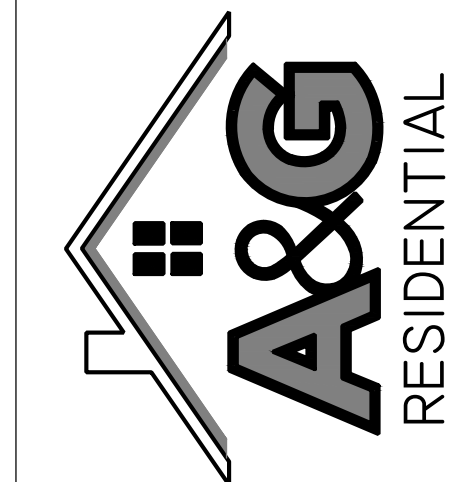


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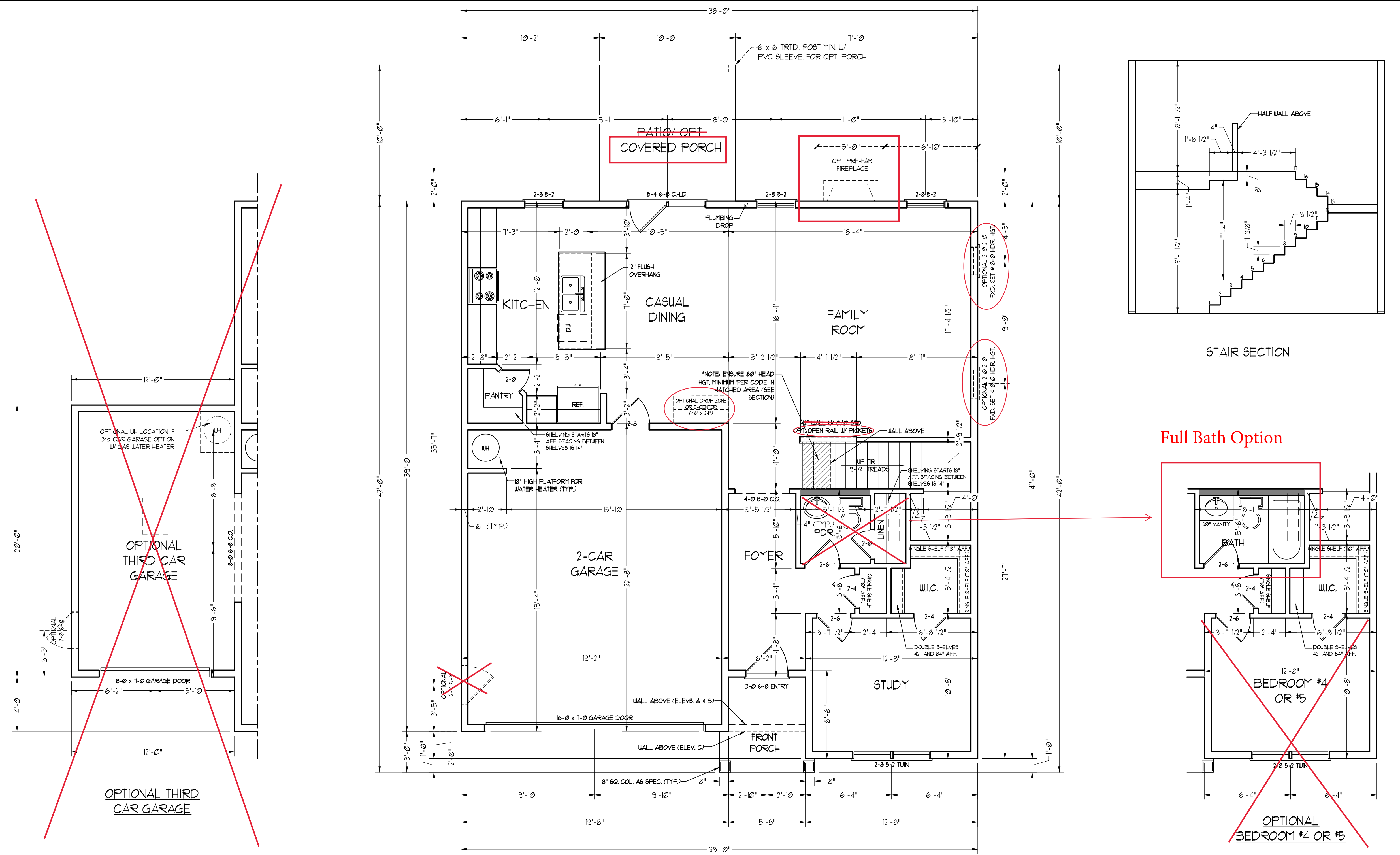


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ENGINEERED BY:
REVIEWED BY:

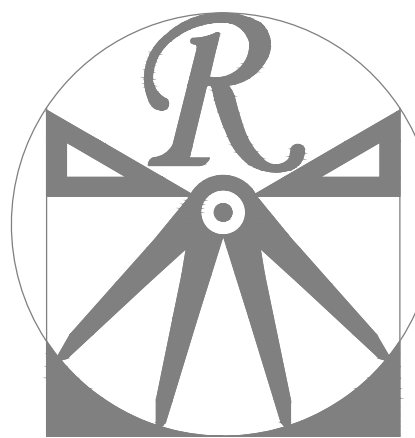
FIRST FLOOR PLAN
A-4



SQUARE FOOTAGE (STANDARD)	
1st FLOOR:	1058 SQ. FT.
2nd FLOOR:	1501 SQ. FT.
TOTAL:	2565 SQ. FT.
GARAGE:	421 SQ. FT.
FRONT PORCH:	41 SQ. FT.
Covered Porch	100 SQ. FT.
OPT. 3rd CAR GARAGE:	240 SQ. FT.

***NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).**

2x6 WALL * SHADED INTERIOR WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING)



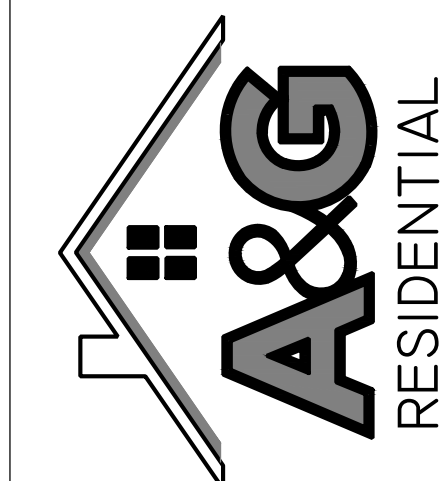
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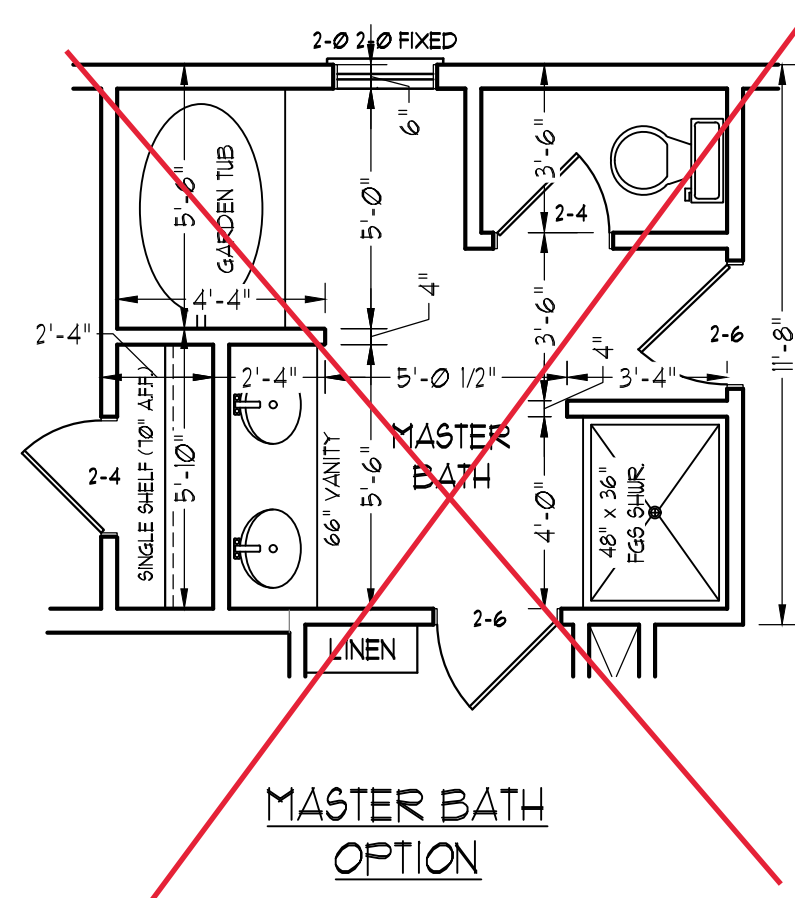
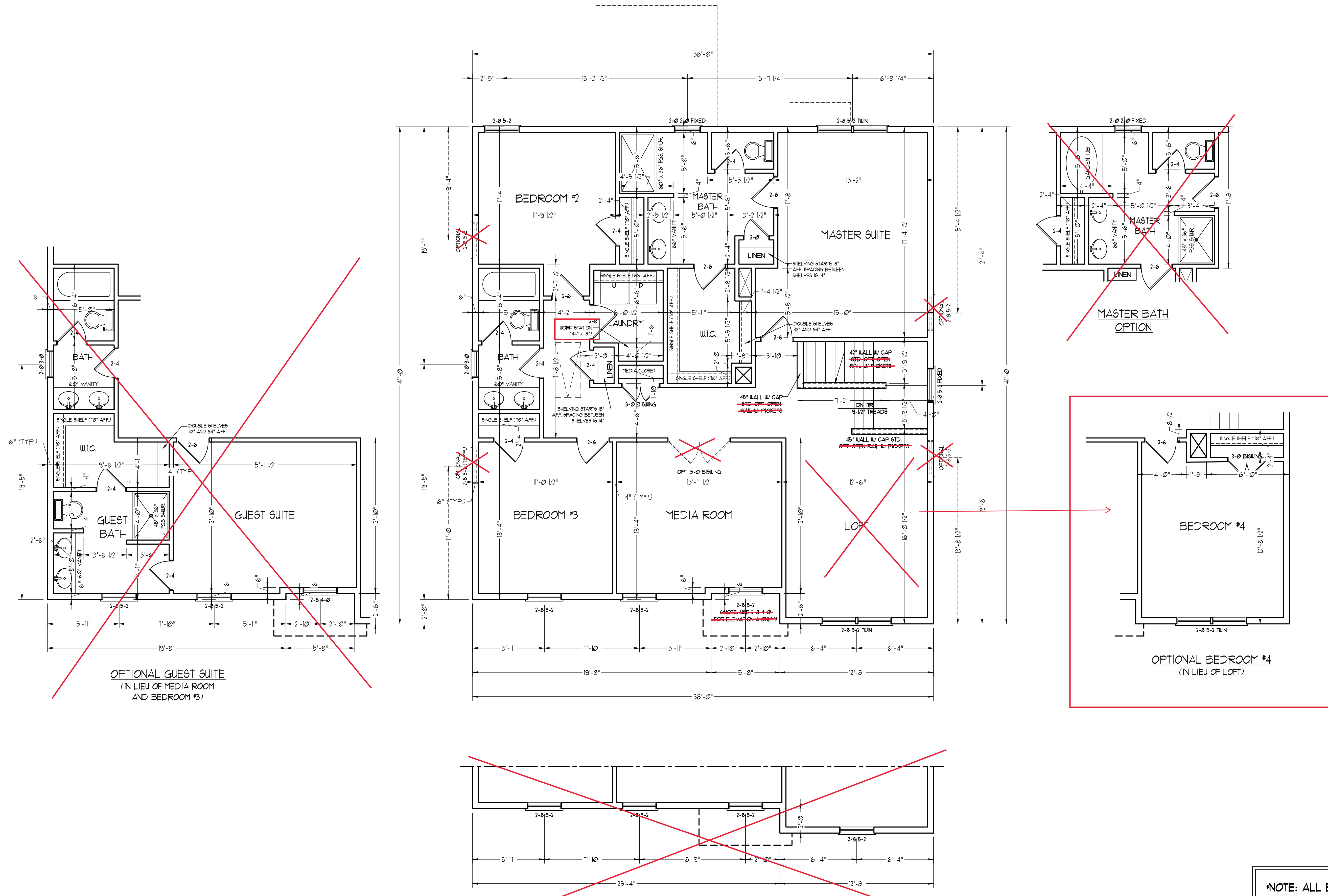
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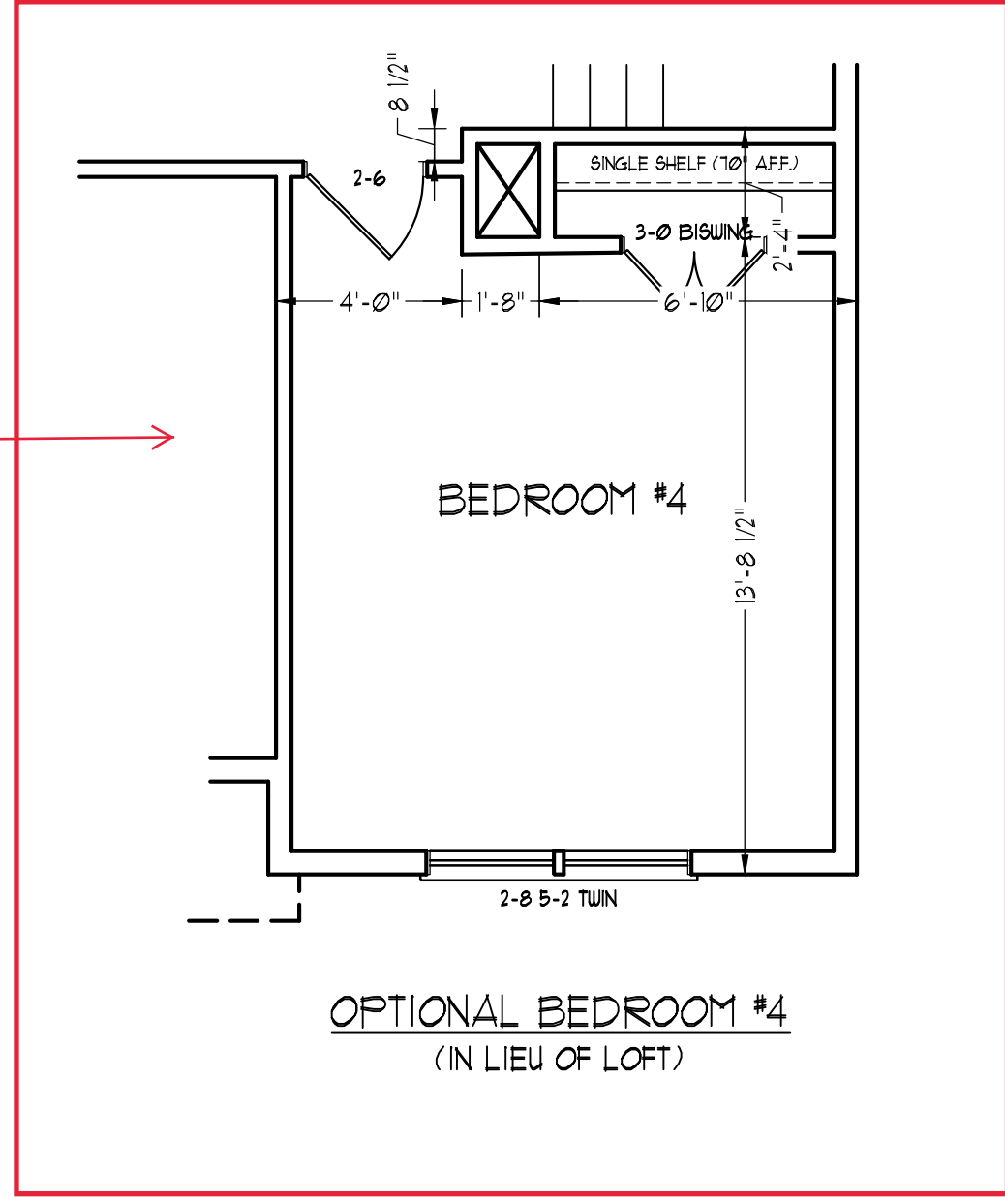
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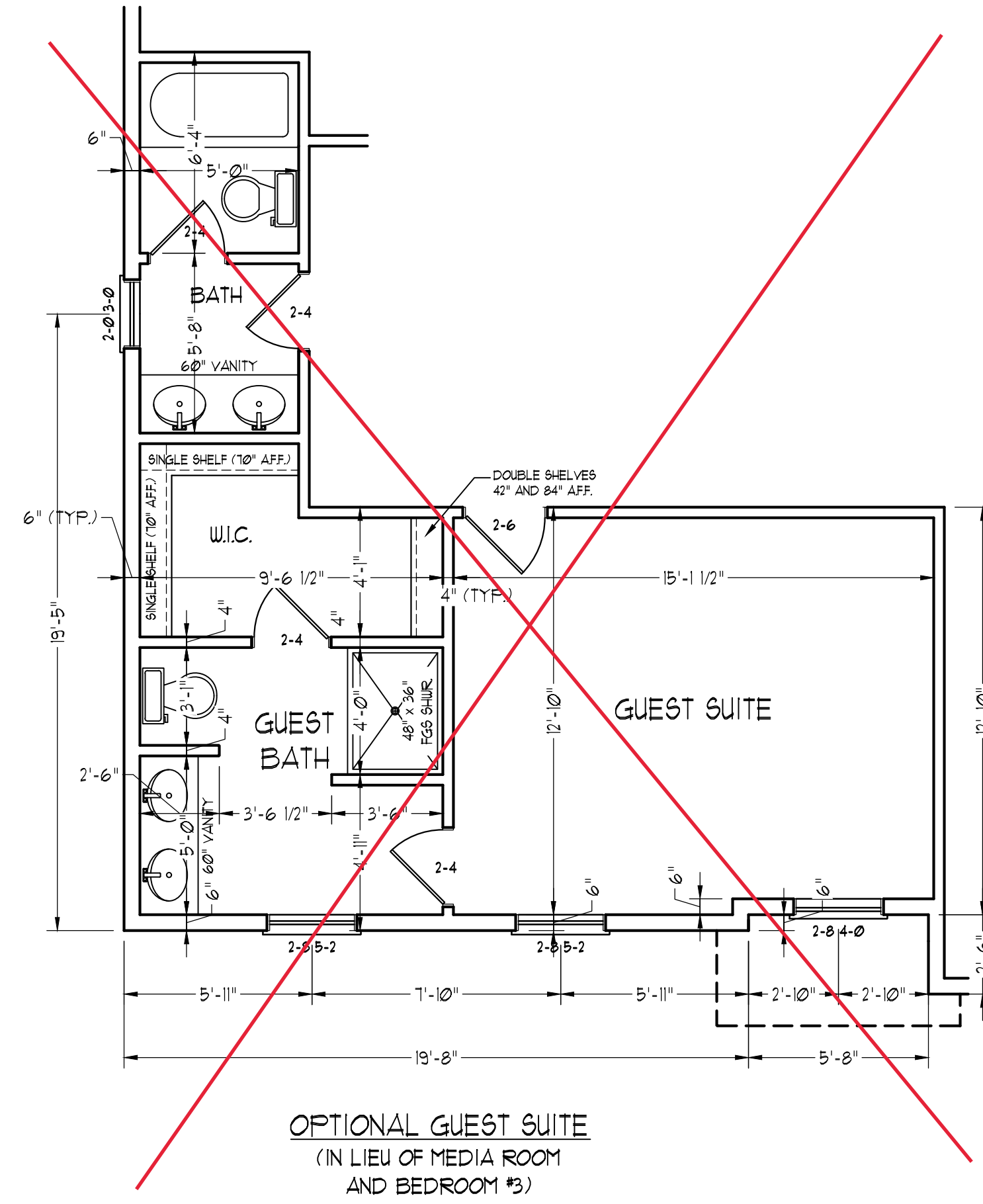
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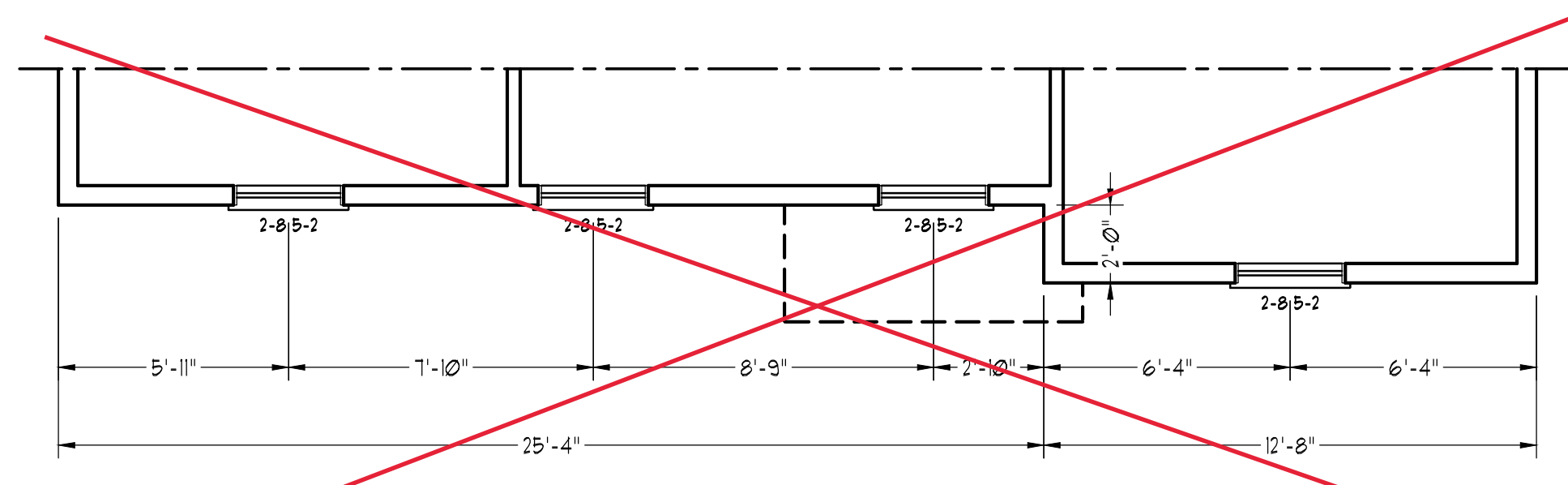
MASTER BATH OPTION



OPTIONAL BEDROOM #4 (IN LIEU OF LOFT)



OPTIONAL GUEST SUITE (IN LIEU OF MEDIA ROOM AND BEDROOM #3)



WINDOW/WALL CONFIGURATION ELEVATION C ONLY

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

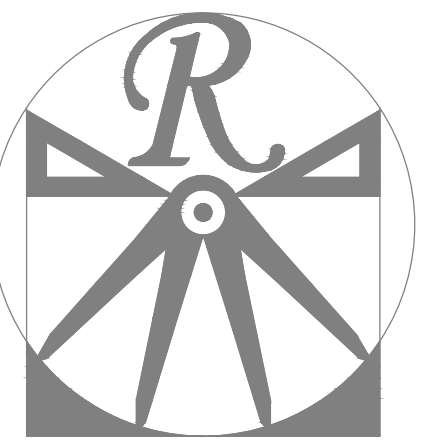
2x6 WALL * SHADED INTERIOR WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING)

A&G RESIDENTIAL
GREENVILLE
DRIVE LEFT

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SECOND FLOOR PLAN

A-5



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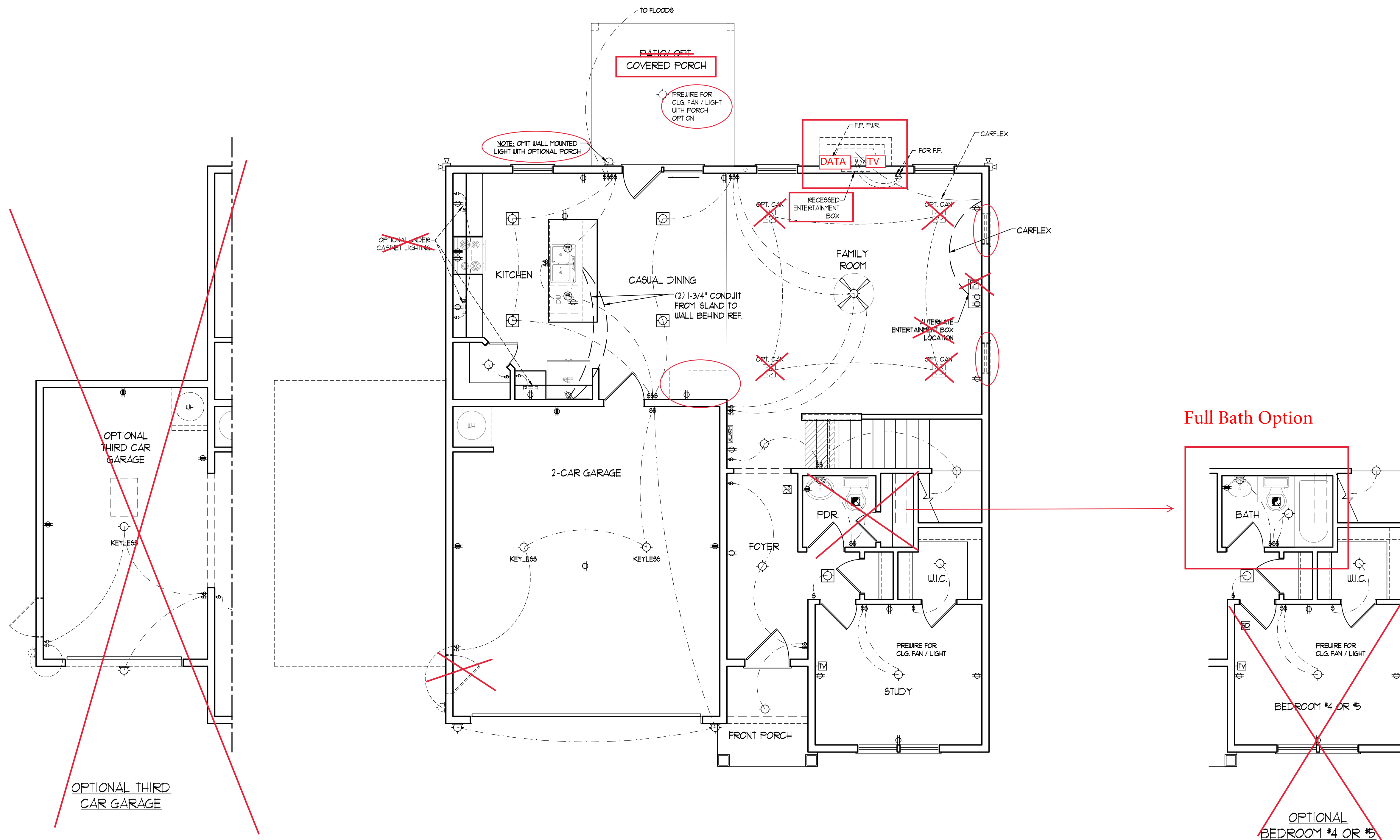
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ELECTRICAL LAYOUT NOTES:

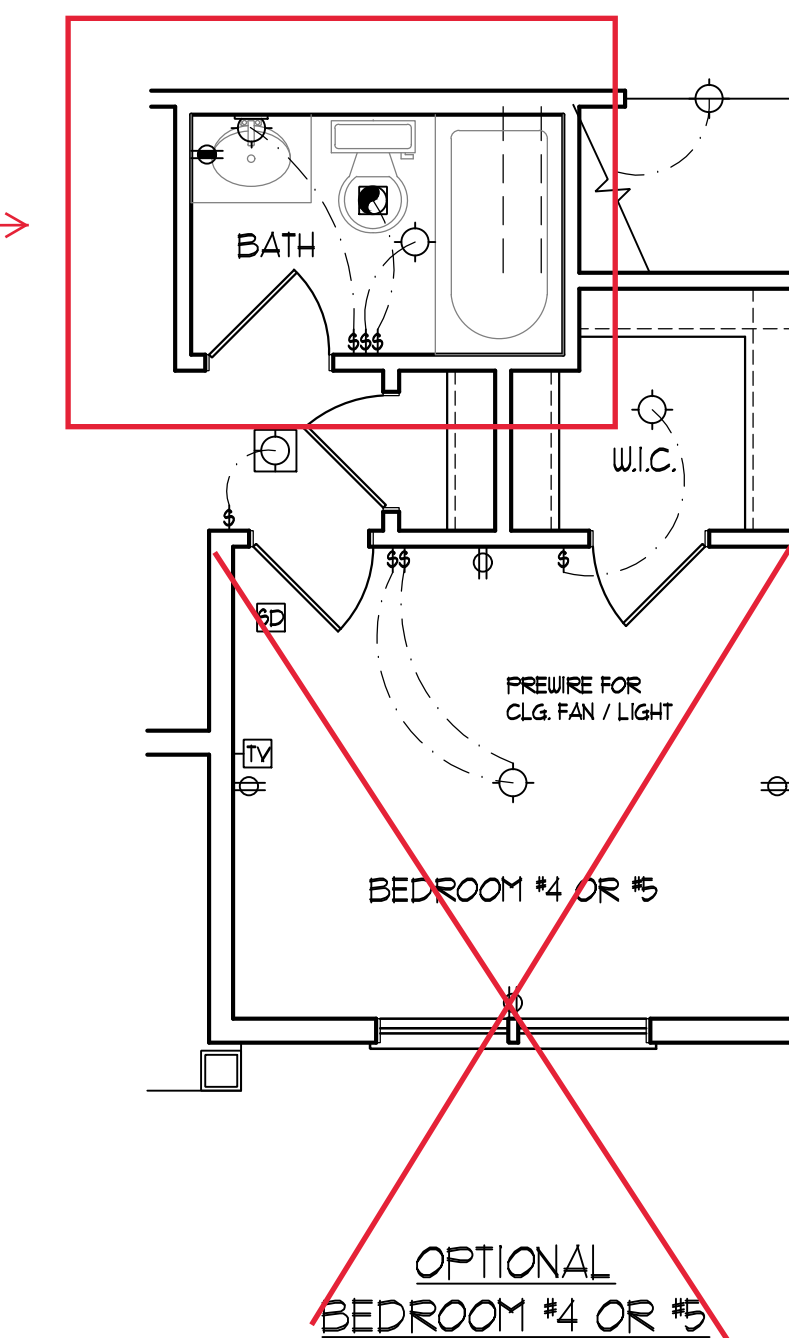
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2) VANITY LIGHTS TO BE SET @ 30" AFF. (TYP.)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
- 4) PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.

ELECTRICAL LEGEND

- ⊕ 110 V OUTLET
- ⊕ 110 V GFI OUTLET
- ⊕ 110 V SWITCHED OUTLET
- ⊕ 110 V BASEBOARD OUTLET
- 4-FLEX
- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED 110V GFI
- WEATHERPROOF
- 220 V OUTLET
- 110 V DEDICATED CIRCUIT
- 220 V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLOUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- DIMMER SWITCH
- TELEPHONE
- DATA
- TELEPHONE AND DATA
- TV CONNECTION
- TV/DATA
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- 110 V SMOKE/ CH DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- ALARM PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT



Full Bath Option



OPTIONAL BEDROOM #4 OR #5



PLEASE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN MATERIALS AND DIMENSIONS, MATERIALS, AND SPECIFICATIONS MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTS AND NOT TO BE USED FOR CONSTRUCTION. ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 A&G RESIDENTIAL

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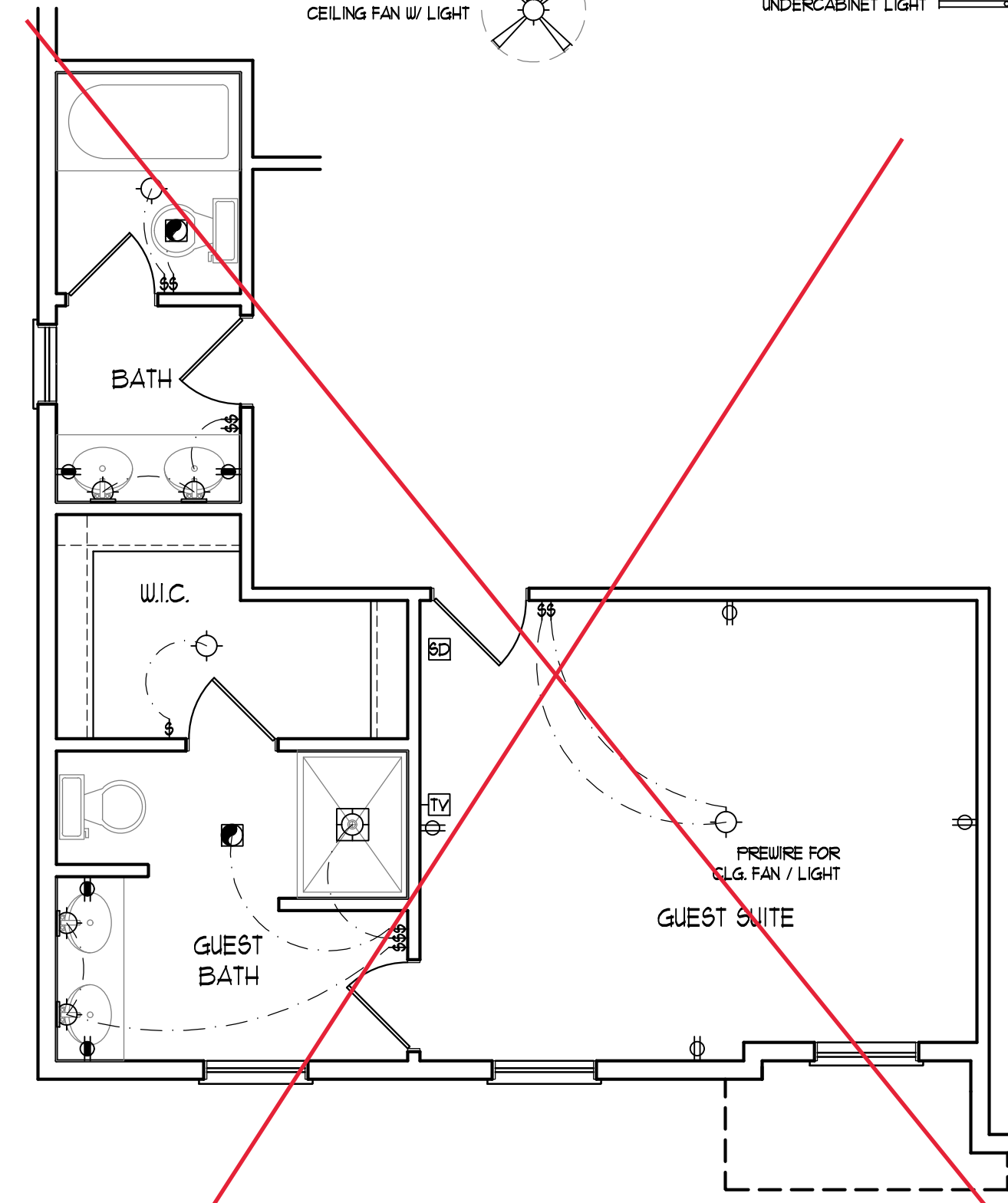
FIRST FLOOR
ELECTRICAL
PLAN
E-1

ELECTRICAL LAYOUT NOTES:

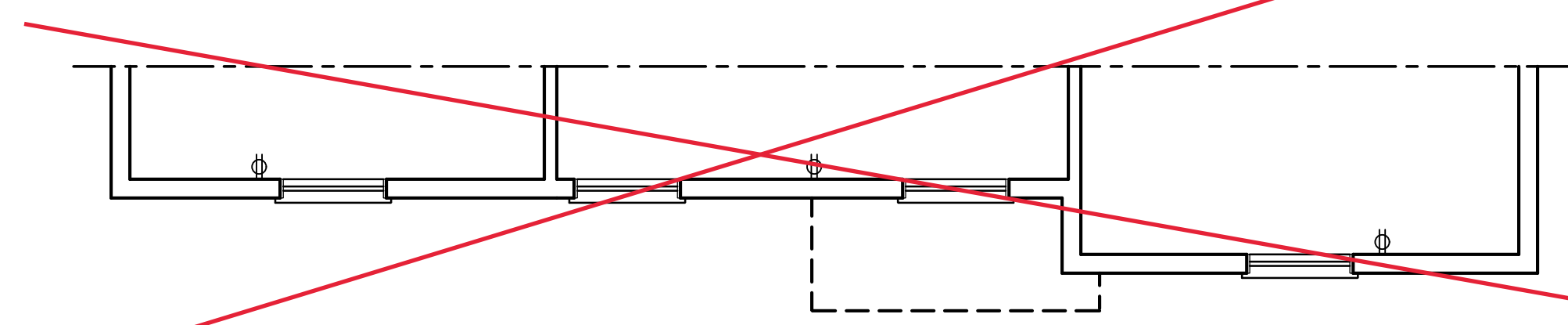
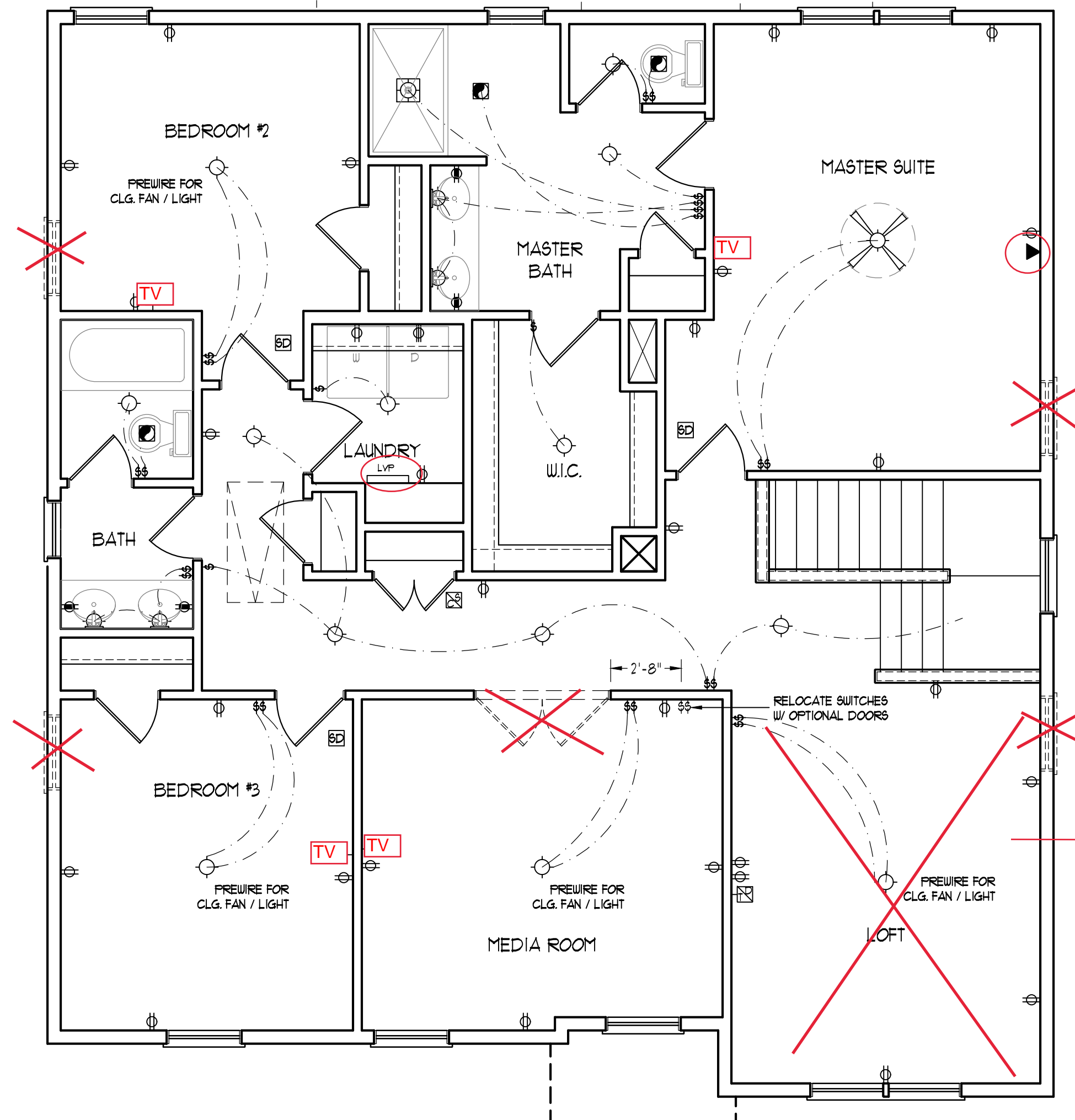
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2) VANITY LIGHTS TO BE SET @ 30" AFF. (TYP.)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
- 4) PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.

ELECTRICAL LEGEND

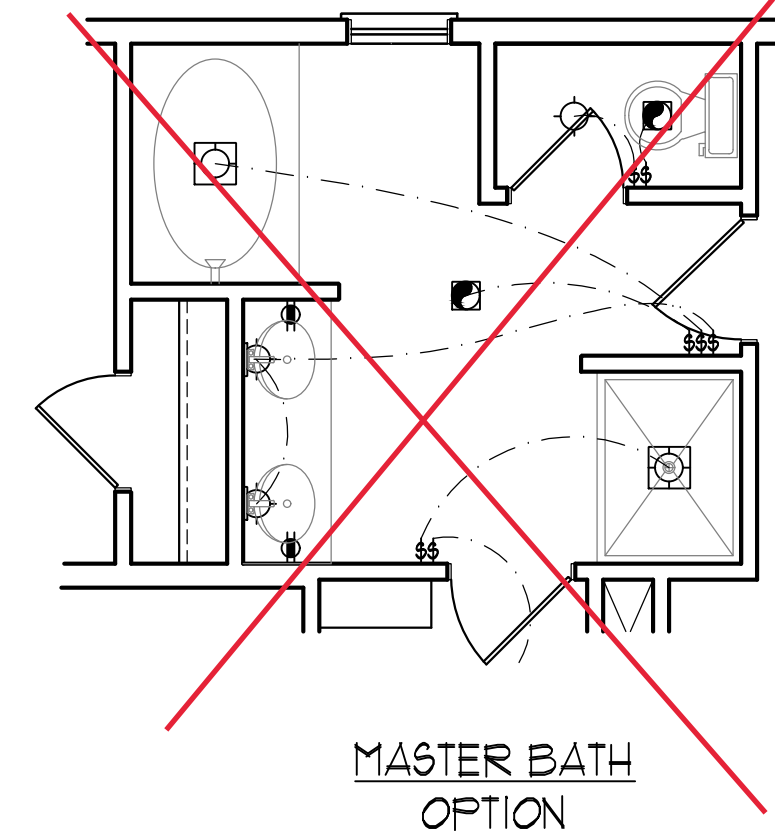
- | | |
|------------------------------|-----------------------------------|
| FLOOD LIGHT | 110 V OUTLET |
| SWITCH | 110 V GFI OUTLET |
| DIMMER SWITCH | 110 V SWITCHED OUTLET |
| TELEPHONE | 110 V BASEBOARD OUTLET |
| DATA | 4-FLEX |
| TELEPHONE AND DATA | COUNTER OR FLOOR MOUNTED |
| TV CONNECTION | COUNTER OR FLOOR MOUNTED 110V GFI |
| TV/ DATA | WEATHERPROOF |
| CONDUIT FOR COMPONENT WIRING | 220 V OUTLET |
| SPEAKER | 110 V DEDICATED CIRCUIT |
| 110 V SMOKE/ CO DETECTOR | 220 V DEDICATED CIRCUIT |
| 110 V SMOKE DETECTOR | SPECIAL PURPOSE (240 V, ETC.) |
| EXHAUST FAN | WALL MOUNT LIGHT |
| LOW VOLTAGE PANEL | CEILING MOUNT LIGHT |
| ALARM PANEL | PENDANT LIGHT |
| CEILING FAN | RECESSED CAN LIGHT |
| CEILING FAN W/ LIGHT | MINI CAN LIGHT |
| | EYEBALL LIGHT |
| | FLUORESCENT LIGHT |
| | UNDERCABINET LIGHT |



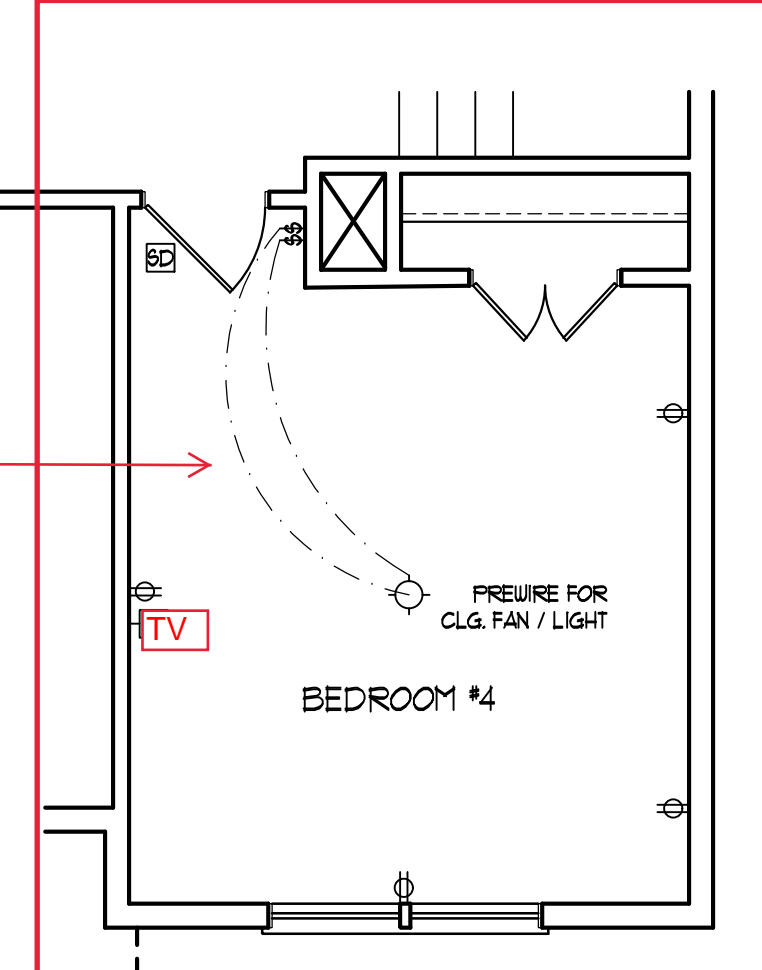
OPTIONAL GUEST SUITE
(IN LIEU OF MEDIA ROOM
AND BEDROOM #3)



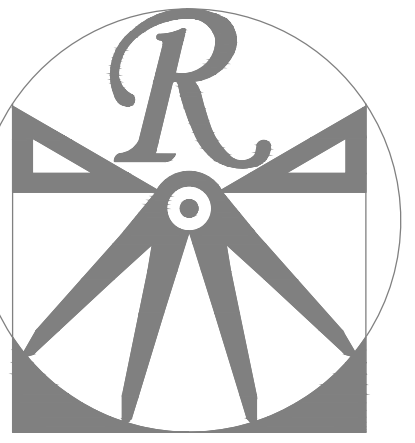
WINDOW CONFIGURATION
ELEVATION C ONLY



MASTER BATH
OPTION



OPTIONAL BEDROOM #4
(IN LIEU OF LOFT)



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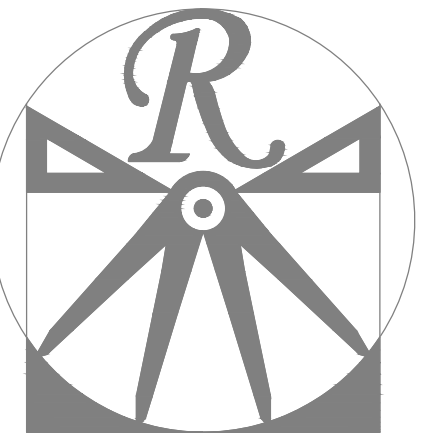


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ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR
ELECTRICAL
PLAN



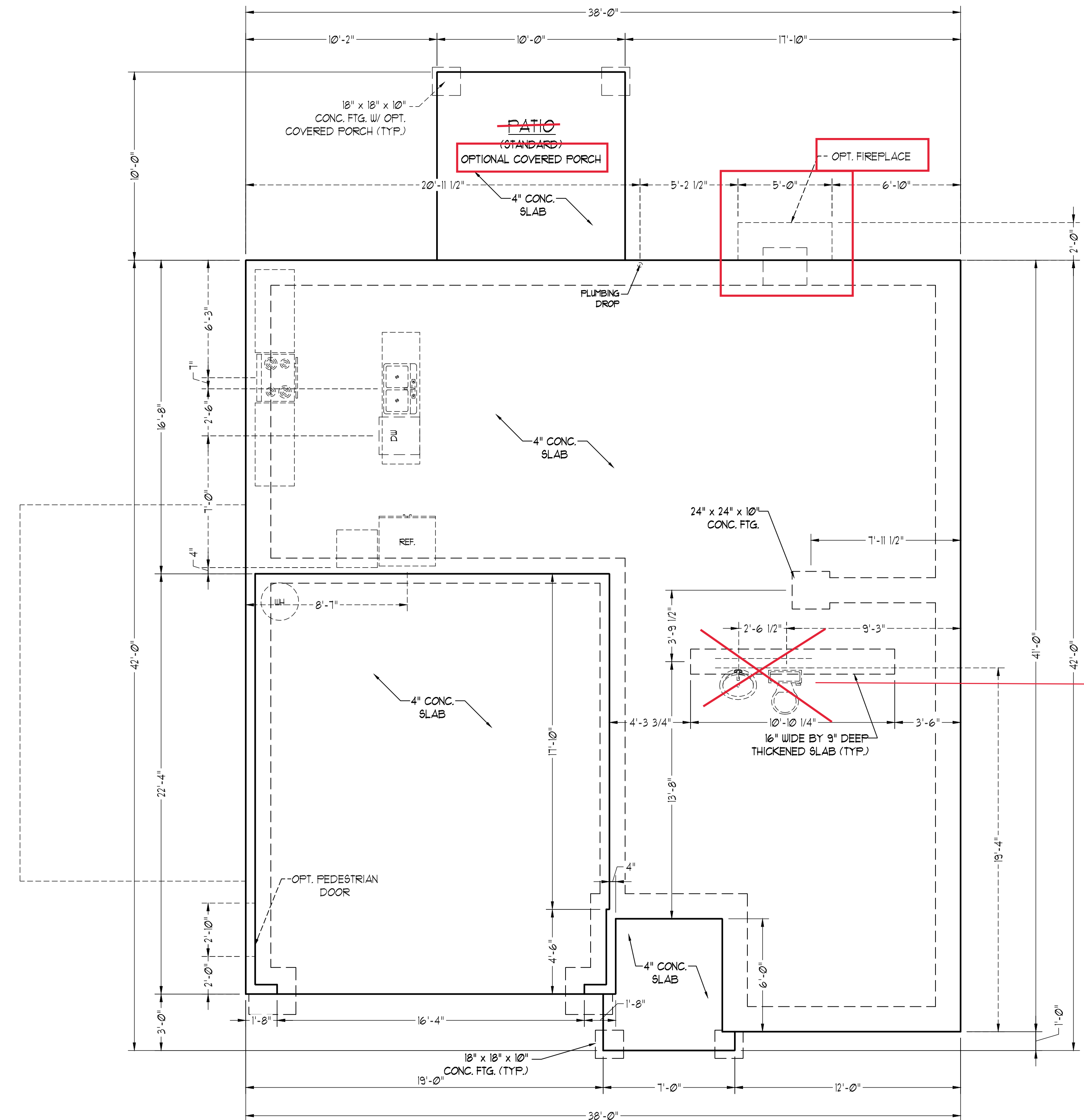
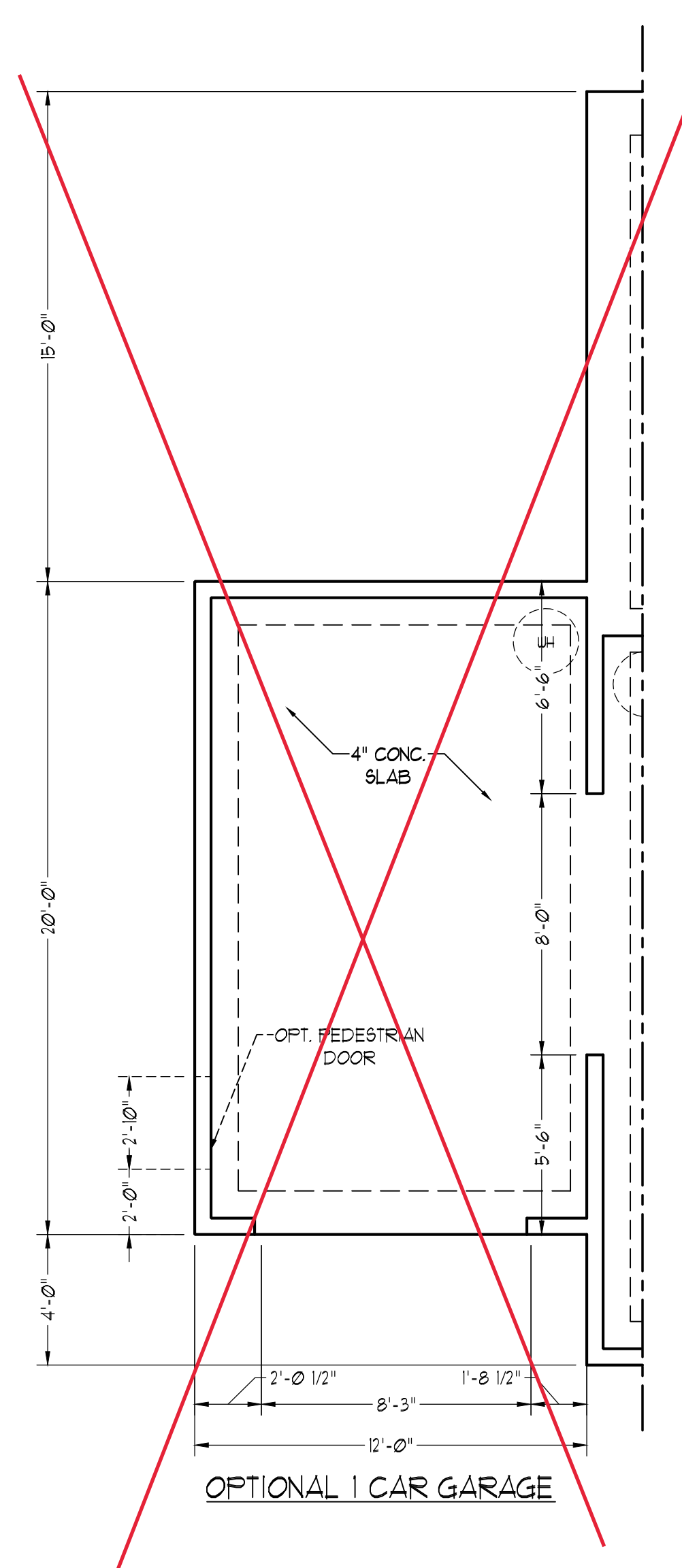
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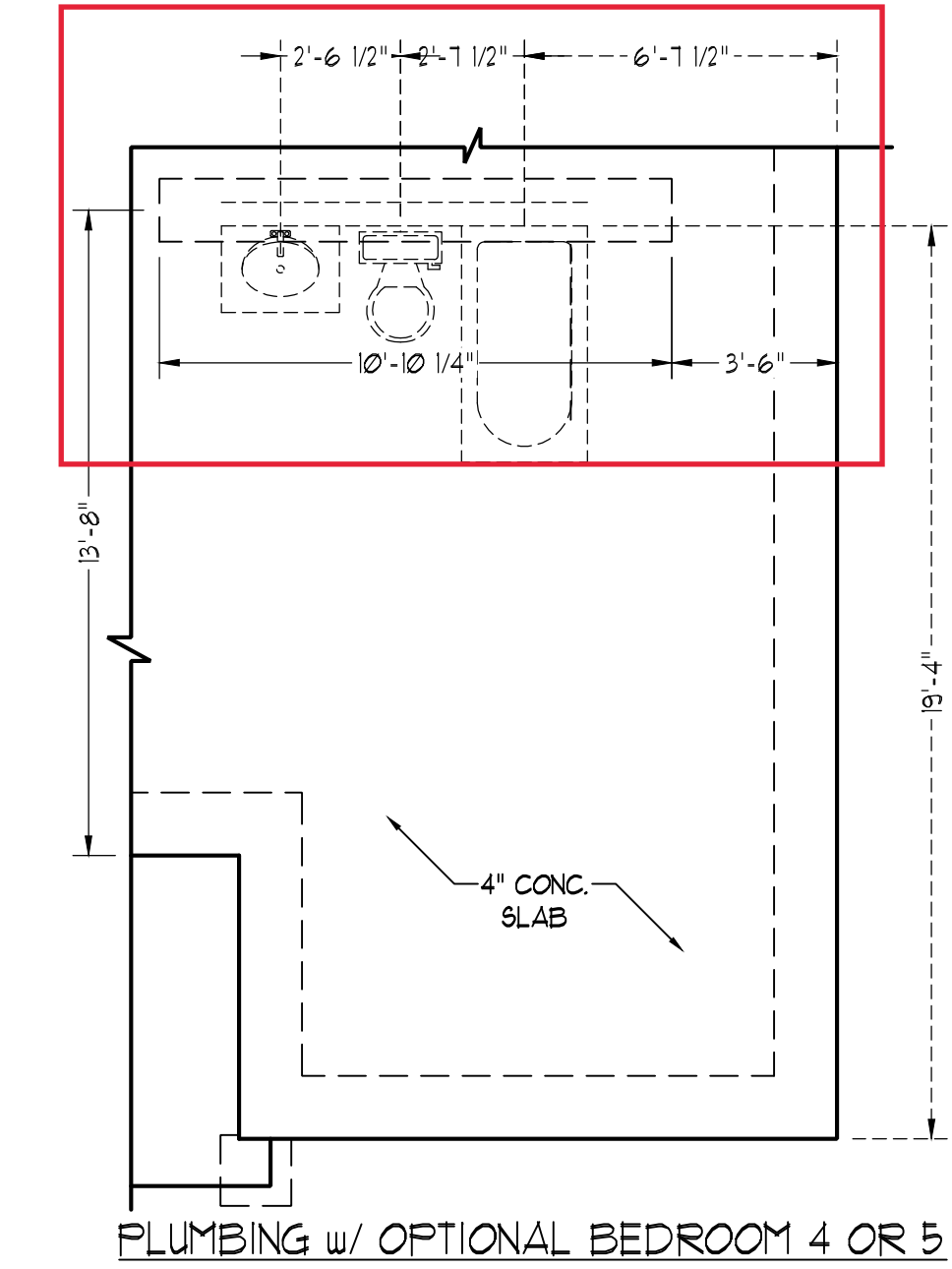
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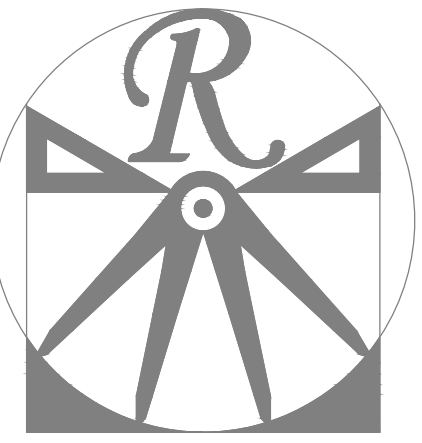
Full Bath Option



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SCALE: 1/4"=1'-0"
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REVIEWED BY:

MONO SLAB
FOUNDATION
PLAN



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GREENVILLE
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REV.: 9-22-20

SCALE: 1/4"=1'-0"

DRAWN BY: WG

ENGINEERED BY:

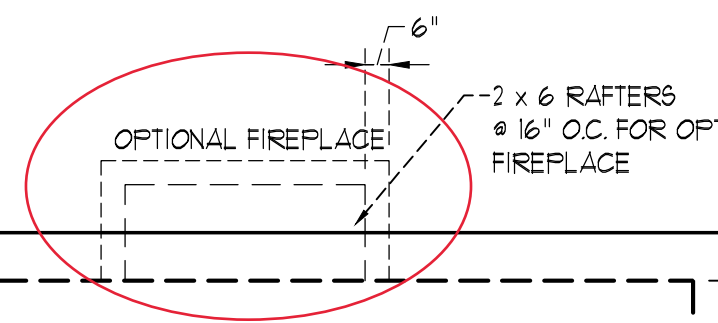
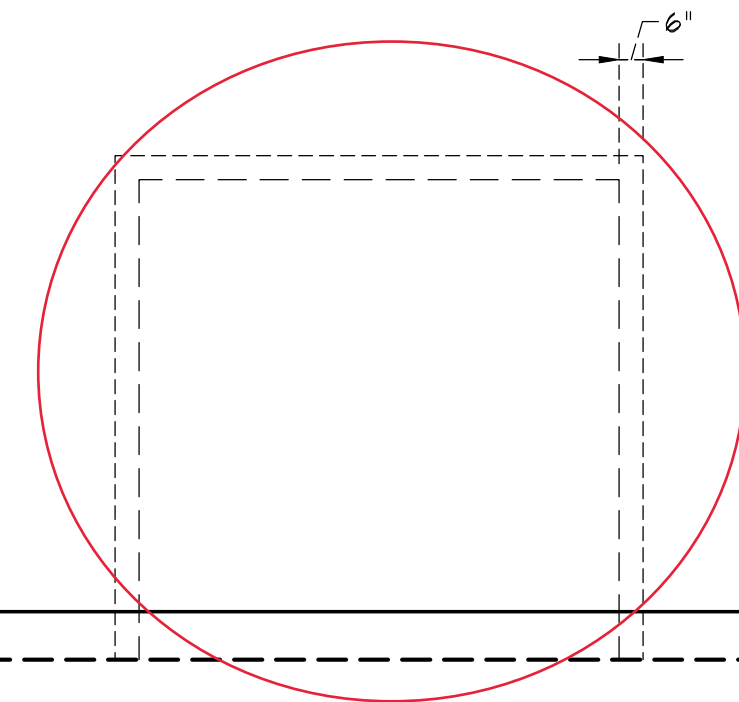
REVIEWED BY:

ROOF PLAN
ELEVATIONS
A & B

S-4

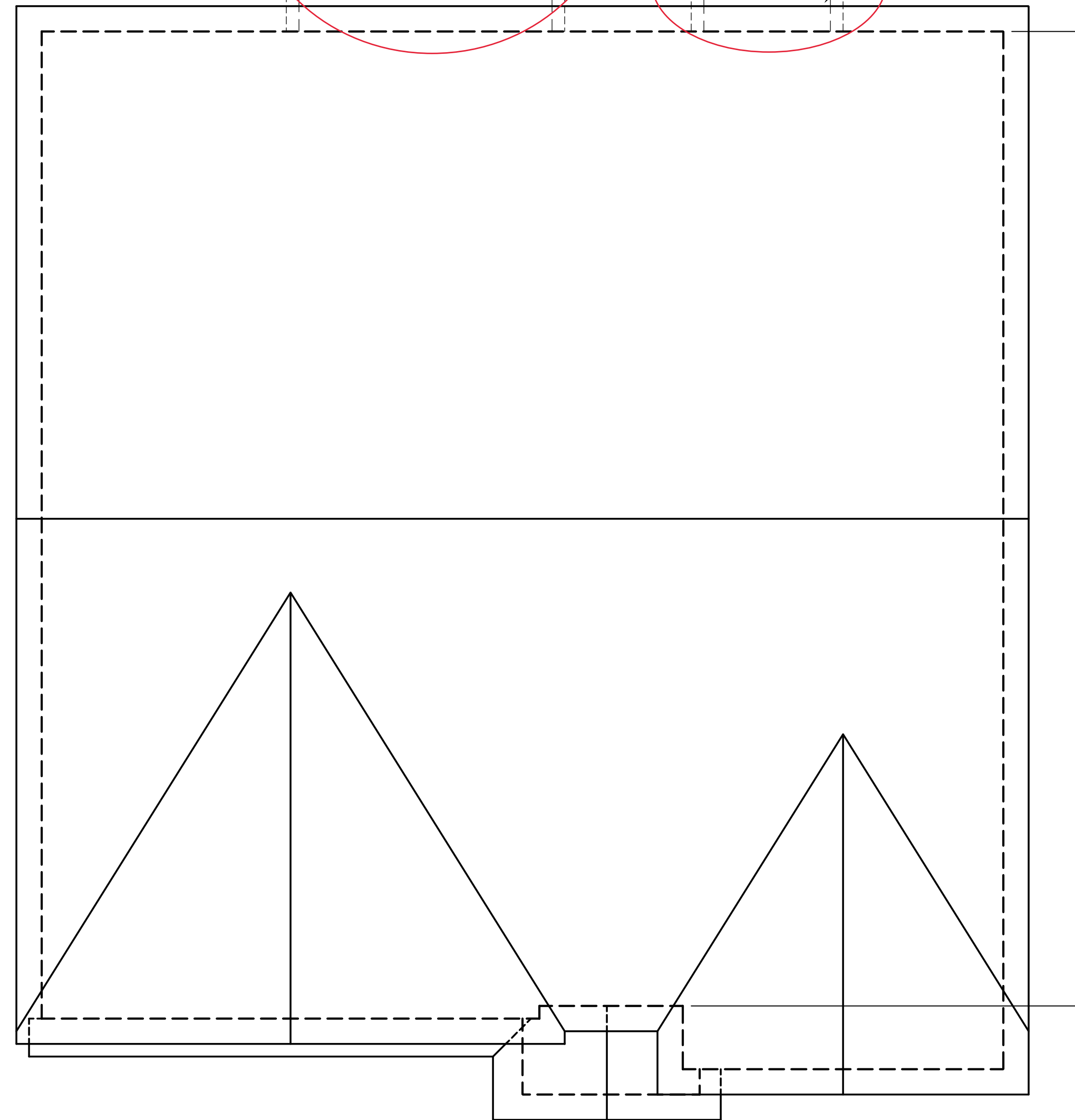
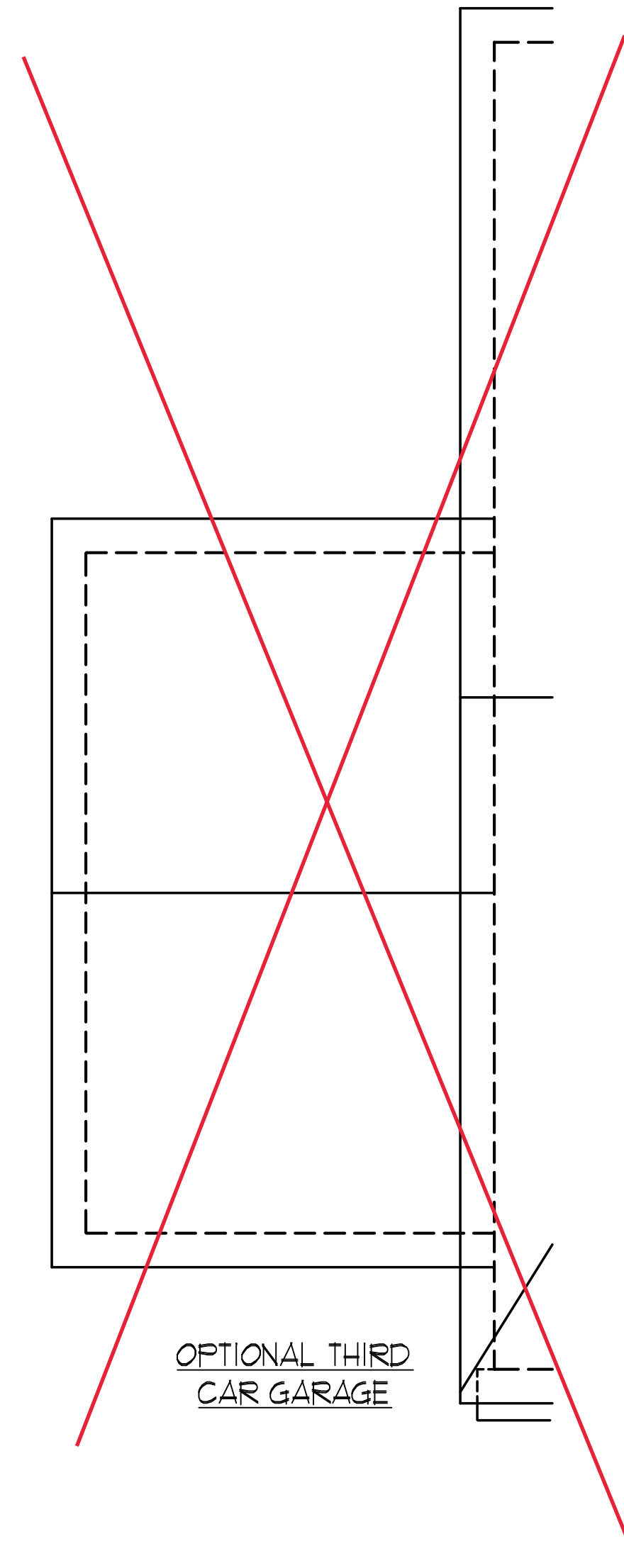
ATTIC VENT CALCULATION:

116 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 0.8 SQ. FT. OF NET FREE VENTILATING AREA (MIN.)



ATTIC VENT CALCULATION:

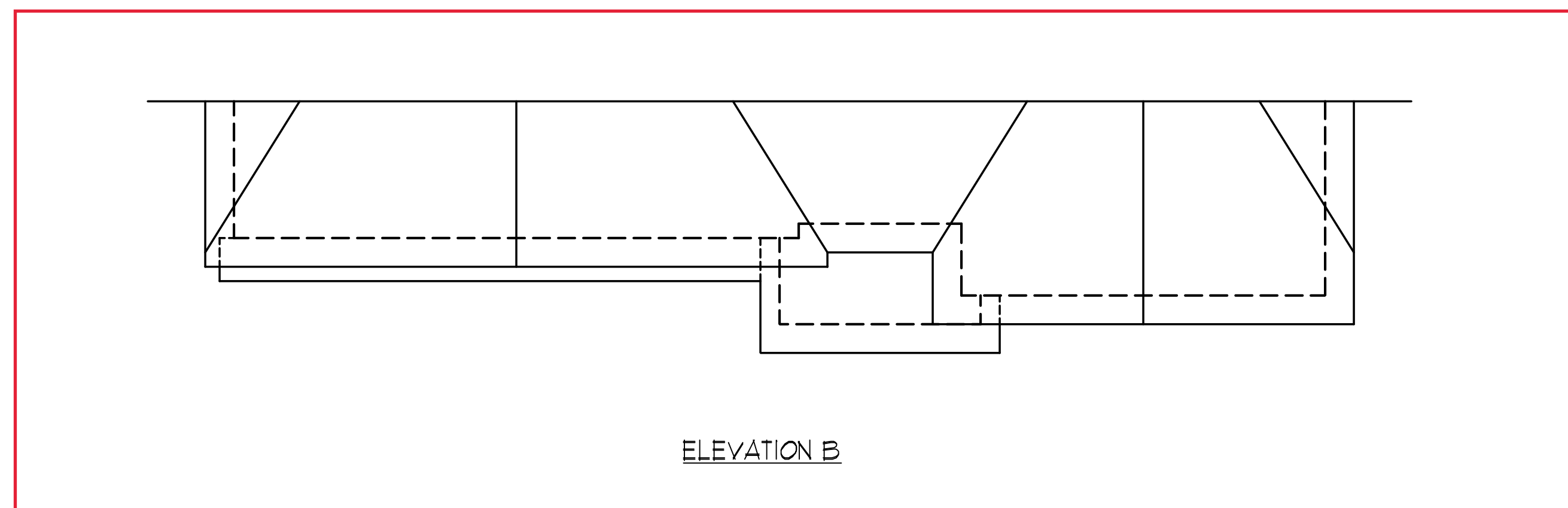
234 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 2.0 SQ. FT. OF NET FREE VENTILATING AREA (MIN.)



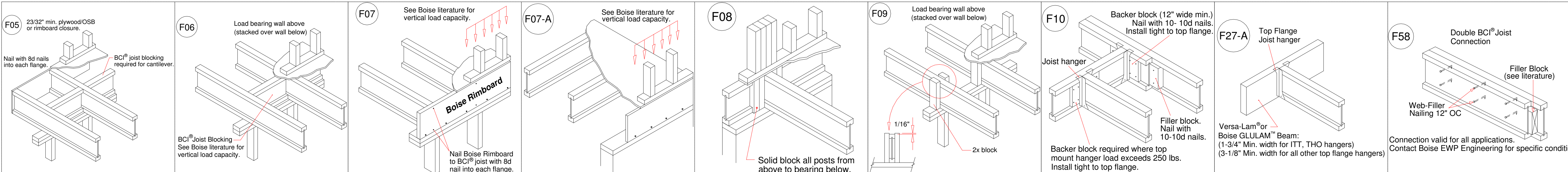
~~ELEVATION A~~

ATTIC VENT CALCULATION:

1105 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 11.4 SQ. FT. OF NET FREE VENTILATING AREA (MIN.)



ELEVATION B



Builders FirstSource

Boise Cascade
www.bldr.com

1135 ROBESON STREET
FAYETTEVILLE, NC 28305
V (910) 485-1111

7601 BOEING DRIVE
GREENSBORO, NC 27409
V (336) 884-5454

3189 NC HIGHWAY 5
ABERDEEN NC 28315
V (910) 944-2516

This layout and associated materials list has been prepared based on project plans and/or information provided to Builders FirstSource (BFS). It remains the responsibility of the builder, architect, designer, or other responsible persons to review this information to assure that it is appropriate, accurate, complete and complies with applicable building codes.



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FJ-1	40' 0"	16" BCI® 4500s-1.8	1	15	MFD
FJ-2	24' 0"	16" BCI® 4500s-1.8	1	4	MFD
FJ-3	22' 0"	16" BCI® 4500s-1.8	1	4	MFD
FJ-4	20' 0"	16" BCI® 4500s-1.8	1	2	MFD
FJ-5-2	20' 0"	16" BCI® 4500s-1.8	2	4	MFD
FJ-6	18' 0"	16" BCI® 4500s-1.8	1	10	MFD
FJ-7-2	18' 0"	16" BCI® 4500s-1.8	2	2	MFD
FJ-8	16' 0"	16" BCI® 4500s-1.8	1	3	MFD
FJ-9-2	8' 0"	16" BCI® 4500s-1.8	2	4	FF
FJ-10	4' 0"	16" BCI® 4500s-1.8	1	2	FF
DB1-3	20' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	3	3	FF
FB1-2	12' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2	FF
Rim1	12' 0"	1" x 16" BC RIM BOARD OSB	1	14	FF
Bk1	6' 0"	14" BCI® 4500s-1.8	1	1	FF

Hangers			
PlotID	Qty	Manuf	Product
H1	2	Simpson	HU14
H2	17	Simpson	IUS1.81/16
H3	2	Simpson	IUS3.56/16

Wall Framing					
PlotID	Length	Product	Plies	Net Qty	Fab Type
Hdr1	8' 0"	3-1/2" x 9-1/4" VERSA-LAM® 1.7 2650 SP	1	2	MFD

GENERAL NOTES:

- 1.) READ THE INSTALLATION GUIDE BEFORE FRAMING.
- 2.) ALL WALLS SHOWN ARE LOAD BEARING UNLESS NOTED OTHERWISE. WALLS NOT SHOWN ARE CONSIDERED NON-LOAD BEARING.
- 3.) UNLESS STATED OTHERWISE ALL CEILING & ROOF LOADS BRACE DIRECTLY TO LOAD BEARING WALLS SUPPORTED BY FOUNDATION.
- 4.) CONTACT BUILDERS FIRSTSOURCE BEFORE MAKING ANY ALTERATIONS OR ADJUSTMENTS...FAILURE TO DO SO MAY RESULT IN COSTLY REPAIRS.

A&G Residential

KLF054 GREENVILLE

EWP PLACEMENT PLAN

Builders FirstSource, Central Carolina Markets

DRAWN BY: AJ Napier DATE: 11/6/2020

SCALE: NTS JOB NUMBER:

MINIMUM DESIGN DATA

LIVE LOAD 40 PSF
DEAD LOAD 10 PSF

TOTAL LOAD 50 PSF

DOL = 100%

DEFLECTION CRITERIA
L/480 (MINIMUM)

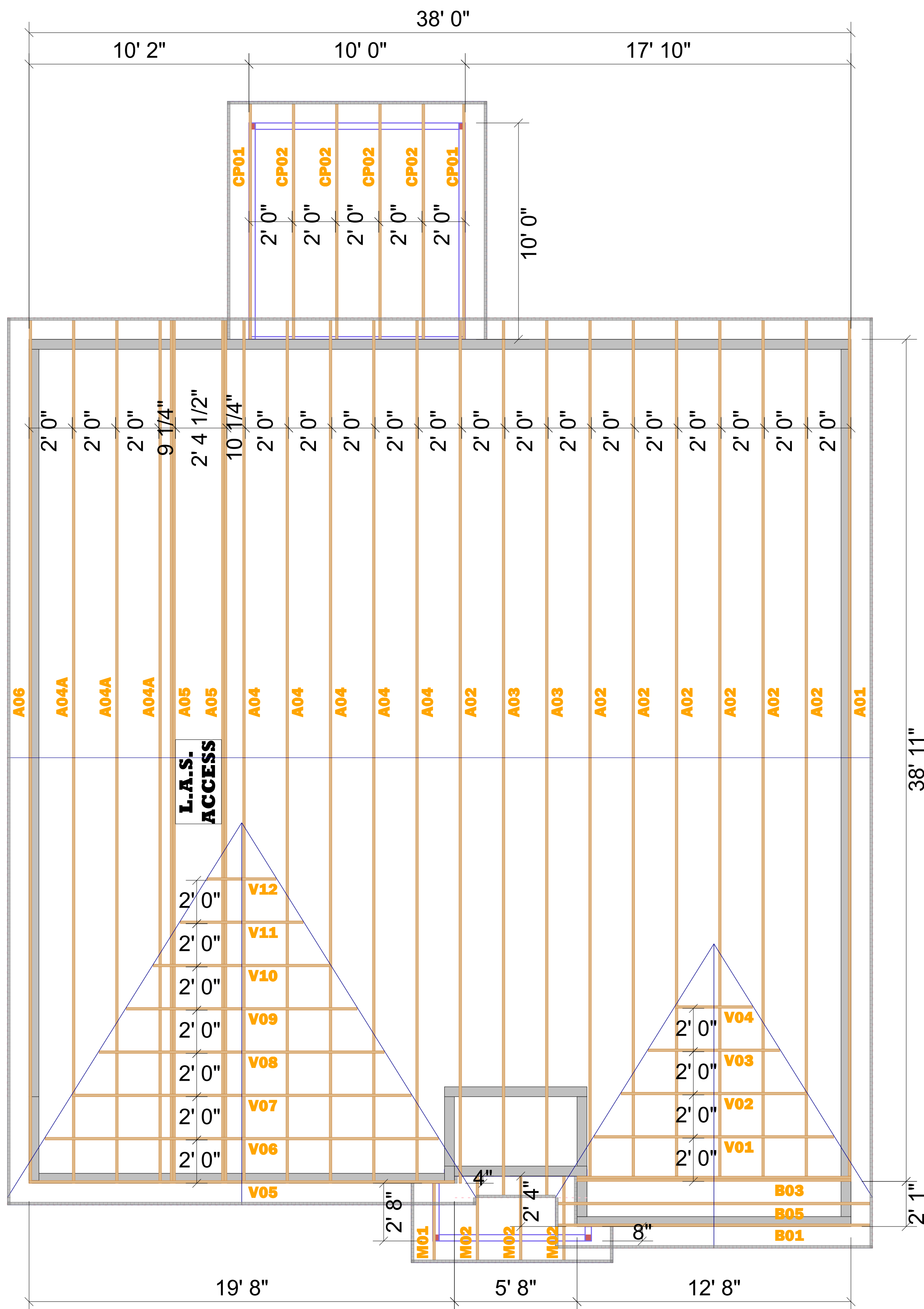
ARCHITECTURAL PLAN DATE
XX-XX-XX

REVISED ARCH. PLAN DATE
XX-XX-XX

Sheet
1 OF 1

ROOF TRUSS LAYOUT

SCALE: N.T.S.



SIMPSON CONNECTOR SCHEDULE					
HANGER TYPE	Qty	FASTENERS		CARRYING MEMBER	CARRIED MEMBER
		CARRYING MEMBER	CARRIED MEMBER		
HTU-26	6	20-16d	20-10d x 1½	B03	A02

THE SUGGESTED TRUSS HANGERS, CONNECTIONS AND TIE-DOWNS FOR GRAVITY, UPLIFT AND LATERAL LOADS, MUST BE REVIEWED BY THE BUILDING DESIGNER OR ENGINEER OF RECORD, PER ANSITPI 1-2002. ALL "TRUSS TO WALL" AND "TRUSS TO BEAM" CONNECTIONS ARE THE RESPONSIBILITY OF THE BUILDING DESIGNER. ALL "TRUSS TO TRUSS" CONNECTIONS ARE THE RESPONSIBILITY OF THE TRUSS DESIGNER/ MANUFACTURER.

○	H2.5A	-
☆	H10A	-
△	HTS20	-
◇	H14	-
□	TBE4	-
	LGT2	-
	LGT3	-

ROOF TRUSS

NOTES:

DO NOT CUT, DRILL, NOTCH, OR OTHERWISE DAMAGE TRUSSES. Contact your BFS Representative for assistance PRIOR TO modifying any truss. **Espanol - (NO CORTE, PERFORE, HAGA MUESCAS O DANE DE CUALQUIER OTRA MANERA LAS TRUSSES (CERCHAS DE MADERA). Contacte a su representante de BFS para asistencia ANTES de realizar cualquier modificación.)**

- This Truss Placement Diagram is intended to serve as a guide for truss installation. This Diagram has been prepared by a Truss Technician and is not an engineered drawing.
- The responsibilities of the Owner, Building Designer, Contractor, Truss Designer, and Truss Manufacturer shall be as defined by the TPI 1 National Standard.
- The wood components shown on this diagram are to be used in dry service (moisture content < 19%) and non-toxic environmental applications. The metal plates and hangers are galvanized to the G60 Standard unless noted otherwise.
- Refer to the Truss Design Drawings for specific information about each individual truss design.
- The Truss Technician shall provide Truss-to-Truss Connection Requirements. Any special or other connection shall be the responsibility of the Building Designer.
- The Truss Placement Diagram and Truss Design Drawings are the property of Builders FirstSource and may not be reused or reproduced in part or in total under any circumstances without prior written authorization.
- In some cases, field framing may be required to achieve the final appearance shown on the Construction Documents.
- Field framing, including valley rafters, installed over roof trusses shall have a knee brace from the rafter to the truss top chord at intervals of 48" on center (O.C.) or less. Stagger knee braces from adjacent rafters such that the load is distributed uniformly over multiple truss locations and not concentrated at one location or along one truss.
- Truss Top Chords shall be fully sheathed or have lateral bracing (purlins) spaced at 24" O.C. or less. Truss Bottom Chord Bracing shall not exceed the maximum shown on the Truss Design Drawing. Field framed bottom chord floor or ceiling attachments shall be spaced at 24" O.C. or less. Proper Bracing prevents buckling of individual truss members due to design loads.
- This Placement Diagram is based upon the supporting structure being structurally adequate, dimensionally correct, square, plumb, and level to adequately support the trusses. The foundation design, structural member sizing, load transfer, bearing conditions, and the structure's compliance with the applicable building code are the responsibility of the Owner, Building Designer, and Contractor.
- If Piggyback Trusses are included in this project, refer to the Mitek Piggyback Connection Detail applicable for the project details and wind load category.
- The Contractor shall follow the SBCE TTB Partition Separation Prevention and Solutions for truss attachment to non-load bearing walls and carefully complete these details to avoid gypsum wall board related issues.

WARNING:

TRUSSES MUST BE BRACED DURING INSTALLATION. FAILURE TO DO SO MAY RESULT IN INJURY OR DEATH. **Espanol - (TRUSSES (CERCHAS) DEBERAN TENER UN SOPORTE DURANTE LA INSTALACION. NO HACERLO PODRIA RESULTAR EN LESIONES O MUERTE.)**

- Trusses shall be installed in a safe manner meeting all code, local, OSHA, TPI, and BCSI Specifications. Failure to follow these specifications may result in injury or death.
- Buildings under construction are vulnerable to high winds and present a possible safety hazard. The Contractor is responsible for recognizing adverse weather conditions and shall take appropriate action to prevent injury or death.
- BCSI INSTRUCTIONS SHALL BE FOLLOWED:**
BCSI-B1 = Safe Truss Handling and Installation
BCSI-B2 = Installation and Temporary Restraint
BCSI-B3 = Permanent Restraint
BCSI-B4 = Safe Construction Loading
BCSI-B5 = Truss Damage and Modification Guidelines
BCSI-B7 = Floor Truss Installation
BCSI-B8 = Toe-Nailed Connections
BCSI-B9 = Multi-Ply Girders
BCSI-B10 = Post Frame Truss Installation
BCSI-B11 = Fall Protection
- Follow TPI Requirements for Long Span Trusses (>60').

REVISIONS

1	
2	
3	
4	

Greenville "B" BASE+COP
Lot 54 - Kenlan Farms
Lillington, NC
A&G Residential

Sumter Truss Plant
P.O. Box 1546
Sumter, S.C. 29151
Phone: 803-778-1921
Fax: 803-773-4731

Builders
FirstSource



DRAWN BY
MGM

DATE
10/26/2020

JOB NUMBER
2519559

SHEET NUMBER
1 OF 1

Triple 1-3/4" x 16" VERSA-LAM® 2.0 3100 SP
2nd Floor\Dropped Beams\DB1-3(i3172) (Dropped Beam)

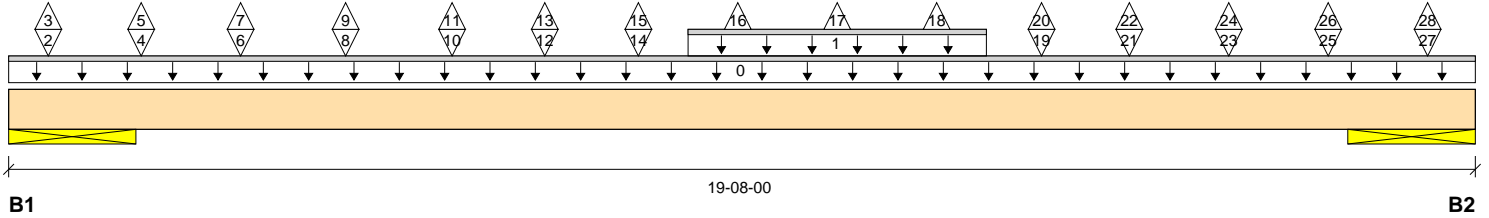
PASSED

BC CALC® Member Report
 Build 7493
 Job name:
 Address:
 City, State, Zip:
 Customer:
 Code reports: ESR-1040

Dry | 1 span | No cant.

January 6, 2021 15:52:09

File name: Greenville KLF054.mmdl
 Description: 2nd Floor\Dropped Beams\DB1-3(i3172)
 Specifier:
 Designer:
 Company:



Total Horizontal Product Length = 19-08-00

Reaction Summary (Down / Uplift) (lbs)

Bearing	Live	Dead	Snow	Wind	Roof Live
B1, 20-1/2"	4003 / 247	5932 / 0	3785 / 0		
B2, 20-1/2"	3809 / 237	6182 / 0	3937 / 0		

Load Summary

Tag	Description	Load Type	Ref.	Start	End	Loc.	100%	90%	115%	160%	Roof Live 125%	Tributary
0	Self-Weight	Unf. Lin. (lb/ft)	L	00-00-00	19-08-00	Top		24				00-00-00
1	Smoothed Load	Unf. Lin. (lb/ft)	L	09-01-05	13-01-05	Top	393	623	427			n/a
2	FJ-1(i3168)	Conc. Pt. (lbs)	L	00-06-06	00-06-06	Top	493	494	297			n/a
3	FJ-1(i3168)	Conc. Pt. (lbs)	L	00-06-06	00-06-06	Top	-32					n/a
4	FJ-1(i3144)	Conc. Pt. (lbs)	L	01-09-05	01-09-05	Top	507	807	551			n/a
5	FJ-1(i3144)	Conc. Pt. (lbs)	L	01-09-05	01-09-05	Top	-32					n/a
6	FJ-1(i3122)	Conc. Pt. (lbs)	L	03-01-05	03-01-05	Top	524	835	570			n/a
7	FJ-1(i3122)	Conc. Pt. (lbs)	L	03-01-05	03-01-05	Top	-33					n/a
8	-	Conc. Pt. (lbs)	L	04-06-04	04-06-04	Top	625	901	600			n/a
9	-	Conc. Pt. (lbs)	L	04-06-04	04-06-04	Top	-37					n/a
10	-	Conc. Pt. (lbs)	L	05-11-06	05-11-06	Top	568	449	284			n/a
11	-	Conc. Pt. (lbs)	L	05-11-06	05-11-06	Top	-33					n/a
12	-	Conc. Pt. (lbs)	L	07-02-04	07-02-04	Top	535	839	569			n/a
13	-	Conc. Pt. (lbs)	L	07-02-04	07-02-04	Top	-30					n/a
14	FJ-1(i3176)	Conc. Pt. (lbs)	L	08-05-05	08-05-05	Top	495	781	538			n/a
15	FJ-1(i3176)	Conc. Pt. (lbs)	L	08-05-05	08-05-05	Top	-33					n/a
16	FJ-1(i3135)	Conc. Pt. (lbs)	L	09-09-05	09-09-05	Top	-33					n/a
17	FJ-1(i3139)	Conc. Pt. (lbs)	L	11-01-05	11-01-05	Top	-33					n/a
18	FJ-1(i3126)	Conc. Pt. (lbs)	L	12-05-05	12-05-05	Top	-33					n/a
19	-	Conc. Pt. (lbs)	L	13-10-03	13-10-03	Top	573	927	581			n/a
20	-	Conc. Pt. (lbs)	L	13-10-03	13-10-03	Top	-32					n/a
21	FJ-1(i3124)	Conc. Pt. (lbs)	L	15-00-05	15-00-05	Top	479	768	521			n/a
22	FJ-1(i3124)	Conc. Pt. (lbs)	L	15-00-05	15-00-05	Top	-32					n/a
23	FJ-1(i3123)	Conc. Pt. (lbs)	L	16-04-05	16-04-05	Top	524	839	570			n/a
24	FJ-1(i3123)	Conc. Pt. (lbs)	L	16-04-05	16-04-05	Top	-33					n/a
25	FJ-1(i3177)	Conc. Pt. (lbs)	L	17-08-05	17-08-05	Top	524	839	570			n/a
26	FJ-1(i3177)	Conc. Pt. (lbs)	L	17-08-05	17-08-05	Top	-33					n/a
27	FJ-1(i3153)	Conc. Pt. (lbs)	L	19-00-05	19-00-05	Top	387	553	356			n/a
28	FJ-1(i3153)	Conc. Pt. (lbs)	L	19-00-05	19-00-05	Top	-25					n/a

Controls Summary

Value	% Allowable	Duration	Case	Location
Pos. Moment	41438 ft-lbs	65.6%	115%	8 09-09-05
End Shear	9072 lbs	49.4%	115%	8 16-07-08
Total Load Deflection	L/355 (0.554")	67.6%	n/a	8 09-09-06
Live Load Deflection	L/723 (0.272")	49.8%	n/a	25 09-09-06
Max Defl.	0.554"	36.9%	n/a	8 09-09-06

Triple 1-3/4" x 16" VERSA-LAM® 2.0 3100 SP
2nd Floor\Dropped Beams\DB1-3(i3172) (Dropped Beam)

PASSED

BC CALC® Member Report
 Build 7493
 Job name:
 Address:
 City, State, Zip:
 Customer:
 Code reports: ESR-1040

Dry | 1 span | No cant.

January 6, 2021 15:52:09

File name: Greenville KLF054.mmdl
 Description: 2nd Floor\Dropped Beams\DB1-3(i3172)
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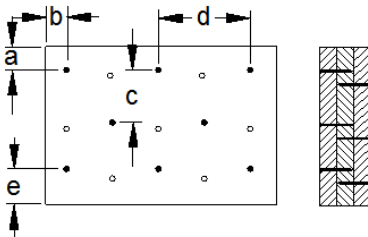
Controls Summary	Value	% Allowable	Duration	Case	Location
Span / Depth	12.3				
Conc. Load (B1)	1087 lbs	7.9%	100%		
Conc. Load (B2)	1110 lbs	8.1%	100%		

Bearing Supports	Dim. (LxW)	Value	% Allow Support	% Allow Member	Material
B1	Wall/Plate 20-1/2" x 5-1/4"	11772 lbs	15.1%	14.6%	Unspecified
B2	Wall/Plate 20-1/2" x 5-1/4"	11991 lbs	15.3%	14.8%	Unspecified

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1.5") Maximum Total load deflection criteria.
 Design meets arbitrary (1") Maximum live load deflection criteria.
 Calculations assume unbraced length of Top: 01-02-08, Bottom: 01-02-08.
 BC CALC® analysis is based on IBC 2015.
 Unbalanced snow loads determined from building geometry were used in selected product's verification.
 Design based on Dry Service Condition.

Connection Diagram: Full Length of Member



a minimum = 2" c = 6"
 b minimum = 3" d = 24"
 e minimum = 3"

Nailing applies to both sides of the member
 Connectors are: 3-1/4 in. Pneumatic Gun Nails

Disclosure

Use of the Boise Cascade Software is subject to the terms of the End User License Agreement (EULA). Completeness and accuracy of input must be reviewed and verified by a qualified engineer or other appropriate expert to assure its adequacy, prior to anyone relying on such output as evidence of suitability for a particular application. The output here is based on building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJST™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, BC FloorValue®, VERSA-LAM®, VERSA-RIM PLUS®,

North Carolina 2018 - R402.1.5 Total UA



Property
, NC 27546
Model: Greenville

Organization
Southern Energy Manager
Justin Smith

Inspection Status
Results are projected

Template - A & G - Greenville plan
slab CZ 4 - ecoSelect
Greenville plan slab

Builder
A & G

This report is based on a proposed design and does not confirm field enforcement of design elements.

Building UA

Elements	NC Reference	As Designed
Ceilings	45.2	40.5
Above-Grade Walls	181.0	140.7
Windows, Doors and Skylights	120.4	114.7
Slab Floor:	74.7	96.7
Framed Floors	21.1	20.6
Foundation Walls	0.0	0.0
Rim Joists	8.8	7.1
Overall UA (Design must be equal or lower):	451.2	420.3

Requirements

✓	402.1.5	Total UA alternative compliance passes by 6.8%.
✓	402.3.2 Glazed Fenestration SHGC	Average SHGC: 0.27 Max SHGC: 0.30
✓	R402.4.2.2	Air Leakage Testing Air sealing is 4.80 ACH at 50 Pa. It must not exceed 5.00 ACH at 50 Pa.
✓	R402.5	Area-weighted average fenestration SHGC
✓	R402.5	Area-weighted average fenestration U-Factor
✓	R404.1	Lighting Equipment Efficiency
✓	Mandatory Checklist	Mandatory code requirements that are not checked by Ekotrope must be met.
✓	R403.3	Duct Insulation
✓	403.3.3	Duct Testing

Design exceeds requirements for North Carolina 2018 Prescriptive compliance by 6.8%.

Name: Justin Smith
Organization: Southern Energy Management

Signature: Justin Smith
Digitally signed: 6/1/20 at 11:08 AM

Ekotrope RATER - Version 3.2.3.2449

North Carolina 2018 Prescriptive compliance results calculated using Ekotrope RATER's energy and code compliance algorithm, including appropriate amendments. Ekotrope RATER is a RESNET Accredited HERS Rating Tool. All results are based on data entered by Ekotrope users. Ekotrope disclaims all liability for the information shown on this report.

Building Summary



SOUTHERN ENERGY
MANAGEMENT
ENERGY EFFICIENCY & SOLAR POWER

Property
. NC 27546
Model: Greenville

Organization
Southern Energy Management
Justin Smith

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Template - A & G - Greenville plan slab CZ 4 -
ecoSelect
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Builder
A & G

General Building Information

Number Of Bedrooms	4
Number Of Floors	2
Conditioned Floor Area [sq. ft.]	2,565
Has Electric Vehicle Ready Space	No
Unconditioned, attached garage?	Yes
Conditioned Volume [cu. ft.]	22,636
Total Units in Building	1
Residence Type	Single family detached
Floor Number	-
Model	Greenville
Community	
Climate Zone	4A

Foundation Wall

None Present

Foundation Wall Library List

None Present

Slab

Name	Library Type	Perimeter	Floor Grade	Carpet R	Exposed Masonry Area	Surface Area	Location	Enclosing
slab	Uninsulated	158	On Grade	1	0	1,058.0 ft²	Exposed Exterior	Conditioned Space

Slab Library List

Name	Wall Construction Type	Slab Completely Insulated?	Underslab Insulation Width [ft]	Perimeter Insulation Depth [ft]	Perimeter Insulation R Value	Thermal Break	Effective R-value
Uninsulated	Wood Frame / Other	No	0	0	0	No	0.00

Building Summary



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 Justin Smith

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 ecoSelect
 Greenville plan slab

Builder
 A & G

Framed Floor

Name	Library Type	Carpet R	Floor Grade	Surface Area	Location
over ambient	R-19, 16"OC G1 Carpet	0	Above Grade	20.0 ft ²	Exposed Exterior
over garage	R-19, 16"OC G1 Carpet	0	Above Grade	429.0 ft ²	Unconditioned, attached garage

Framed Floor Library List

Name	Effective R-value
R-19, 16"OC G1 Carpet	21.798

Rim Joist

Name	Library Type	Surface Area	Location
1st floor ambient	R 19 G1, 16"OC	121.0 ft ²	Exposed Exterior
1st floor garage	R 19 G1, 16"OC	37.0 ft ²	Unconditioned, attached garage

Rim Joist Library List

Name	Effective Insulation R-value
R 19 G1, 16"OC	17.30

Wall

Name	Library Type	Surface Color	Surface Area	Location
1st floor ambient	R 19 Adv. Framing G2 16" O.C	Medium	1,087.0 ft ²	Exposed Exterior
1st floor garage	R 19 Adv. Framing G2 16" O.C	Medium	335.0 ft ²	Unconditioned, attached garage
2nd floor ambient	R 19 Adv. Framing G2 16" O.C	Medium	1,272.0 ft ²	Exposed Exterior

Building Summary



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Template - A & G - Greenville plan slab CZ 4 -
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 Greenville plan slab

Builder
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Wall Library List

Name	Effective R-value
R 19 Adv. Framing G2 16" O.C	16.703

Glazing

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
front 2nd unshaded	35/27	2nd floor ambient		0	0	0	West	68.9 ft ²
front unshaded	35/27	1st floor ambient		0	0	0	West	27.5 ft ²
left 2nd unshaded	35/27	2nd floor ambient		0	0	0	North	41.3 ft ²
left unshaded	35/27	1st floor ambient		0	0	0	North	8.0 ft ²
rear 2nd unshaded	35/27	2nd floor ambient		0	0	0	East	45.3 ft ²
rear unshaded	35/27	1st floor ambient		0	0	0	East	81.5 ft ²
right 2nd unshaded	35/27	2nd floor ambient		0	0	0	South	33.5 ft ²

Glazing Library List

Name	Shgc	U-factor
35/27	0.27	0.350

Skylight

None Present

Skylight Library List

None Present

Building Summary



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 , NC 27546
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Template - A & G - Greenville plan slab CZ 4 -
 ecoSelect
 Greenville plan slab

Builder
 A & G

Opaque Door

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Emittance	Solar Absorptance	Surface Color	Surface Area	Location
front door	Fiberglass R-5	1st floor ambient		0.9	0.75	Medium	20.0 ft ²	Exposed Exterior
garage door	Fiberglass R-5	1st floor garage		0.9	0.75	Medium	18.0 ft ²	Exposed Exterior

Opaque Door Library List

Name	Effective U-factor
Fiberglass R-5	0.200

Roof Insulation

Name	Library Type	Attic Exterior Area [s.f.]	Clay or Concrete	Roof Tiles	Surface Color	Surface Area	Location
Attic	R-38 Attic BLOWN FG G1 2x10 24"OC w/ Radiant Barrier	2,215.29		No	Dark	1,507.0 ft ²	Attic

Roof Insulation Library List

Name	Has Radiant Barrier	Effective R-value
R-38 Attic BLOWN FG G1 2x10 24"OC w/ Radiant Barrier	Yes	37.246

Whole House Infiltration

Infiltration	Measurement Type	Shelter Class
1810 CFM at 50 Pa	Blower-door tested	4

Mechanical Ventilation

None Present

Building Summary



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 , NC 27546
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 ecoSelect
 Greenville plan slab

Builder
 A & G

Lighting

% Interior Fluorescent Lighting	% Interior LED Lighting	% Exterior Fluorescent Lighting	% Exterior LED Lighting	% Garage Fluorescent Lighting	% Garage LED Lighting
0	75	0	0	0	0

Onsite Generation

None Present

Onsite Generation Library List

None Present

Solar Generation

None Present

Solar Generation Library List

None Present

Conditioning Equipment

Name	Library Type	Heating Percent Load	Cooling Percent Load	Hot Water Percent Load	Location
Water Heating	Z 50 gal. 0.91EF elec	0%	0%	100%	Unspecified
whole house heat pump	z 36k 14 seer 8.2hspf	100%	100%	0%	Unspecified

Building Summary

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NC 27546
Model: Greenville

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Southern Energy Management
Justin Smith

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Template - A & G - Greenville plan slab CZ 4 -
ecoSelect
Greenville plan slab

Builder
A & G

Equipment Type: Z 50 gal. 0.91EF elec

Fuel Type	Electric
Distribution Type	Hydronic Delivery (Radiant)
Hot Water Efficiency	0.91 Energy Factor
Tank Capacity (gal.)	50
Hot Water Capacity [kBtu/h]	40
Recovery Efficiency	0.98

Equipment Type: z 36k 14 seer 8.2hspf

Fuel Type	Electric
Distribution Type	Forced Air
Motor Type	PSC (Single Speed)
Heating Efficiency	8.2 HSPF
Heating Capacity [kBtu/h]	36
Use default Supplemental Heat	Yes
Cooling Efficiency	14 SEER
Cooling Capacity [kBtu/h]	36

Building Summary



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 , NC 27546
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Organization
 Southern Energy Management
 Justin Smith

Inspection Status
 Results are projected

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 ecoSelect
 Greenville plan slab

Builder
 A & G

Distribution System

Distribution Type	Forced Air
Heating Equipment	whole house heat pump
Cooling Equipment	whole house heat pump
Sq. Feet Served	2565
# Return Grilles	3
Supply Duct R Value	8
Return Duct R Value	8
Supply Duct Area [ft ²]	692.55
Return Duct Area [ft ²]	384.75
Leakage to Outdoors	102 CFM @ 25Pa (3.98 / 100 s.f.)
Total Leakage	102 CFM25
Total Leakage Duct Test Conditions	Post-Construction
Use Default Flow Rate	Yes
Duct 1	
Duct Location	Attic (well vented, radiant barrier)
Percent Supply Area	100
Percent Return Area	100
Duct 2	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 3	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 4	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 5	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 6	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0

Ceiling Fan

Has Ceiling Fan	Yes
Cfm Per Watt	100

Water Distribution

Water Fixture Type	Standard
Use Default Hot Water Pipe Length	No
Hot Water Pipe Length [ft]	72
At Least R3 Pipe Insulation?	No
Hot Water Recirculation System?	No
Recirculation System Pipe Loop Length [ft]	10
Drain Water Heat Recovery?	No

Building Summary



Property
NC 27546
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Template - A & G - Greenville plan slab CZ 4 -
ecoSelect
Greenville plan slab

Builder
A & G

Clothes Dryer

Fuel Type	Electric
Cef	2.617
Field Utilization	Timer Controls
Is Outside Conditioned Space	No

Clothes Washer

Label Energy Rating	151 kWh/Year
Electric Rate	\$0.11/kWh
Annual Gas Cost	\$12.00
Gas Rate	\$1.22/Therm
Capacity	3.31
Imef	2.15474
Is Outside Conditioned Space	No

Appliances and Controls

Programmable thermostat?	Yes
Dishwasher Size	Standard
Dishwasher Efficiency	0.65 EF
Dishwasher Outside Conditioned Space?	No
Range/Oven Fuel	Electric
Convection Oven?	No
Induction Range?	No
Range/Oven Outside Conditioned Space?	No
Refrigerator Consumption	538 kWh/Year
Refrigerator Outside Conditioned Space?	No

Notes

- updated JS 06/01/20
- uninsulated slab modeled
- wall insulation modeled to Grade 2
- confirm attic insulation and hvac specs
- ventilation modeled as none
- confirm cfl lighting %
- modeled to worst case orientation