





Front Elevation  
Scale: 1/4" = 1'0"

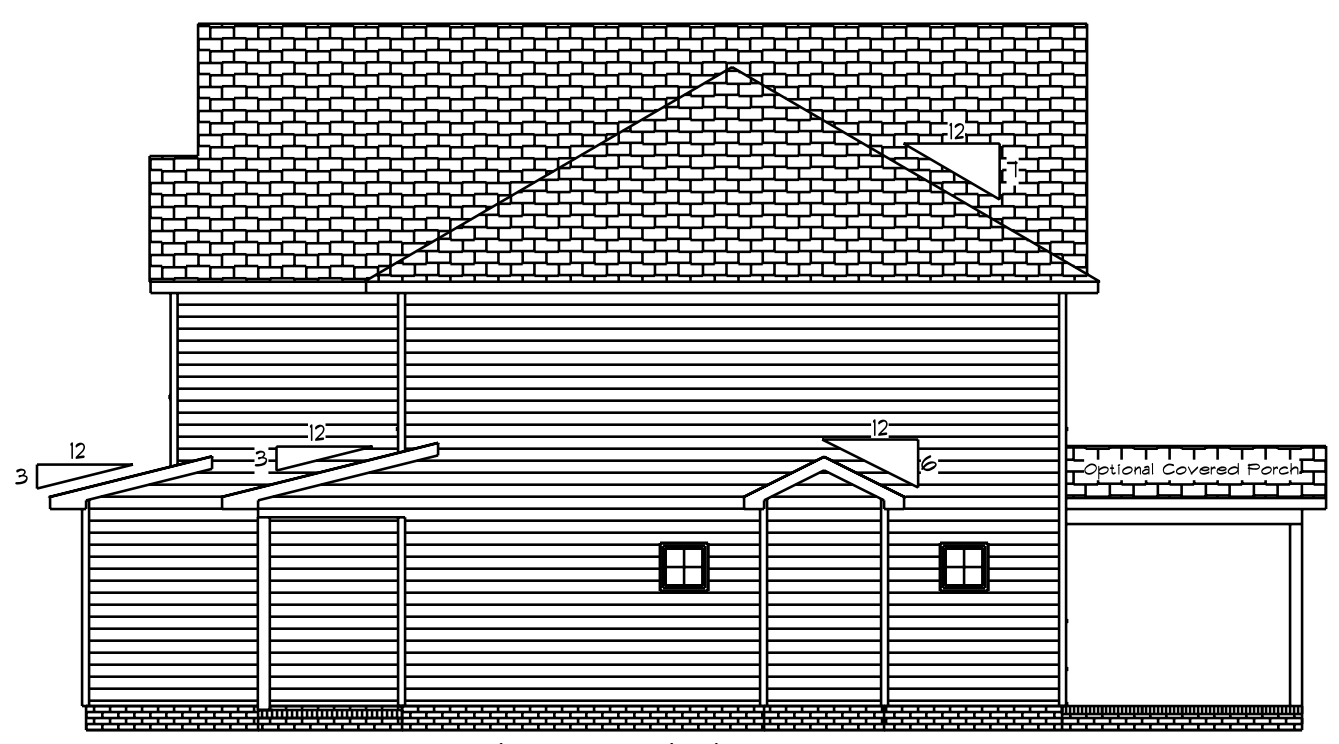
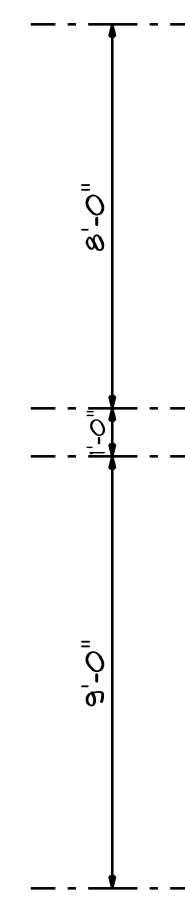
NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

**APPROVED**  
Limited building only review  
Permit holder responsible for full compliance with the code

10/30/2020

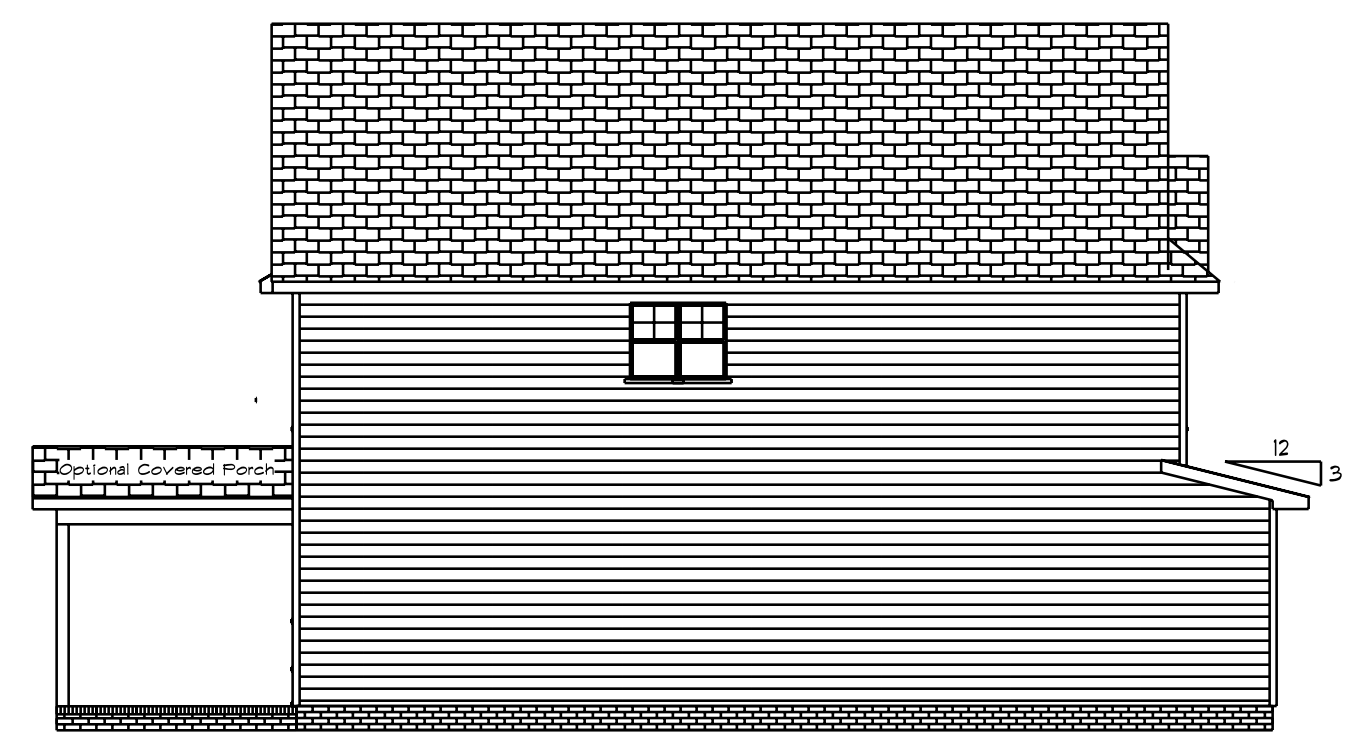
With foundation Notes



Left Elevation  
Scale: 1/8" = 1'0"



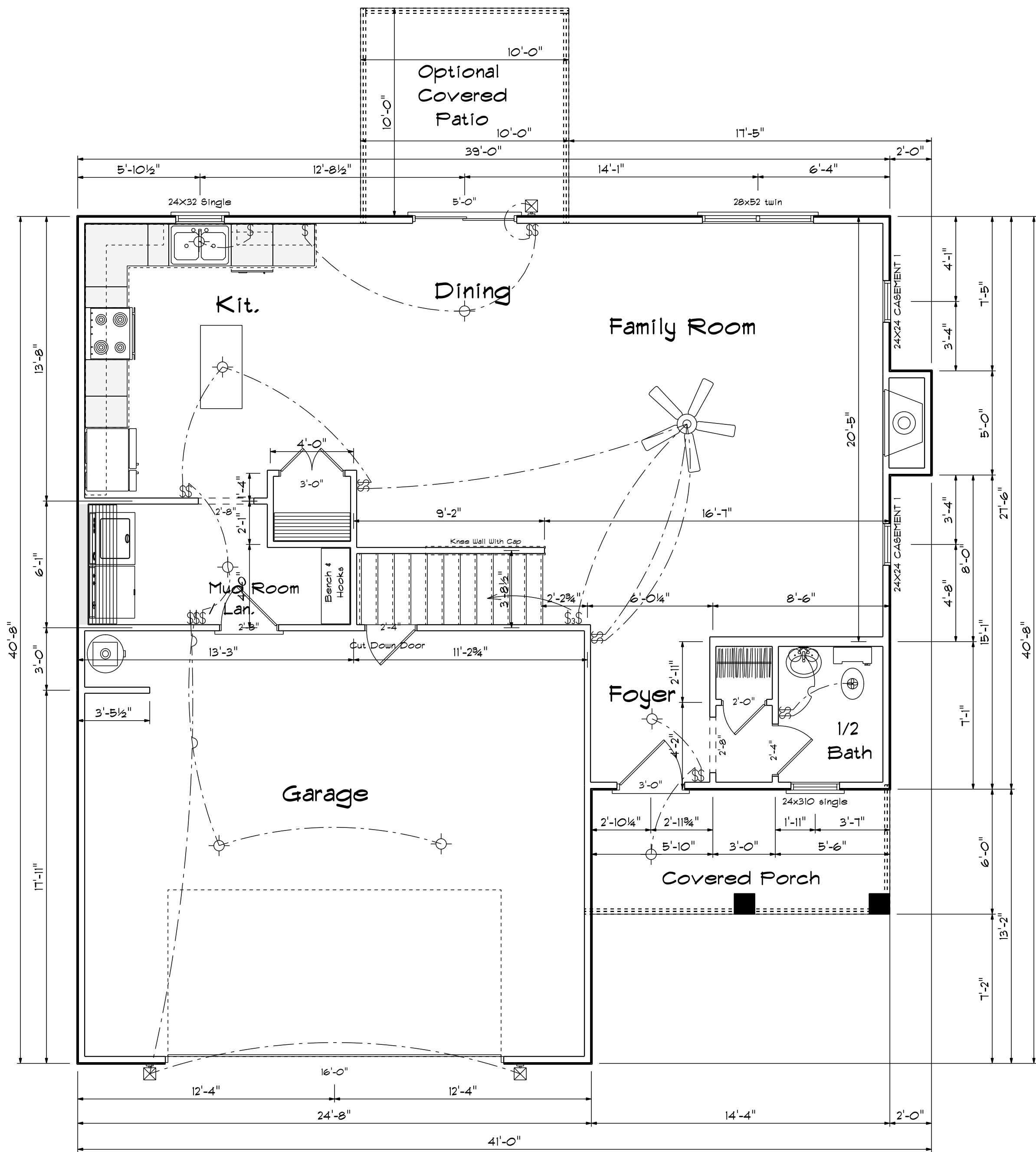
Rear Elevation  
Scale: 1/8" = 1'0"



Right Elevation  
Scale: 1/8" = 1'0"

DATE: 8/25/2020	REVISED	DRAWING#
SCALE: 1/4"	DRAWN BY	APPROVED
Elev. A		

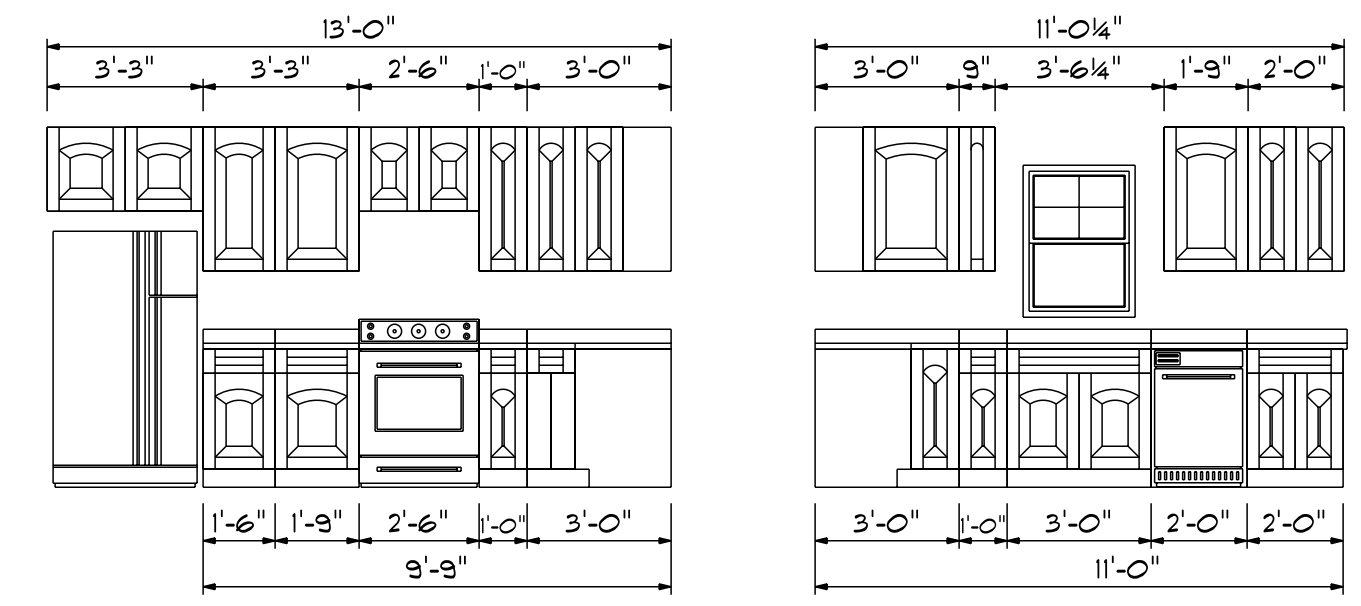
The Westbrook



### First Floor Plan

Scale: 1/4" = 1'-0"

### Kitchen Cabinets



FIRST FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
36X80 COLONIAL A 1	3'-0"	L	1
192X96 - 8 PANEL - 4 WINDOW	16'-0"	U	1
72X80 SLIDING FRENCH 2	6'-0"	NL	1
2-0 Door Unit	2'-0"	L	1
2-0 Door Unit	2'-0"	R	1
2-4 Door Unit	2'-4"	L	1
2-4 Door Unit	2'-4"	R	1
2-8 Door Unit	2'-8"	R	1
24X24 CASEMENT 1	2'-0" x 2'-0"	N	2
24X32 Single	2'-4" x 3'-2"	N	1
24x310 single	2'-4" x 3'-10"	N	1
28x52 twin	5'-4" x 5'-2"	NN	1

### Areas

First Floor	892
Second Floor	1316
=====	
Total Heated	2208
Garage	512
Front Porch	85

DATE: 8/25/2020

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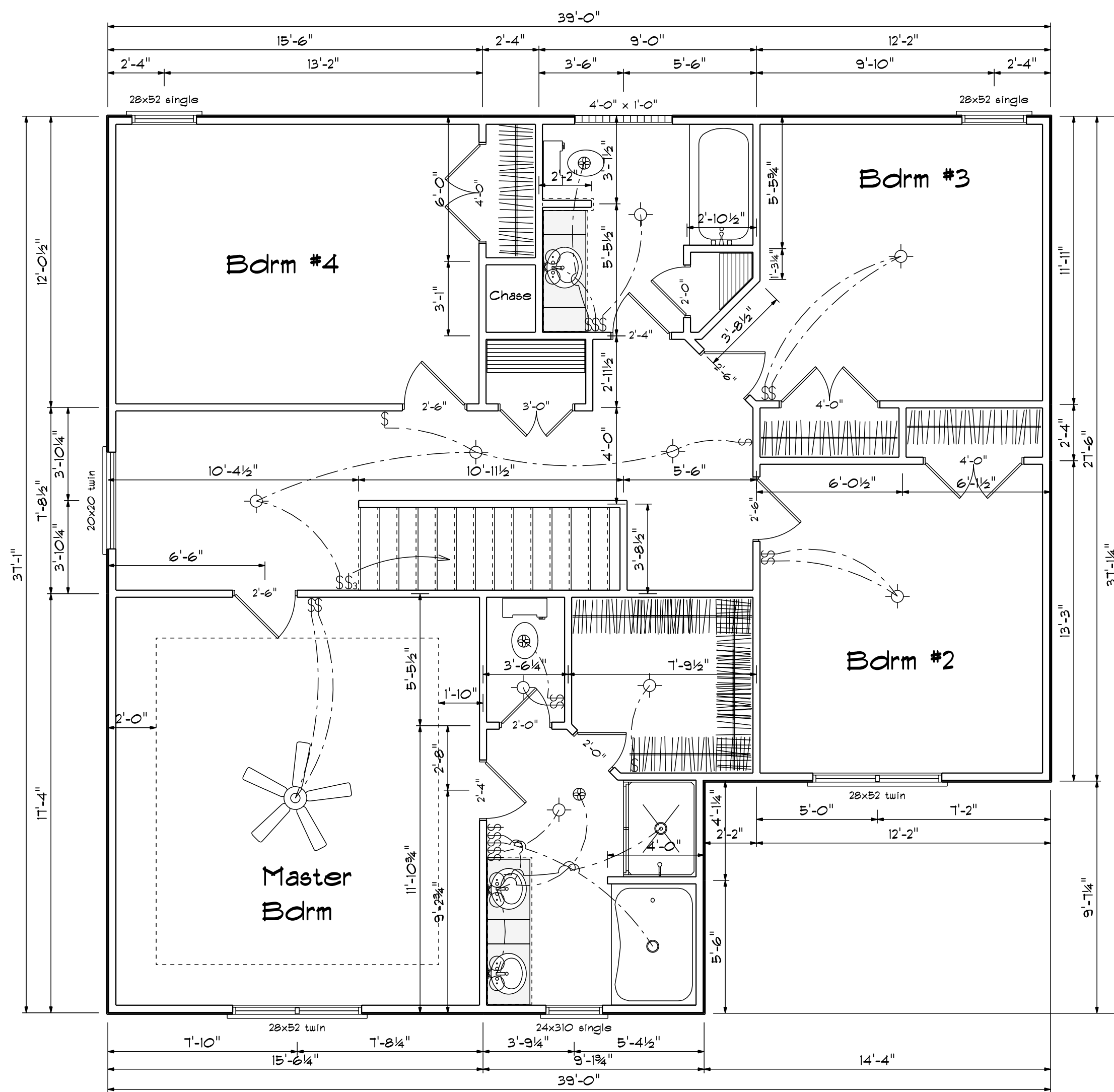
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SCALE: 1/4"

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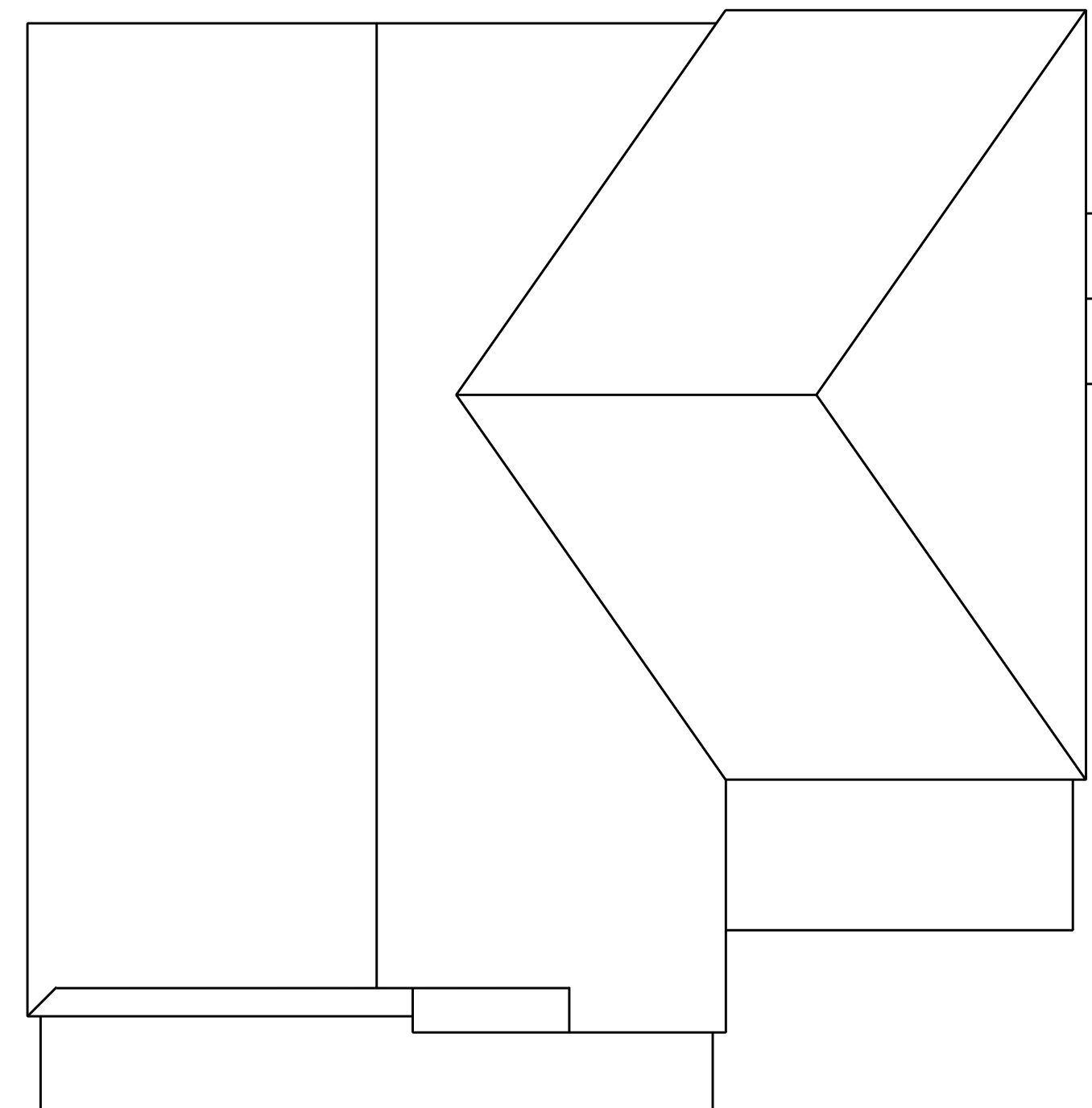
The Westbrook



Second Floor Plan

Scale: 1/4" = 1'-0"

SECOND FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
2-0 Door Unit	2'-0"	L	3
2-4 Door Unit	2'-4"	R	1
2-4 Door Unit	2'-4"	L	1
2-6 Door Unit	2'-6"	L	2
2-6 Door Unit	2'-6"	R	2
3-0 Doublehung Door Unit	3'-0"	LR	1
4-0 Doublehung Door Unit	4'-0"	LR	3
20x20 twin	4'-0" x 3'-2"	NA	1
24x310 single	2'-4" x 3'-10"	N	1
28x52 single	2'-8" x 5'-2"	N	2
28x52 twin	5'-4" x 5'-2"	NN	2
12X12 GLASS BLOCK	4'-0" x 1'-0"	N	1



Roof Plan

DATE: 8/25/2020

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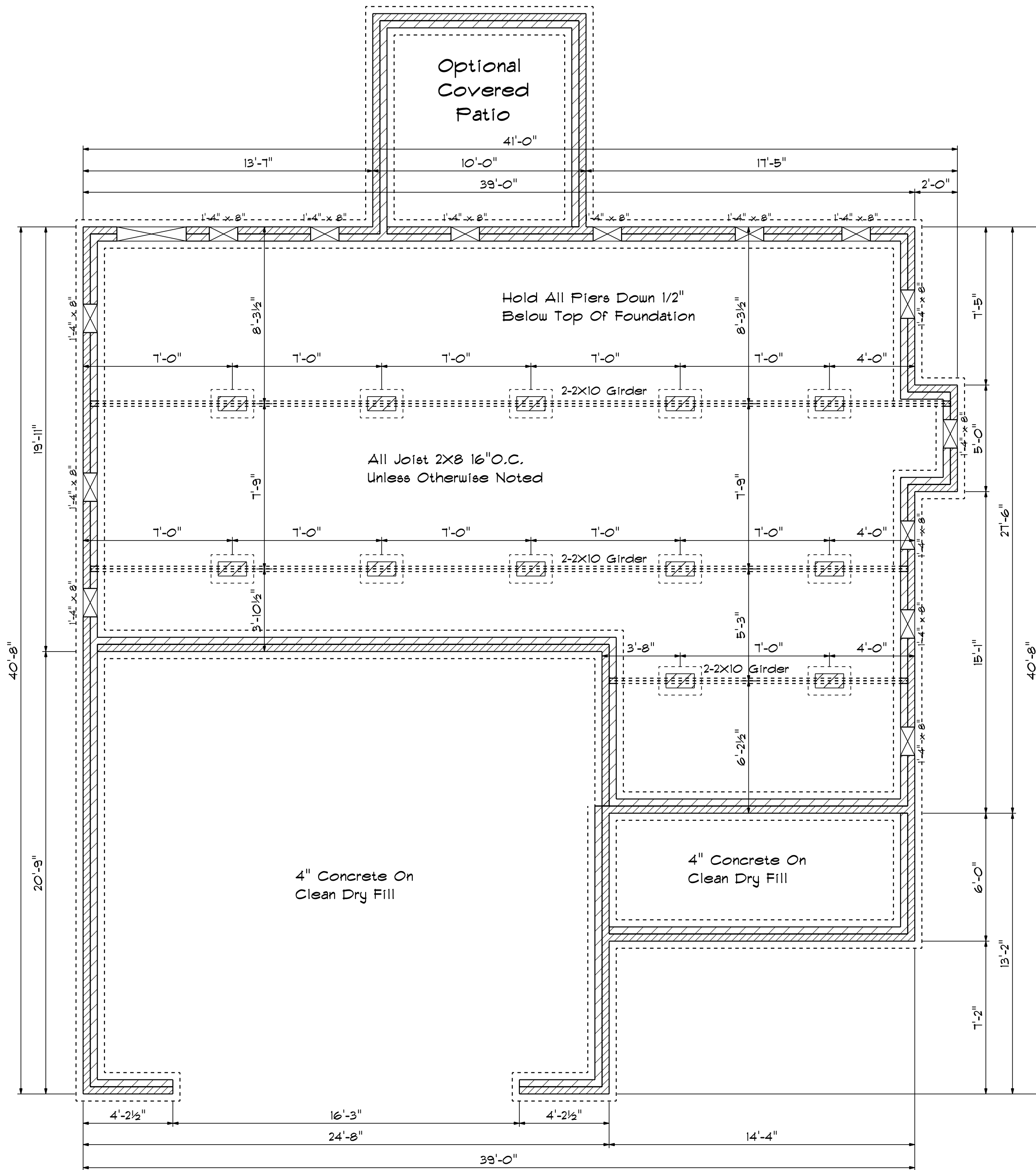
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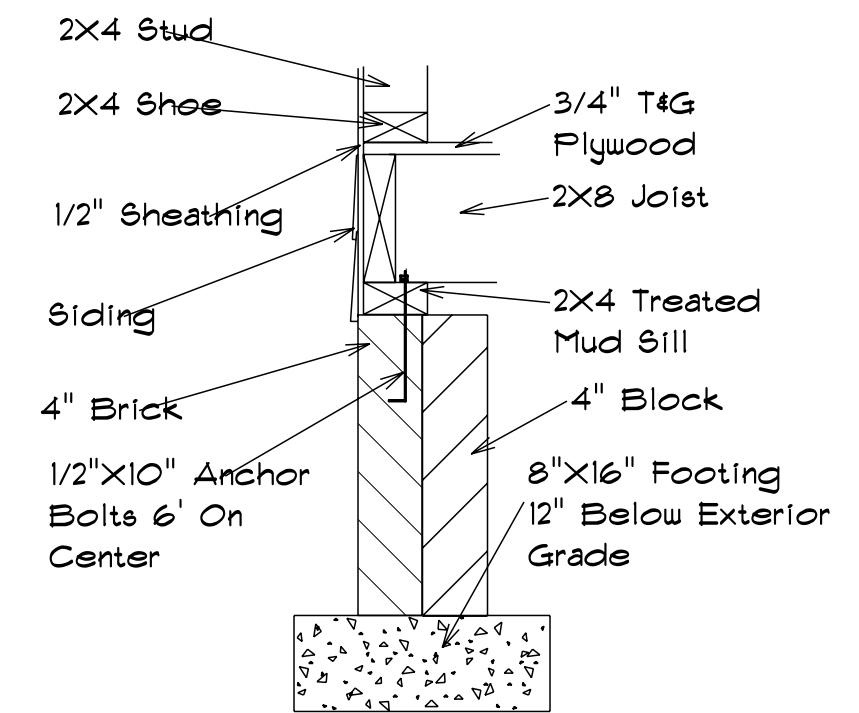
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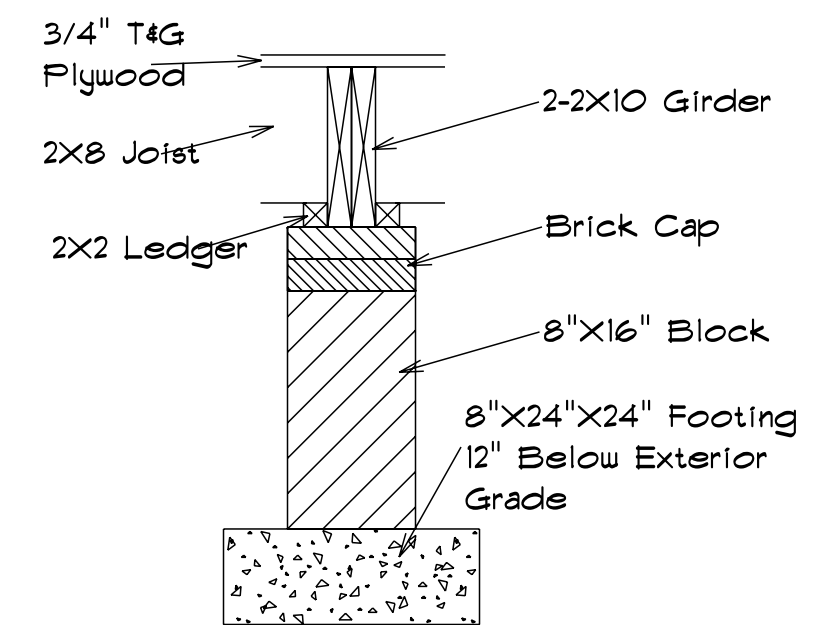


Foundation Plan

Foundation Detail



Footing & Pier Detail



FOUNDATION VENTILATION

892 Sq.Ft. Foundation Area  
Requires 5.94 Sq.Ft. Ventilation.  
With 6 Mil. Poly, Plans Indicate  
Vents For Adequate Cross  
Ventilation.

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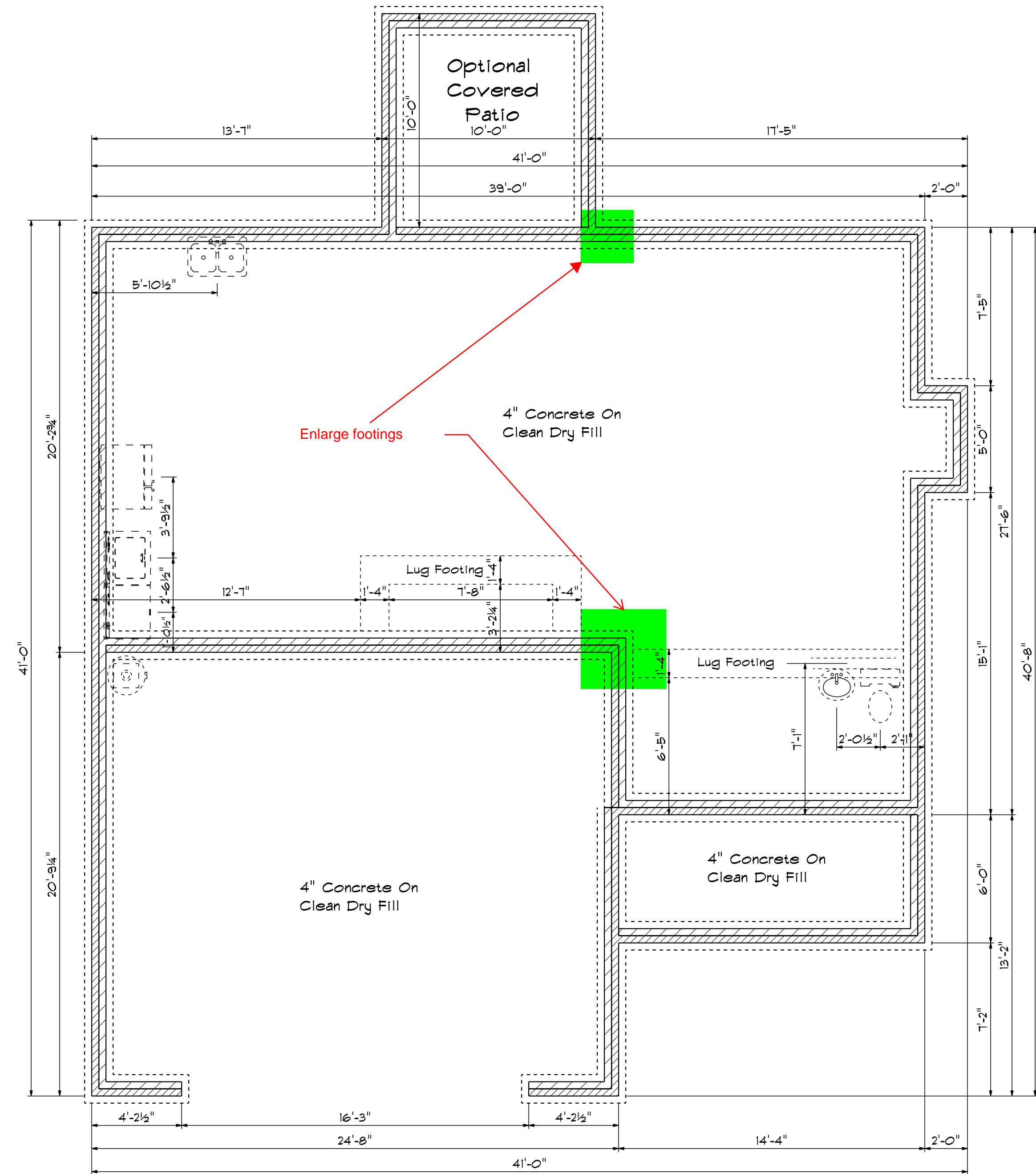
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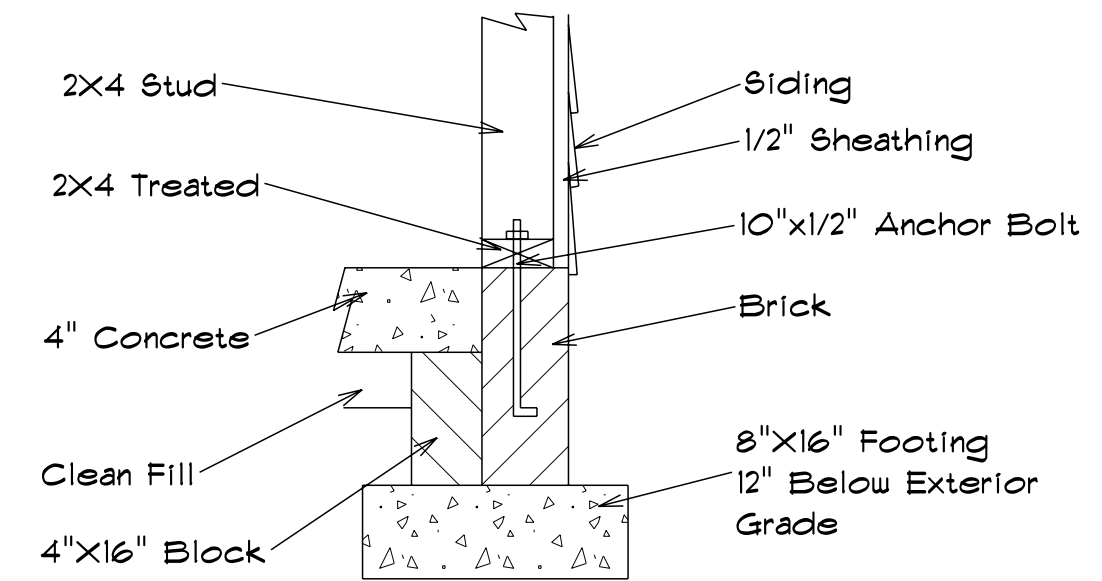
The Westbrook



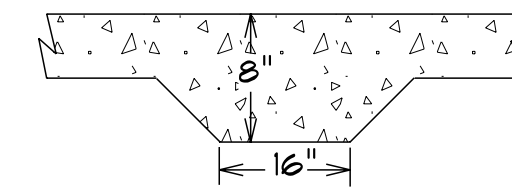


Foundation Plan

Foundation Detail  
Siding



Lug Footing Detail



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SCALE: 1/4"  
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**ROOF & FLOOR TRUSSES & BEAMS**

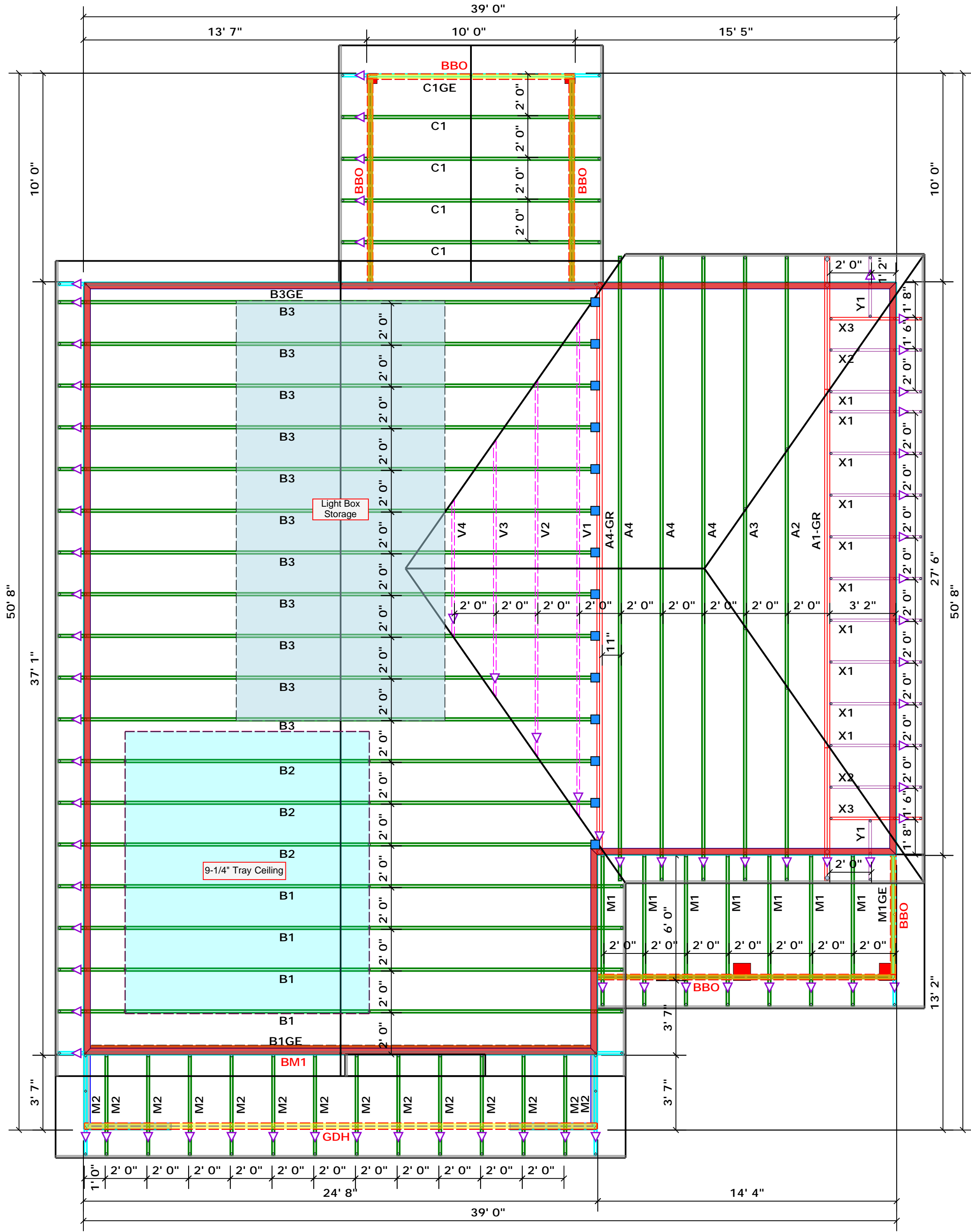
Reilly Road Industrial Park  
Fayetteville, N.C. 28309  
Phone: (910) 864-8787  
Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature **David Landry**  
**David Landry**

**LOAD CHART FOR JACK STUDS**  
(BASED ON TABLES ROUMLIC & D'S)

NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS/STRIPS		REQ'D STUDS FOR JOINTS/BEAMS		REQ'D STUDS FOR JOINTS/BEAMS	
END REACTION (IP TO)	REQ'D STUDS FOR JOINTS/BEAMS	END REACTION (IP TO)	REQ'D STUDS FOR JOINTS/BEAMS	END REACTION (IP TO)	REQ'D STUDS FOR JOINTS/BEAMS
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



**Dimension Notes**  
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.  
2. All interior wall dimensions are to face of frame wall unless noted otherwise.  
3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

**All Walls Shown Are Considered Load Bearing**

Roof Area = 2311.33 sq.ft.  
Ridge Line = 65.83 ft.  
Hip Line = 40.81 ft.  
Horiz. OH = 178.13 ft.  
Raked OH = 124.36 ft.  
Decking = 79 sheets

**Hatch Legend**

[Light Blue]	Box Storage
[Light Green]	Tray Ceiling
[Red]	2nd Floor Walls
[Yellow]	Drop Beam

**Connector Information**

Sym	Product	Manuf	Qty	Supported Member	Header	Truss
[Blue]	HUS26	USP	14	NA	16d/3-1/2"	16d/3-1/2"

**Products**

PlotID	Length	Product	Plies	Net Qty
BM1	25' 0"	1-3/4"x 23-7/8" LVL Kerto-S	3	3
BM2	7' 0"	1-3/4"x 16" LVL Kerto-S	2	2
GDH	25' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2

**1 Truss Placement Plan**  
Scale: 1/4"=1'

CITY / CO.	Spring Lake / Cumberland
ADDRESS	52 South Dakota Ct.
MODEL	Roof
DATE REV.	09/18/20
DRAWN BY	David Landry
SALES REP.	Marshall Naylor
BUILDER	Ben Stout Real Estate
JOB NAME	Lot 54 Sierra Villas
PLAN	Westbrook
SEAL DATE	Seal Date
QUOTE #	Quote #
JOB #	J0920-4172

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com.

**▲ = Indicates Left End of Truss**  
(Reference Engineered Truss Drawing)  
**Do NOT Erect Truss Backwards**



**ROOF & FLOOR TRUSSES & BEAMS**

Reilly Road Industrial Park  
 Fayetteville, N.C. 28309  
 Phone: (910) 864-8787  
 Fax: (910) 864-4444

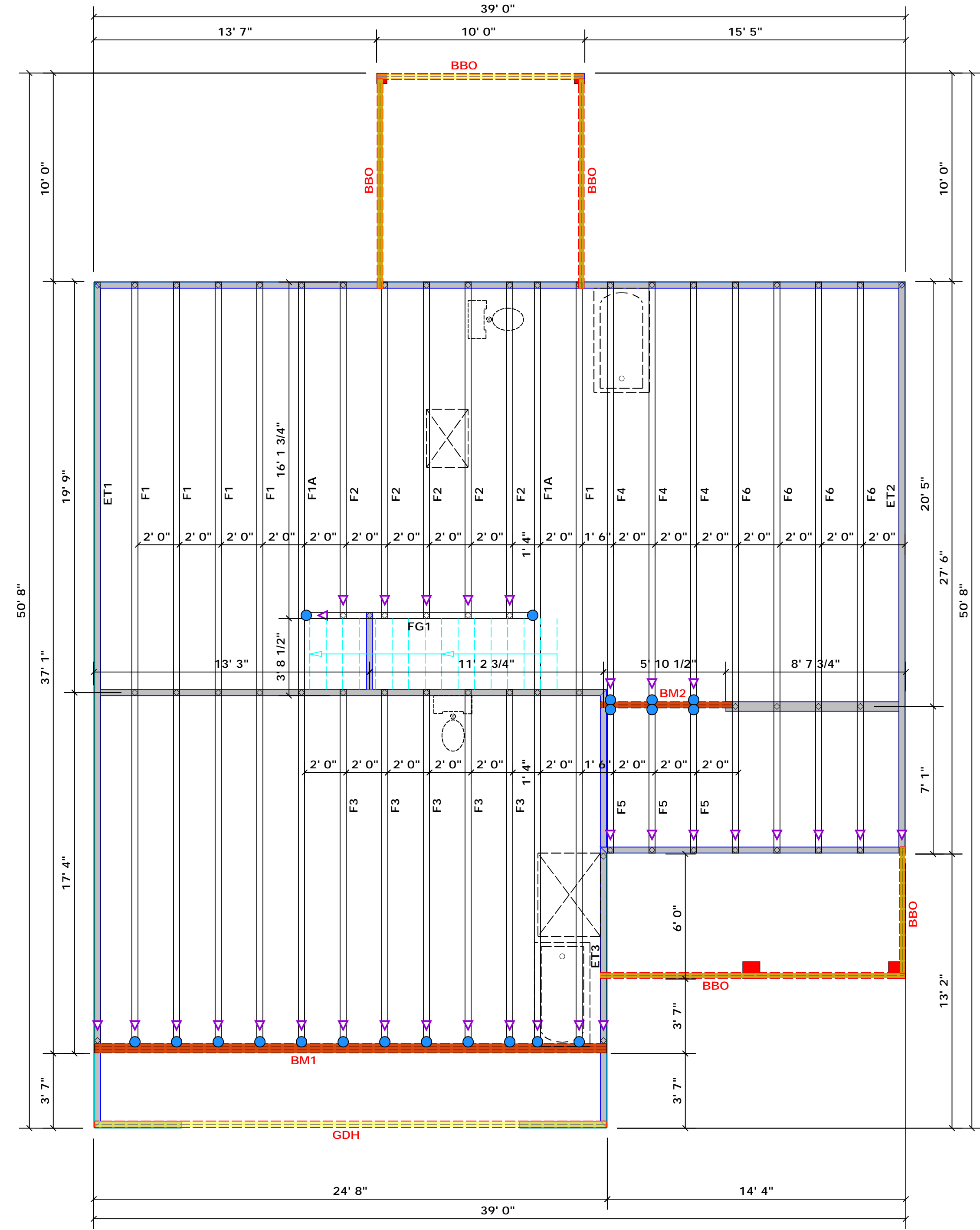
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**Plumbing Drop Notes**

- Plumbing drop locations shown are NOT exact.
- Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
- Adjust spacing as needed not to exceed 24"oc.

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
●	HUS410	USP	20	NA	16d/3-1/2"	16d/3-1/2"

Products				
PlotID	Length	Product	Plies	Net Qty
BM1	25' 0"	1-3/4"x 23-7/8" LVL Kerto-S	3	3
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