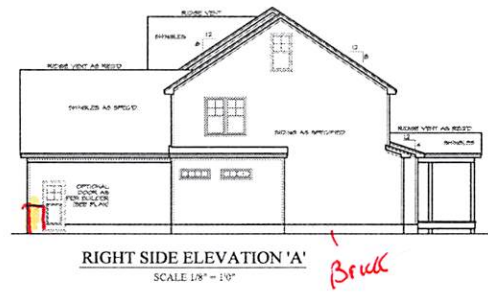
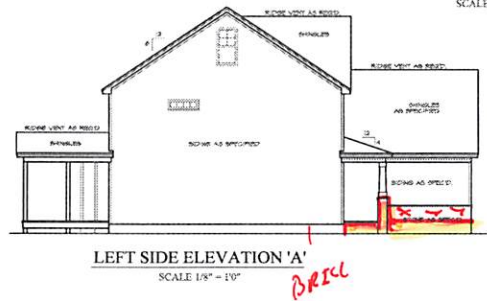


*FJ12 FAHM 2*

THIS PLAN DESIGNED UNDER NORTH CAROLINA  
RESIDENTIAL CODE 2018 EDITION (2018 IRC)  
NE GRID MARK: 1/4" = 1' - 0" H.P.



**ATTIC VENTILATION:**  
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/30<sup>th</sup> OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1/20<sup>th</sup> PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY SHINGLES LOCATED IN THE UPPER PORTION OF THE SHINGLE TO BE PROVIDED. AT LEAST 3 FEET ABOVE EAVE OR SIPPIT VENTS. IN THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR SIPPIT VENTS.  
DROSS ATTIC AREA TO BE VENTILATED 20K SQ FT.  
20K SQ FT. 1/2 SIPPIT NET FREE AREA  
SOIL OF VENTING MUST BE 3FT ABOVE EAVE OR SIPPIT VENTS



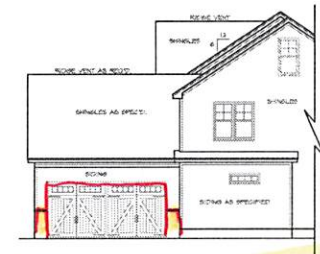
The Naples  
GARAGE RIGHT

Weaver Homes  
350 Wagoner Dr.  
Fayetteville NC

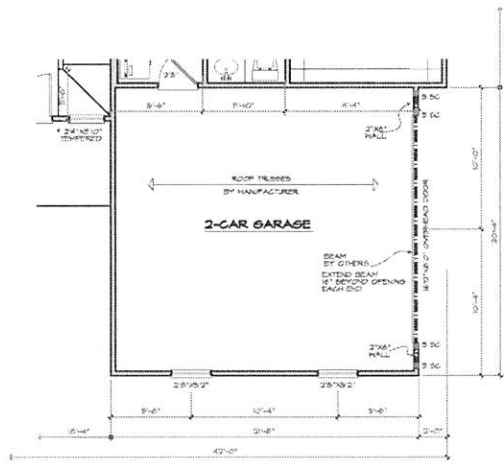
10/21/2020  
180112



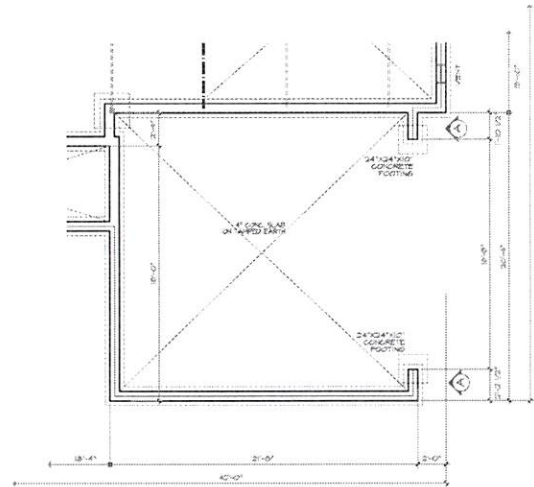
**SIDE-LOAD GARAGE W/ FRONT ELEVATION 'A'**  
SCALE 1/4" = 1'-0"



**SIDE-LOAD GARAGE W/ LEFT SIDE ELEVATION 'A'**  
SCALE 1/8" = 1'-0"



**SIDE-LOAD GARAGE FLOOR PLAN 'A'**  
SCALE 1/4" = 1'-0"



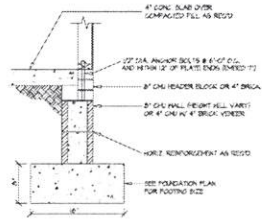
**SIDE-LOAD GARAGE FOUNDATION PLAN 'A'**  
SCALE 1/4" = 1'-0"

The Naples

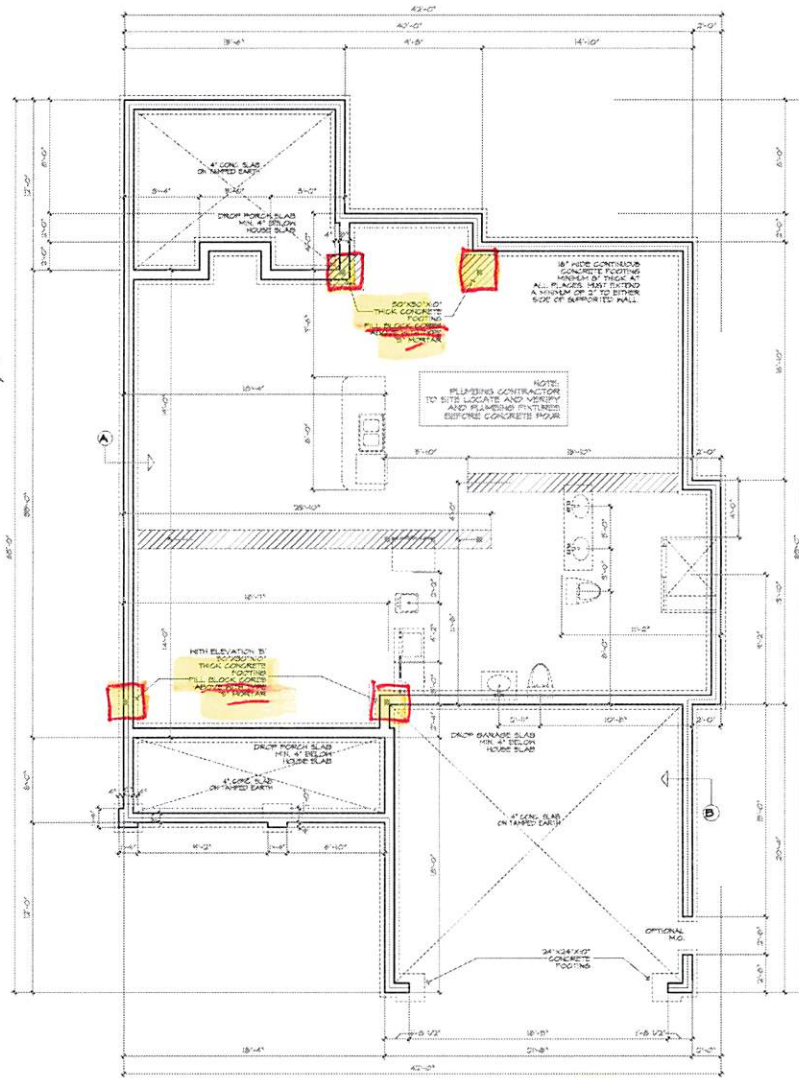
GARAGE RIGHT

Weaver Homes

350 Wagoner Dr.  
Fayetteville NC



**A** SLAB FND. W/ STEM WALL



**STEM WALL SLAB FOUNDATION PLAN**

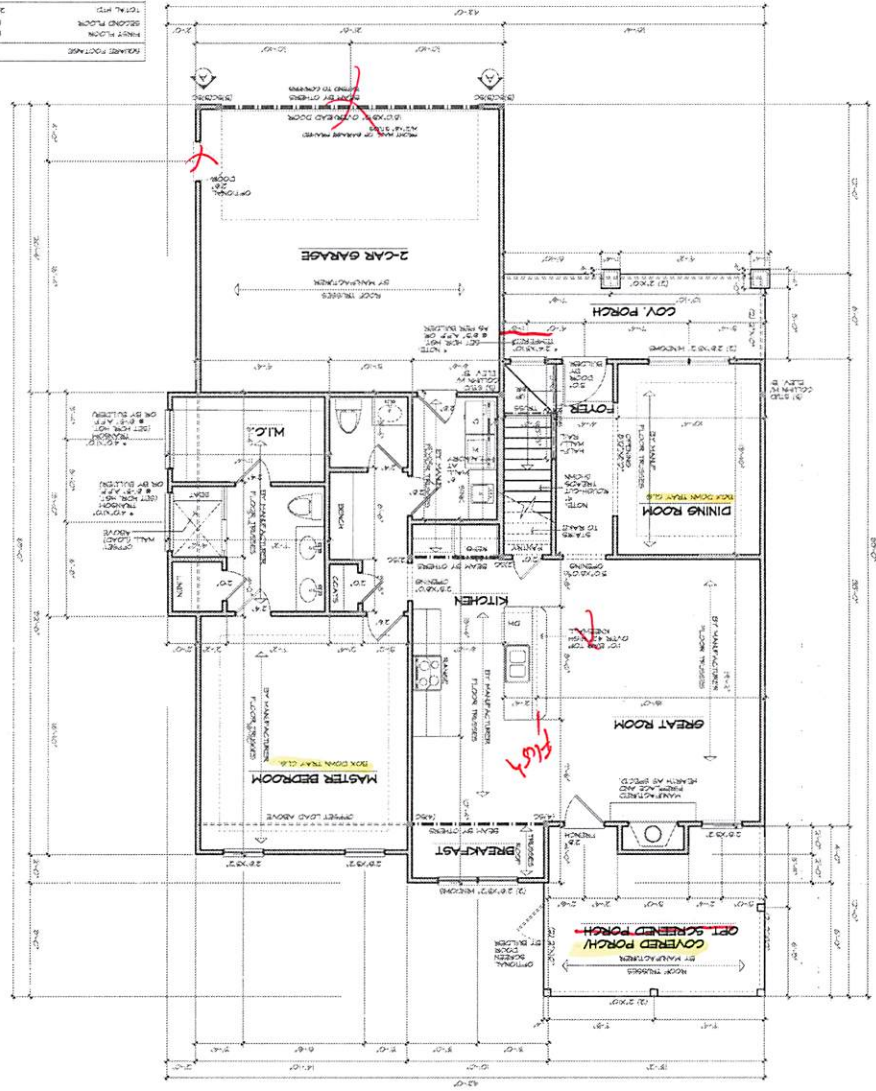
SCALE 1/4" = 1'-0"

*Side Load*

3214  
 3214  
 Side  
 Lot

FIRST FLOOR PLAN  
 SCALE 1/4" = 1'-0"

FINISH FLOOR	13'-0" START
NEXT FLOOR	13'-0" START
SECOND FLOOR	13'-0" START
THIRD FLOOR	13'-0" START
FOURTH FLOOR	13'-0" START
ROOF	13'-0" START



THIS SYSTEM REQUIREMENTS  
 ALL SYSTEMS SHALL BE COMPLETED  
 AND SHALL BE SUBJECT TO THE  
 APPROVAL OF THE LOCAL  
 AUTHORITY HAVING JURISDICTION  
 OVER THE PROJECT.

**HEADER AND COLUMN NOTES**  
 ALL HEADERS AND COLUMNS SHALL BE  
 CONCRETE AND SHALL BE CAST  
 IN PLACE. ALL HEADERS SHALL BE  
 12" X 12" AND ALL COLUMNS SHALL BE  
 12" X 12".

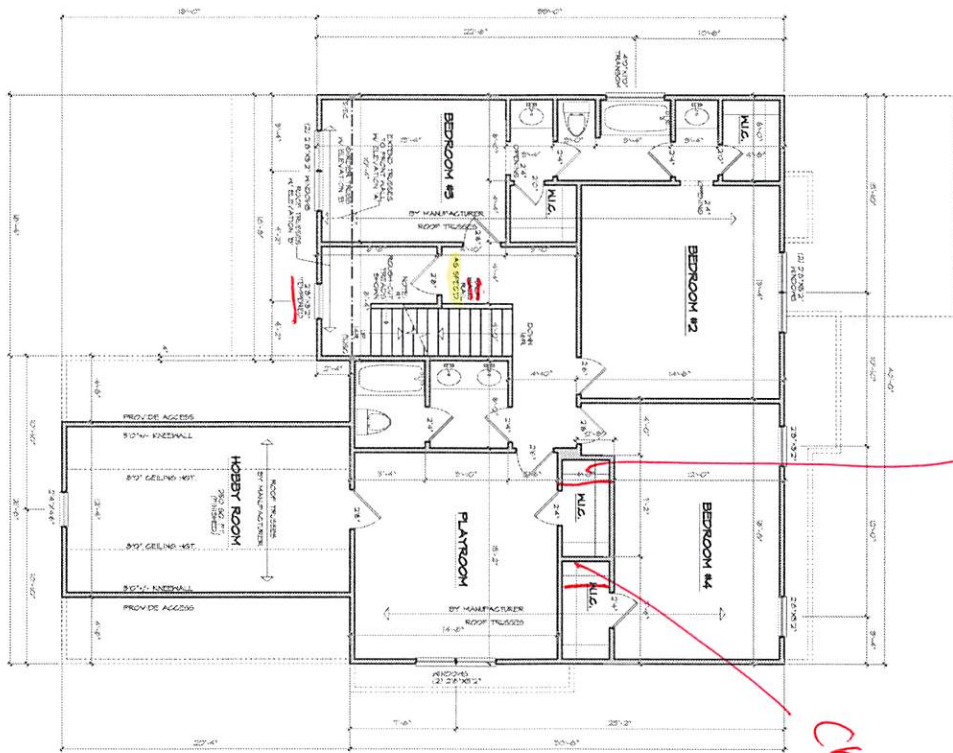
180112

01/27/2020  
 WEAVER HOMES  
 350 Wagoner Dr.  
 Fayetteville NC



The Naples  
 GARAGE RIGHT





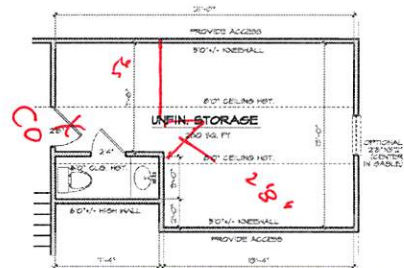
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

02/22/20  
180112

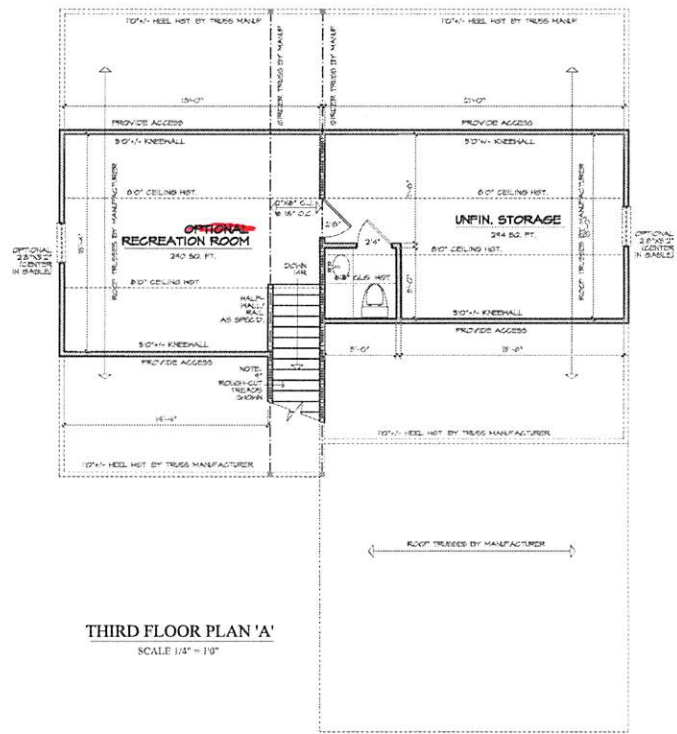
Weaver Homes  
350 Wagoner Dr.  
Fayetteville NC

The Naples  
GARAGE RIGHT



**OPTIONAL 1/2 BATH LAYOUT**

(NOTE: Less 14 sq. feet with this layout)



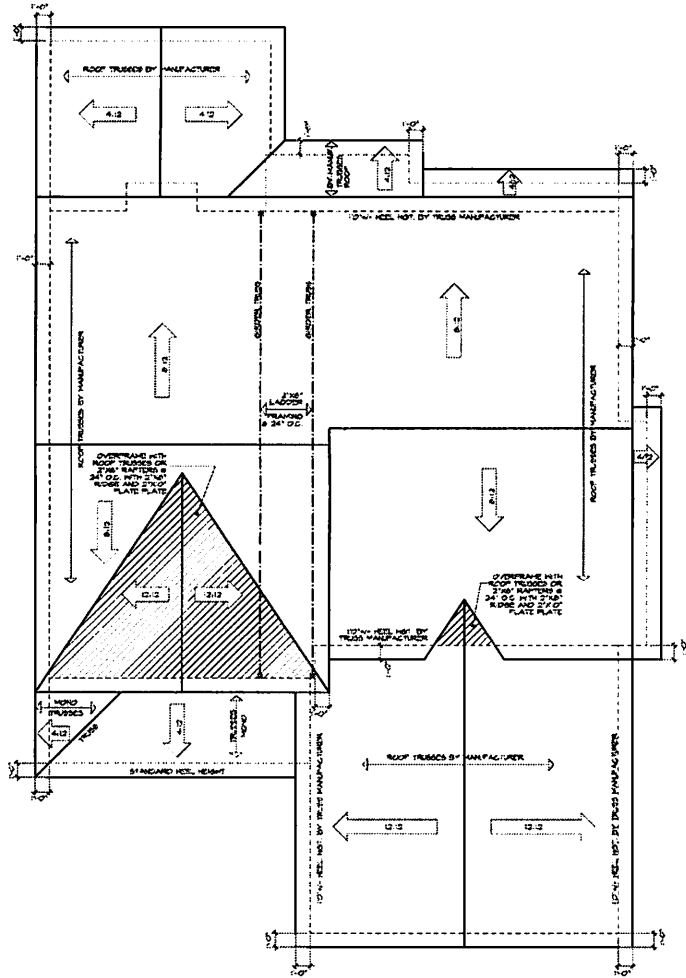
**THIRD FLOOR PLAN 'A'**  
SCALE 1/4" = 1'-0"

**TRUSS SYSTEM REQUIREMENTS**

1. TRUSS SYSTEM LAYOUTS PLACED ON PLANS SHALL BE IDENTIFIED AS MANUFACTURED OR FIELD-BUILT. MANUFACTURED TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
2. TRUSS MANUFACTURERS SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
3. ALL TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
4. ALL REQUIRED DETAILS FOR TRUSSES ARE TO BE SHOWN ON DRAWINGS AND THE MANUFACTURER'S NAME SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.

**ROOF FRAMING NOTES**

1. SEE NOTES ON SHEET 180112 FOR TRUSS SYSTEM REQUIREMENTS.
2. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
3. ALL TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
4. ALL REQUIRED DETAILS FOR TRUSSES ARE TO BE SHOWN ON DRAWINGS AND THE MANUFACTURER'S NAME SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
5. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
6. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
7. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
8. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
9. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.
10. TRUSSES SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME AND SHALL BE IDENTIFIED BY THE MANUFACTURER'S NAME.



**ROOF PLAN 'A'**  
SCALE 1/4" = 1'-0"

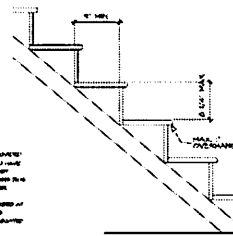
The Naples

GARAGE RIGHT

Weaver Homes

350 Wagener Dr.  
Fayetteville NC

01/21/2020  
180112



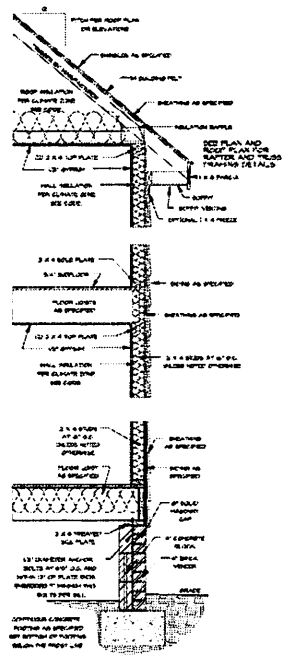
- STAIR NOTES**
- 1 STAIRS SHALL BE CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK.
  - 2 TREADS SHALL NOT BE LESS THAN 10" OF CLEAR PROJECTION OVER WOOD TREADS.
  - 3 A MINIMUM OF 2" HEADROOM SHALL BE MAINTAINED OVER ALL TREADS.
  - 4 THE WIDTH OF THE STAIR SHALL BE A MINIMUM OF 36" WITH A MINIMUM OF 24" CLEARANCE ON EITHER SIDE OF THE STAIR.
  - 5 HANDRAILS SHALL BE A MINIMUM OF 36" WITH A MINIMUM OF 24" CLEARANCE ON EITHER SIDE OF THE STAIR.
  - 6 HANDRAILS SHALL BE LOCATED ON THE OUTSIDE RADIUS OF THE STAIRS.
  - 7 HANDRAILS SHALL BE LOCATED ON THE OUTSIDE RADIUS OF THE STAIRS.

**STRUCTURAL NOTES**

- 1 ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA STATE RESIDENTIAL CODE BOOK.
- 2 ALL WOODS SHALL BE TRIMMED, INCHES, TIGHT AND BRANDED IN ACCORDANCE WITH BOONVILLE TRADING AND THE BUILDING CODE.
- 3 DESIGN LOADS SEE TABLE R603.2
- 4 FLOOR SPEED REFER TO TABLE R603.2.41
- 5 FLOOR SPEED REFER TO TABLE R603.2.41
- 6 FLOOR SPEED REFER TO TABLE R603.2.41
- 7 FLOOR SPEED REFER TO TABLE R603.2.41
- 8 FLOOR SPEED REFER TO TABLE R603.2.41
- 9 FLOOR SPEED REFER TO TABLE R603.2.41
- 10 FLOOR SPEED REFER TO TABLE R603.2.41
- 11 FLOOR SPEED REFER TO TABLE R603.2.41
- 12 FLOOR SPEED REFER TO TABLE R603.2.41
- 13 FLOOR SPEED REFER TO TABLE R603.2.41
- 14 FLOOR SPEED REFER TO TABLE R603.2.41
- 15 FLOOR SPEED REFER TO TABLE R603.2.41
- 16 FLOOR SPEED REFER TO TABLE R603.2.41
- 17 FLOOR SPEED REFER TO TABLE R603.2.41
- 18 FLOOR SPEED REFER TO TABLE R603.2.41
- 19 FLOOR SPEED REFER TO TABLE R603.2.41
- 20 FLOOR SPEED REFER TO TABLE R603.2.41
- 21 FLOOR SPEED REFER TO TABLE R603.2.41
- 22 FLOOR SPEED REFER TO TABLE R603.2.41
- 23 FLOOR SPEED REFER TO TABLE R603.2.41
- 24 FLOOR SPEED REFER TO TABLE R603.2.41
- 25 FLOOR SPEED REFER TO TABLE R603.2.41
- 26 FLOOR SPEED REFER TO TABLE R603.2.41
- 27 FLOOR SPEED REFER TO TABLE R603.2.41
- 28 FLOOR SPEED REFER TO TABLE R603.2.41
- 29 FLOOR SPEED REFER TO TABLE R603.2.41
- 30 FLOOR SPEED REFER TO TABLE R603.2.41
- 31 FLOOR SPEED REFER TO TABLE R603.2.41
- 32 FLOOR SPEED REFER TO TABLE R603.2.41
- 33 FLOOR SPEED REFER TO TABLE R603.2.41
- 34 FLOOR SPEED REFER TO TABLE R603.2.41
- 35 FLOOR SPEED REFER TO TABLE R603.2.41
- 36 FLOOR SPEED REFER TO TABLE R603.2.41
- 37 FLOOR SPEED REFER TO TABLE R603.2.41
- 38 FLOOR SPEED REFER TO TABLE R603.2.41
- 39 FLOOR SPEED REFER TO TABLE R603.2.41
- 40 FLOOR SPEED REFER TO TABLE R603.2.41
- 41 FLOOR SPEED REFER TO TABLE R603.2.41
- 42 FLOOR SPEED REFER TO TABLE R603.2.41
- 43 FLOOR SPEED REFER TO TABLE R603.2.41
- 44 FLOOR SPEED REFER TO TABLE R603.2.41
- 45 FLOOR SPEED REFER TO TABLE R603.2.41
- 46 FLOOR SPEED REFER TO TABLE R603.2.41
- 47 FLOOR SPEED REFER TO TABLE R603.2.41
- 48 FLOOR SPEED REFER TO TABLE R603.2.41
- 49 FLOOR SPEED REFER TO TABLE R603.2.41
- 50 FLOOR SPEED REFER TO TABLE R603.2.41

**ATTIC ACCESS**

REFER TO SECTION R602.2 FOR THE MINIMUM REQUIREMENTS FOR ATTIC ACCESS.



**THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2015 EDITION (2015 IRC)**

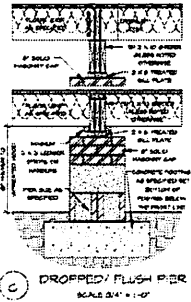
SCALE REFER TO 1/2" = 1'-0" FOR FOUNDATIONS

ANCHOR BOLTS TO WALLS OF 1/2" DIA. AND 12" LONG SHALL BE SET IN THE CENTER OF THE WALL AND NOT MORE THAN 1/4" FROM CENTER AND NOT MORE THAN 1/4" FROM THE END OF THE WALL.

ANCHOR BOLTS TO WALLS OF 1/2" DIA. AND 12" LONG SHALL BE SET IN THE CENTER OF THE WALL AND NOT MORE THAN 1/4" FROM CENTER AND NOT MORE THAN 1/4" FROM THE END OF THE WALL.

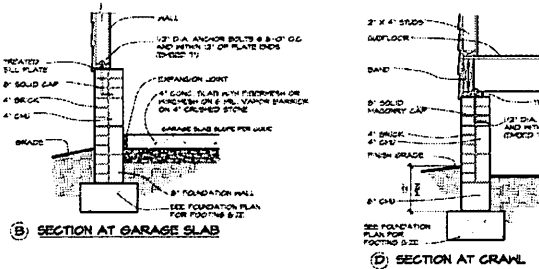
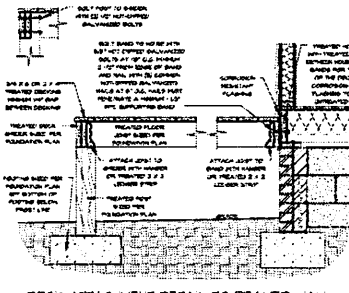
**DWELLINGS / GARAGE SEPARATION**

REFER TO SECTION R602.1 FOR THE MINIMUM REQUIREMENTS FOR DWELLINGS / GARAGE SEPARATION.



**DECK BRACING**

REFER TO SECTION R602.1 FOR THE MINIMUM REQUIREMENTS FOR DECK BRACING.



**TABLE R603.2.1 EQUIVALENT SECTION**

CLIMATE ZONE	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR
1	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
2	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10
3	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20
4	1.30	1.30	1.30	1.30	1.30	1.30	1.30	1.30	1.30
5	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40

**TABLE R603.2.2 FOUNDATION FACTORS**

CLIMATE ZONE	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR	FOUNDATION FACTOR
1	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
2	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10
3	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20
4	1.30	1.30	1.30	1.30	1.30	1.30	1.30	1.30	1.30
5	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40	1.40

MidTown Designs Inc.  
14600  
14600

RESIDENCE FOR:

DATE: / /

REV: / /

MidTown Designs Inc. 3508 Six Forks Rd. Suite 107 Raleigh, NC 27609 Phone: 919-783-9826 www.midtowndesigns.com