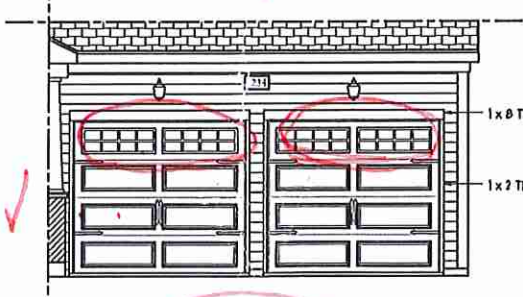




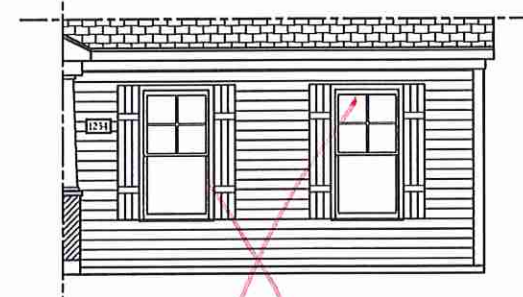
no grds

FRONT ELEVATION-B
SCALE: 1/4" = 1'-0"

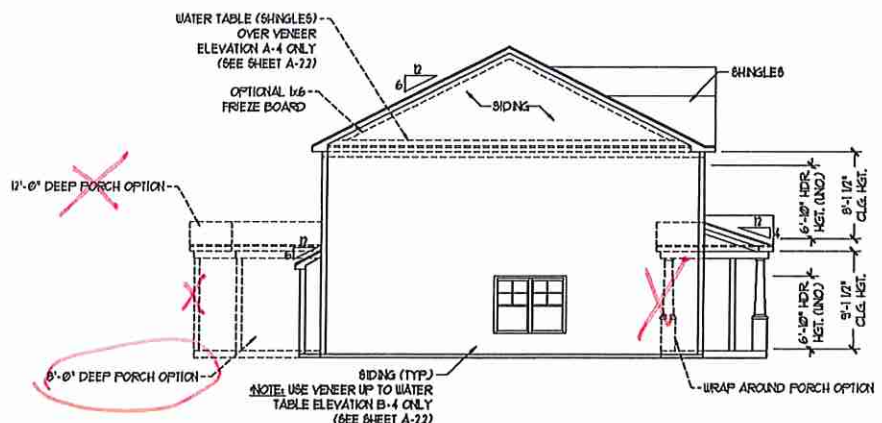
** NOTE: SEE PAGE A-2.1 FOR SPECIFIC FRONT ELEVATION-B DETAILS. SEE PAGE A-2.2 FOR B-4 (ALL BRICK) ELEVATIONS



DOUBLE GARAGE DOOR OPTION
SCALE: 1/4" = 1'-0"



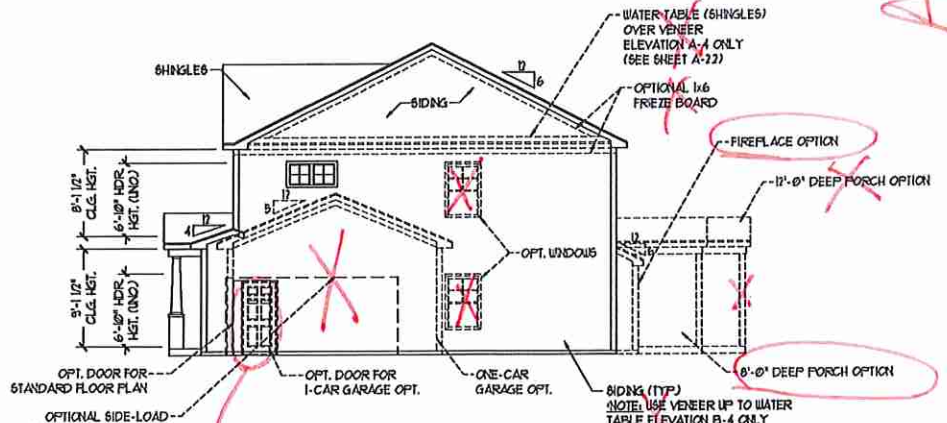
SIDE LOAD GARAGE OPTION
(NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



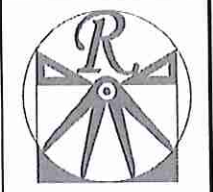
REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

outswing

TH

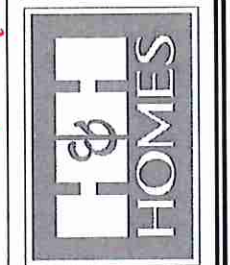


RENAISSANCE
 RESIDENTIAL DESIGN, INC.
 4810 GLENHIST CT., | RALEIGH, NC 27612
 (919) 619-4128
 WWW.RIDCAROLINA.COM

"The art of banalizing your vision into reality."
 RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, CONSTRUCTION, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COMPLYING WITH ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS CONCEPTUAL CONCEPT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS OR DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. IF YOU ARE TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING AND WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
 ENGINEERING, INC.
 101 W. WARE AVE., SUITE 104
 RALEIGH, NC 27609
 PHONE: (919) 244-9919
 FAX: (919) 249-9221
 N.C. LICENSE NO. C-1131



THESE PROMOTIONAL INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN PRACTICE. THE ESTIMATED AND MAXIMUM VARIATIONS IN CONSTRUCTION, ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLAT PLAN. FLOOR PLANS AND ELEVATIONS ARE NOT TO BE ADAPTED, REPRODUCED, COPIED, REPRODUCED, ADAPTED, OR DISPLAYED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF H&H HOMES, INC.

H&H HOMES, INC.
 HATTERAS

DATE: JANUARY 15, 2019
 REV:
 SCALE: AS NOTED
 DRAWN BY: WG
 ENGINEERED BY: WLF
 REVIEWED BY: JES

B - ELEVATIONS
 A-2

Buyer Marked

ACX 100



FRONT ELEVATION-B-1
SCALE: 1/4" = 1'-0"



FRONT ELEVATION-B-3
SCALE: 1/4" = 1'-0"

BRICK OR STONE
LEDGE AS SPEC. (MTP)

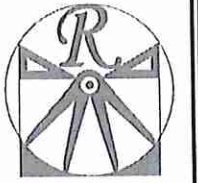


FRONT ELEVATION-B-2
SCALE: 1/4" = 1'-0"

Brick

No grid

2 Doors

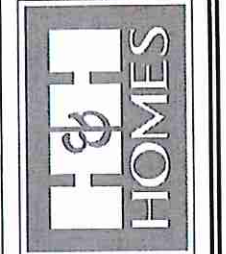


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENNVIEW CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RENAISSANCE-RA.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RECEIVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMPLETE COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
606 WARD AVE., SUITE 101
RALEIGH, NC 27605
PHONE: (919) 281-0919
FAX: (919) 281-0921
N.C. LICENSE NO. C-11133



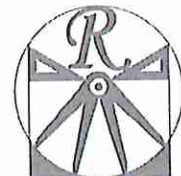
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, DIMENSIONS, AND FINISHES ARE WITHOUT NOTICE SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY LOCAL RECORDS. ALL DIMENSIONS, FINISHES, AND ELEVATIONS ARE UNLESS OTHERWISE NOTED. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES IS STRICTLY PROHIBITED. CURRENT DETAILS, COPYRIGHT 2019 H&H HOMES

H&H HOMES, INC.
HATTERAS

DATE: JANUARY 15, 2019
REV.:
SCALE: AS NOTED
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

B - ELEVATION
OPTIONS
A-2.1

TH



RENAISSANCE

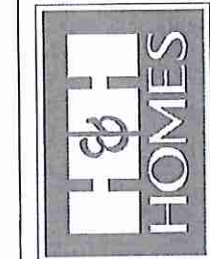
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT., | RALEIGH, NC 27612
(919) 619-4128
WWW.RENAISSANCEDESIGN.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, INTERIORS, EXTERIORS, MATERIALS AND SPECIFICATIONS WITHOUT NOTICE. THESE MODIFICATIONS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY DISCLAIMS THE COMMON LAW CONTRACT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. ANY USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. IS STRICTLY PROHIBITED AND CONSIDERED A VIOLATION OF THE COPYRIGHT AND TRADE SECRET LAWS.

J.S. THOMPSON
ENGINEERING, INC.
100 W. WATKINS AVE., SUITE 104
RALEIGH, NC 27603
PHONE: (919) 782-9919
FAX: (919) 782-9921
NC LICENSE NO. C-11133



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, FINISHES, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLANNING AND SURVEYING DEPARTMENT. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. CURRENT DETAILS, COPYRIGHT © 2019 H&H HOMES

H&H HOMES, INC.
HATTERAS

DATE: JANUARY 15, 2019

REV.:

SCALE: 1/4"=1'-0"

DRAWN BY: WG

ENGINEERED BY: WLF

REVIEWED BY: JES

FIRST FLOOR
PLAN

A-4

SQUARE FOOTAGE

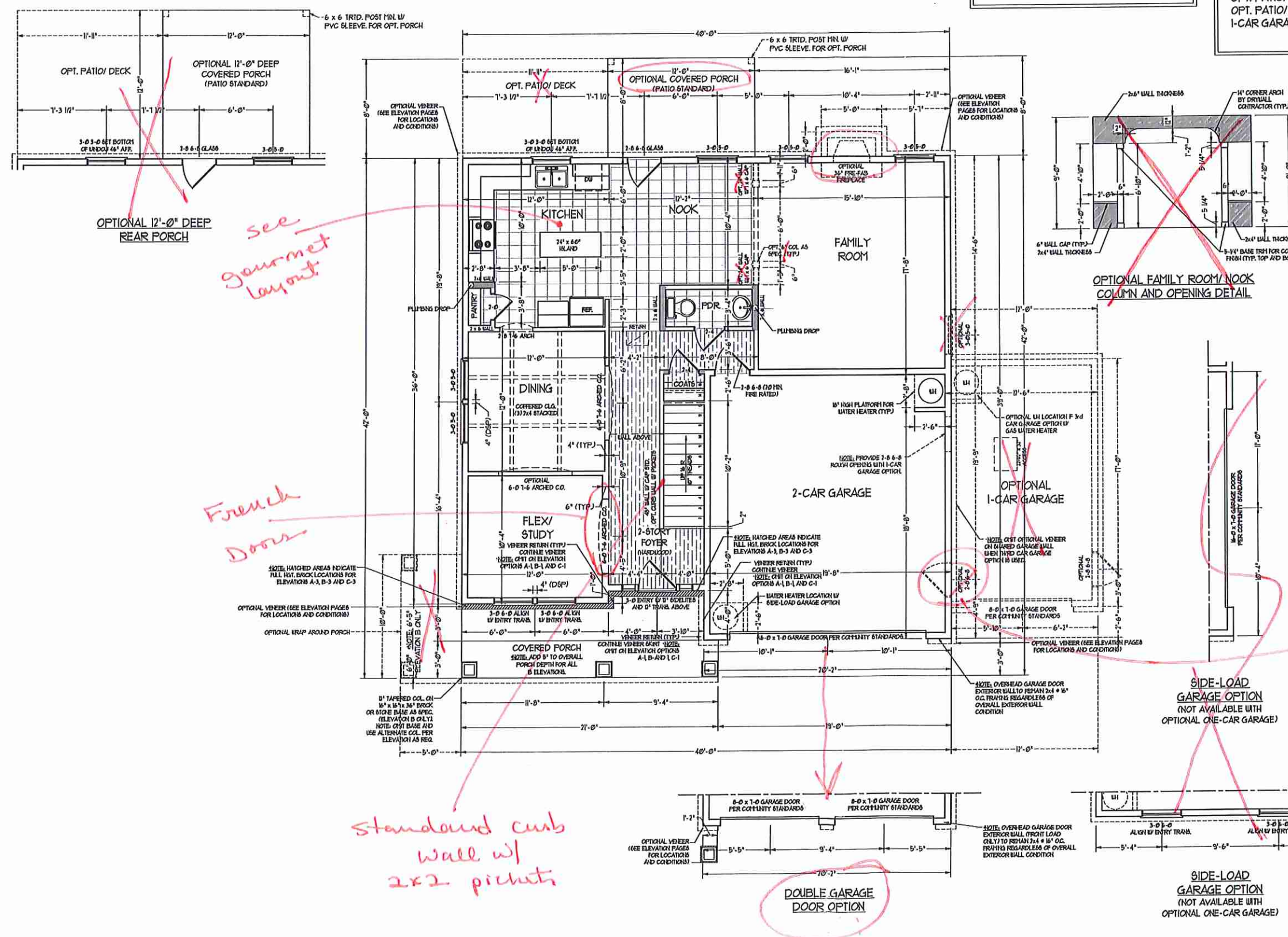
1st FLOOR: 1081 SQ. FT.
2nd FLOOR: 1353 SQ. FT.
TOTAL: 2434 SQ. FT.
FRONT PORCH: 130 SQ. FT.
STD. REAR PATIO: 96 SQ. FT.
GARAGE: 421 SQ. FT.

SQUARE FOOTAGE (OPTIONS)

1ST FLOOR (BRICK): 1131 SQ. FT.
2ND FLOOR (BRICK): 1420 SQ. FT.
TOTAL (BRICK): 2551 SQ. FT.
GARAGE (BRICK): 440 SQ. FT.
FRONT PORCH (WRAP OPTION): 50 SQ. FT.
REAR PORCH (8'-0" DEEP): 96 SQ. FT.
REAR PORCH (12'-0" DEEP): 144 SQ. FT.
OPT. PATIO/ DECK: (8'-0" DEEP): 96 SQ. FT.
OPT. PATIO/ DECK: (12'-0" DEEP): 144 SQ. FT.
1-CAR GARAGE: 240 SQ. FT.

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION



see gourmet layout

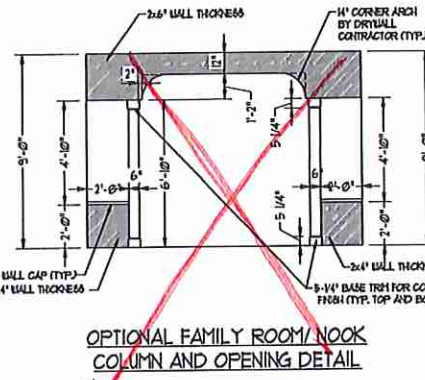
French Doors

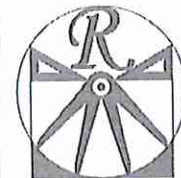
standard curb wall w/ 2x2 pickets

outswing

DOUBLE GARAGE DOOR OPTION

SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)



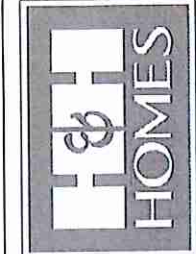


RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT., | RALEIGH, NC 27612
(919) 649-4128
WWW.HUDCATORIAL.COM

"The art of transforming your vision into reality."
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS AND SPECIFICATIONS WITHOUT NOTICE. THESE DIMENSIONS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES THE COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DIMENSIONS ARE NOT TO BE REPRODUCED, COPIED, OR COPIED BY ANY PERSON OR ENTITY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
105 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 788-9919
FAX: (919) 788-9921
N.C. LICENSE NO. C-1133



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND LOT PLAN. DIMENSIONS, ELEVATIONS, AND FINISHES ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE THE GENERAL NOTES FOR COPYRIGHT DETAILS. COPYRIGHT © 2019 H&H HOMES

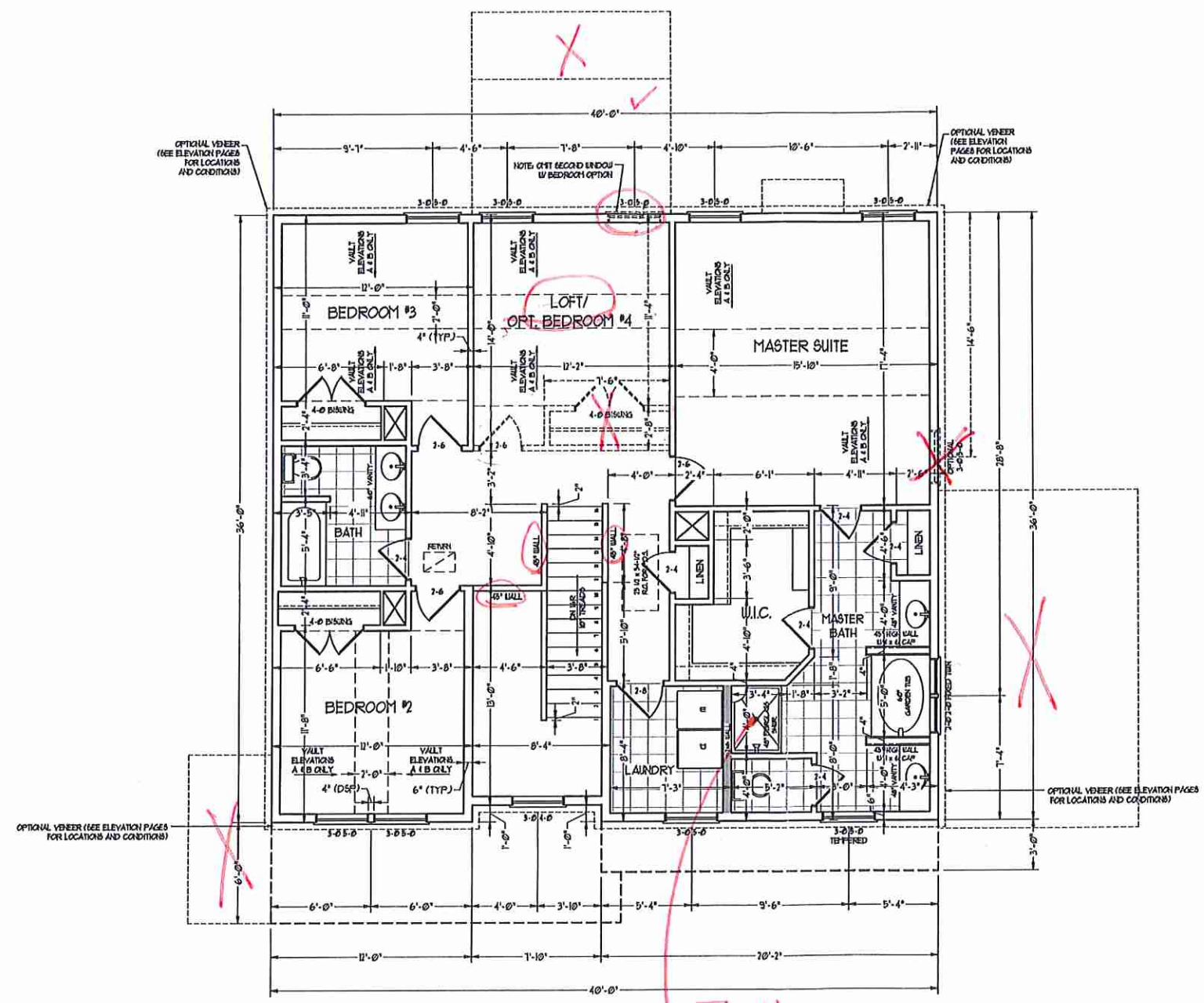
H&H HOMES, INC.
HATTERAS

DATE: JANUARY 15, 2019
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR PLAN
A-5

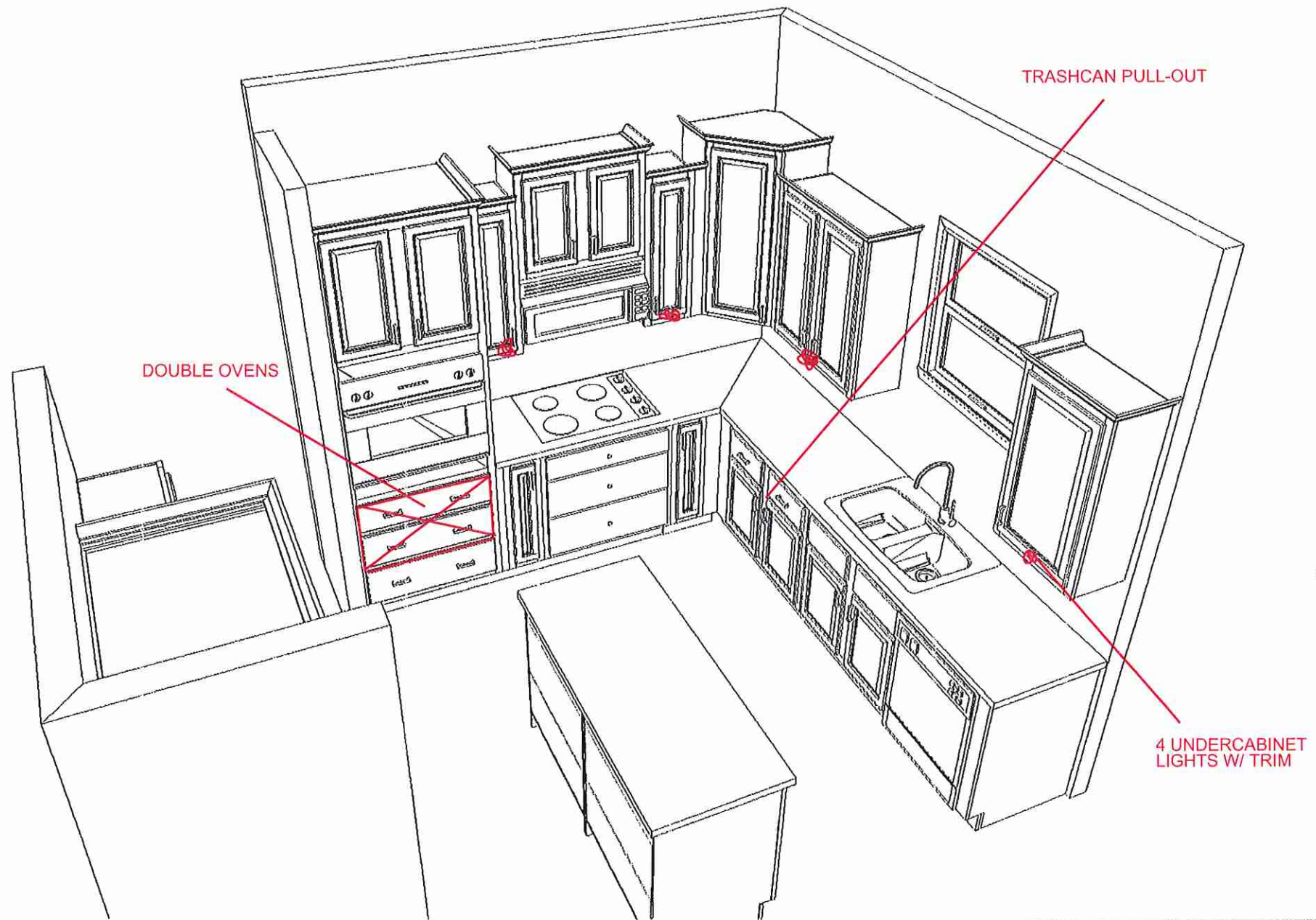
NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL
SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION



Fully Tiled Shower

TH

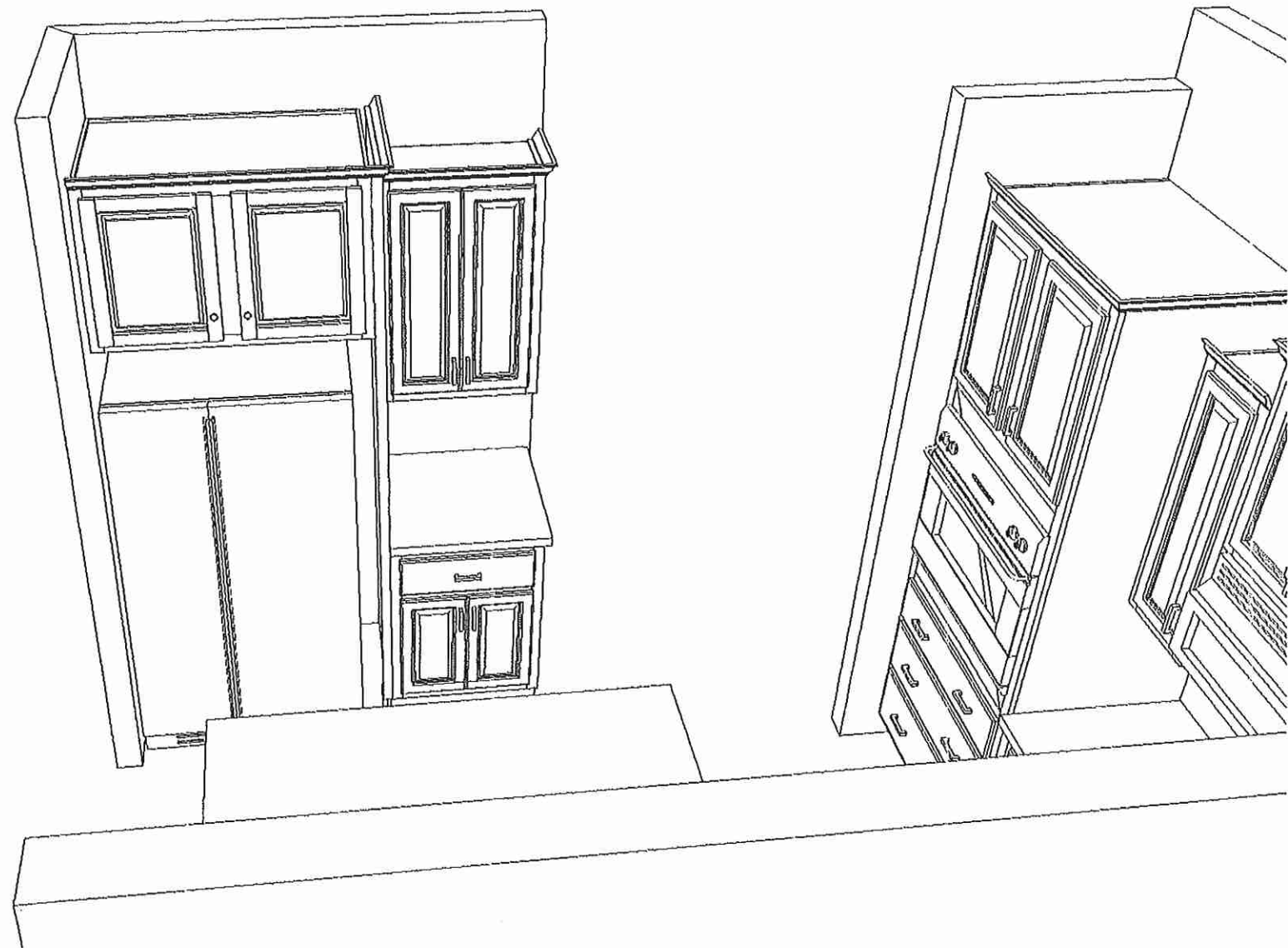


DOUBLE OVENS

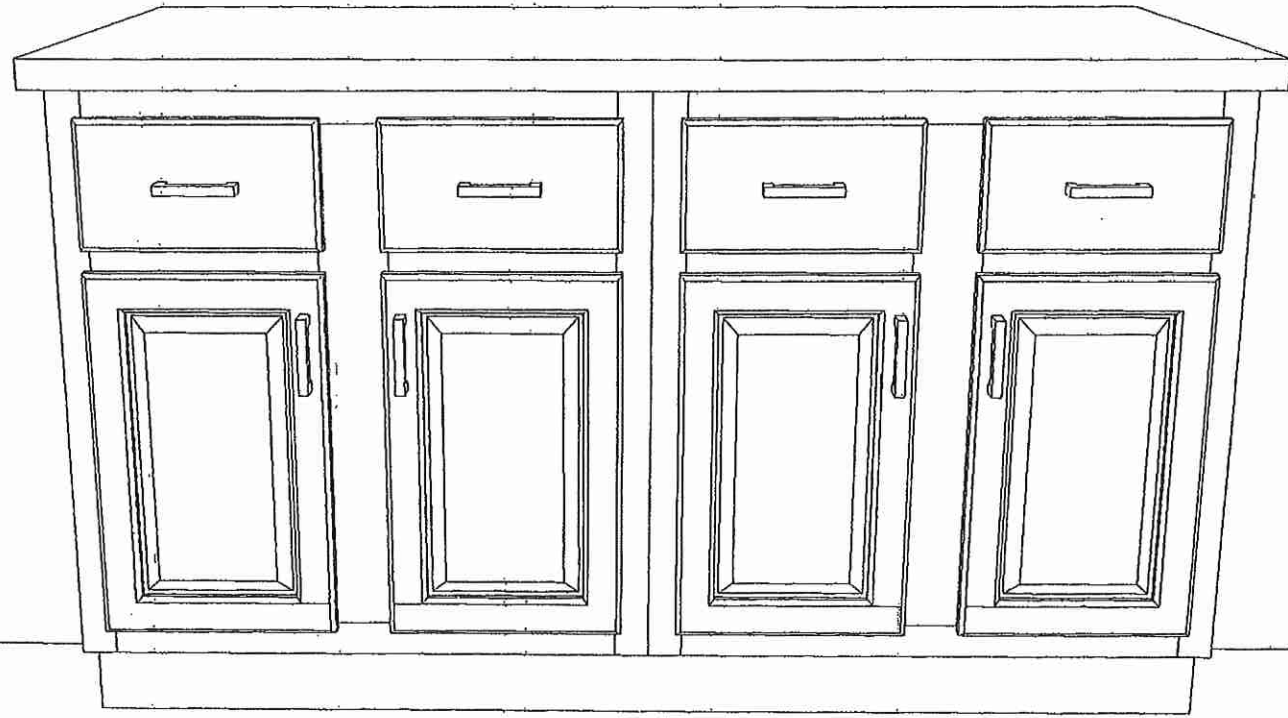
TRASHCAN PULL-OUT

4 UNDERCABINET LIGHTS W/ TRIM

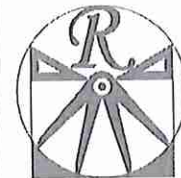
| | |
|------------|---------------------|
| 2020 | Designed: 2/25/2019 |
| | Printed: 2/27/2019 |
| HATTEF All | Drawing #: 1 |



| | |
|------------|---------------------|
| 2020 | Designed: 2/25/2019 |
| | Printed: 2/27/2019 |
| HATTEF All | Drawing #: 1 |



| | |
|-----------|--|
| 2020 | Designed: 4/5/2017 Printed: 7/17/2018 |
| | |
| HATTI All | Drawing #: 1 |



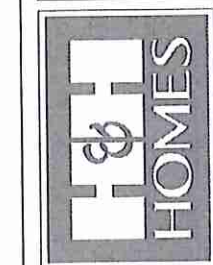
RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.HUDOCATORIAL.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DEVELOPMENTS, MATERIALS AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY DISCLAIMS ITS CONTRACTOR'S LIABILITY FOR ANY OTHER PROVISIONS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. ANY USE OF THESE PLANS WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION IS STRICTLY PROHIBITED.

J.S. THOMPSON
ENGINEERING, INC.
605 WALKER AVE., SUITE 104
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO. 041133



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION DRAWINGS ARE INTENT PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DEVIATION OF THESE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT 2019 H&H HOMES.

H&H HOMES, INC.
HATTERAS

DATE: JANUARY 15, 2019
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES
FIRST FLOOR ELECTRICAL PLAN

E-1

ELECTRICAL LAYOUT NOTES:

- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2) VANITY LIGHTS TO BE SET @ 80" AFF. (TYP.)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL.
- 4) PLACE SWITCHES 6" MIN FROM ROUGH OPENING.

ELECTRICAL LEGEND

- ⊕ 120 V OUTLET
- ⊕ 120 V GFI OUTLET
- ⊕ 120 V SWITCHED OUTLET
- ⊕ 120 V BASEBOARD OUTLET
- ⊕ 4-FLEX
- ⊕ COUNTER OR FLOOR MOUNTED
- ⊕ COUNTER OR FLOOR MOUNTED 120V GFI
- ⊕ LEATHERPROOF
- ⊕ 220 V OUTLET
- ⊕ 120 V DEDICATED CIRCUIT
- ⊕ 220 V DEDICATED CIRCUIT
- ⊕ SPECIAL PURPOSE (140 V, ETC.)
- ⊕ WALL MOUNT LIGHT
- ⊕ CEILING MOUNT LIGHT
- ⊕ PENDANT LIGHT
- ⊕ RECESSED CAN LIGHT
- ⊕ MINI CAN LIGHT
- ⊕ EYEBALL LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ UNDERCABINET LIGHT
- ⊕ FLOOD LIGHT
- ⊕ SWITCH
- ⊕ 3-WAY SWITCH
- ⊕ 4-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ TELEPHONE
- ⊕ TV CONNECTION
- ⊕ CORDSET FOR COMPONENT WIRING
- ⊕ BREAKER
- ⊕ DOORBELL CHIME
- ⊕ 120 V SMOKE DETECTOR
- ⊕ EXHAUST FAN
- ⊕ LOW VOLTAGE PANEL

- ⊕ CEILING FAN
- ⊕ CEILING FAN W/ LIGHT

4 UCL's w/ Trim

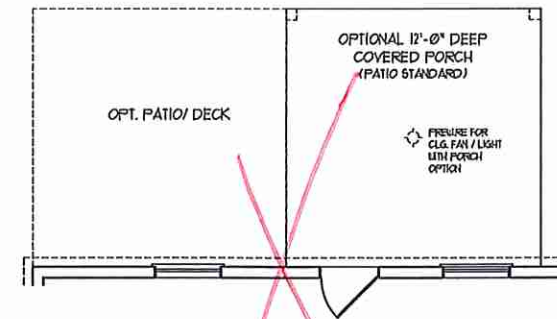
110v Outlet for TV
See Plan

Floods @ both
corners

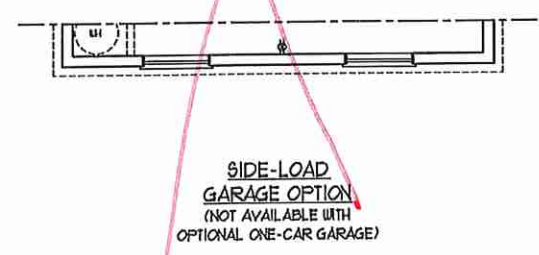
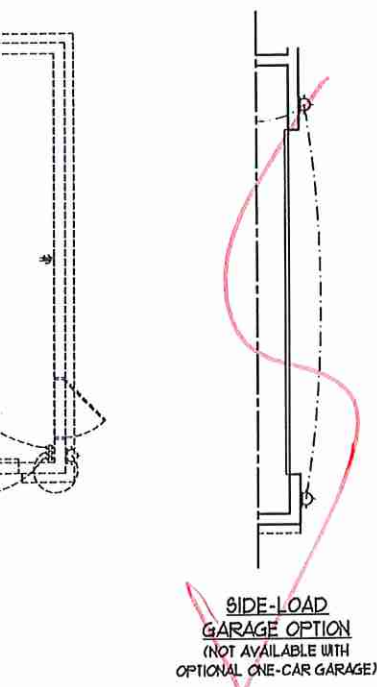
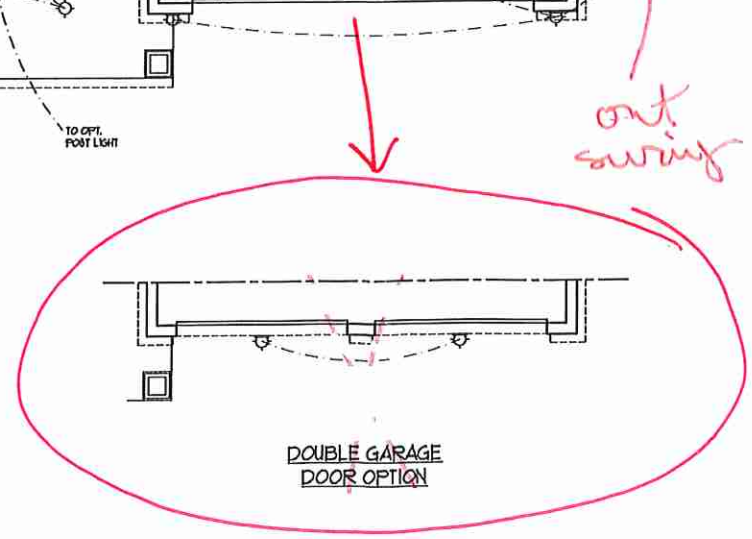
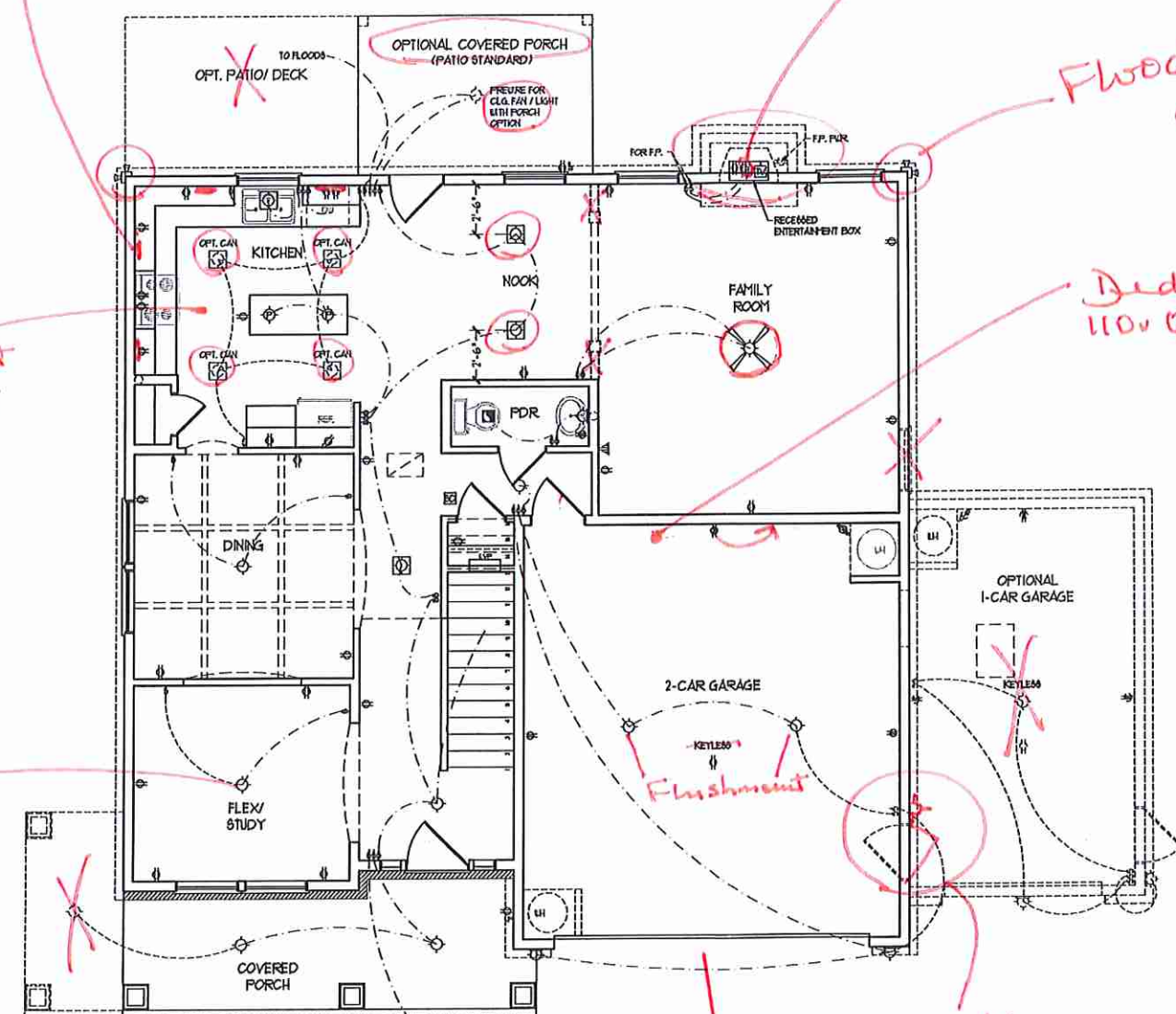
Dedicated
110v Ⓢ

see
gourmet
layout

pressure for
Fan

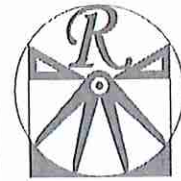


OPTIONAL 12'-0" DEEP REAR PORCH



out swing

TH



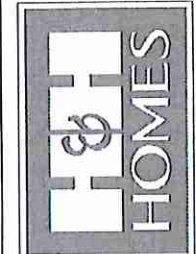
RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT. | RALEIGH, NC 27612
(919) 619-4128
WWW.RDNCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, P.C. HEREBY EXPRESSLY RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, ARCHITECTURAL DETAILS AND SPECIFICATIONS WITH OUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COMPLYING WITH AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, P.C. HEREBY EXPRESSLY RESERVES THE COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND CONCEPTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, P.C. FOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
600 WADE AVE., SUITE 104
RALEIGH, NC 27609
PHONE: (919) 768-0919
FAX: (919) 768-0921
N.C. LICENSE NO. C1133



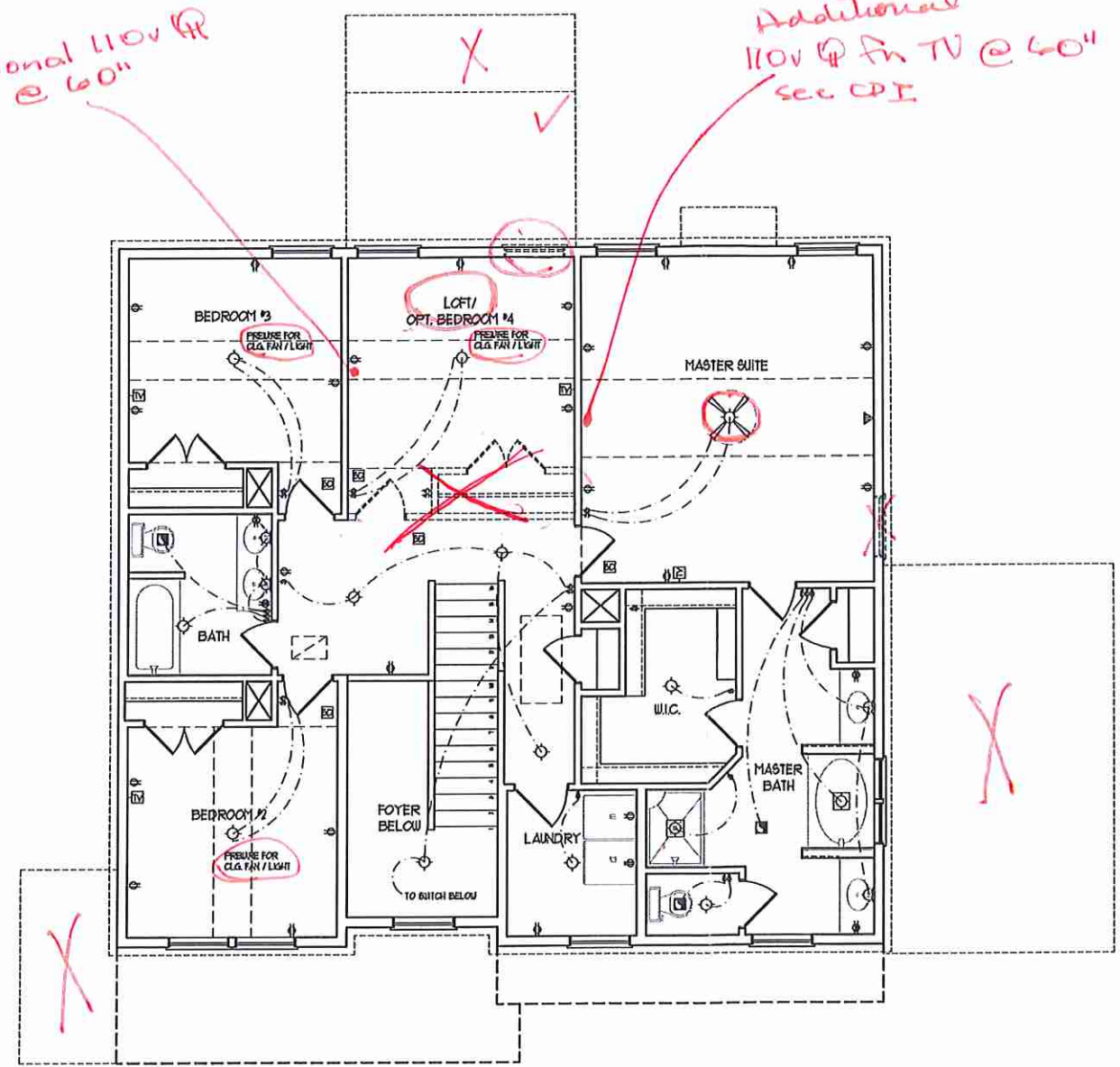
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNATIONS AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY SURVEY. THESE ARE PRELIMINARY FLOOR PLANS AND ARE NOT TO BE USED FOR CONSTRUCTION. PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. H&H HOMES, INC. 2019 H&H HOMES. CURRENT DETAILS. COPYRIGHT 2019 H&H HOMES.

H&H HOMES, INC.
HATTERAS

DATE: JANUARY 15, 2019
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES
SECOND FLOOR ELECTRICAL PLAN
E-2

Additional 110v for Fan TV @ 60"

Additional 110v for Fan TV @ 60" see CD I

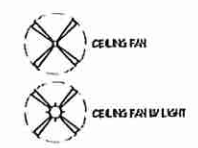


ELECTRICAL LAYOUT NOTES:

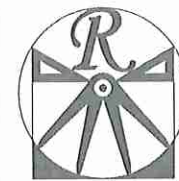
- 1) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN
- 2) VANITY LIGHTS TO BE SET 4" 50" AFF. (TYP)
- 3) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICAL
- 4) PLACE SWITCHES 8" MIN FROM ROUGH OPENING

ELECTRICAL LEGEND

- ⊙ 120 V OUTLET
- ⊙ 120 V GFI OUTLET
- ⊙ 120 V SWITCHED OUTLET
- ⊙ 120 V BASEBOARD OUTLET
- ⊙ 4-FLEX
- ⊙ COUNTER OR FLOOR MOUNTED
- ⊙ COUNTER OR FLOOR MOUNTED TOY GFI
- ⊙ LEATHERPROOF
- ⊙ 240 V OUTLET
- ⊙ 240 V DEDICATED CIRCUIT
- ⊙ 240 V DEDICATED CIRCUIT
- ⊙ SPECIAL PURPOSE (240 V, ETC.)
- ⊙ WALL MOUNT LIGHT
- ⊙ CEILING MOUNT LIGHT
- ⊙ PENDANT LIGHT
- ⊙ RECESSED CAN LIGHT
- ⊙ MINI CAN LIGHT
- ⊙ EYEBALL LIGHT
- ⊙ FLUORESCENT LIGHT
- ⊙ UNDERCABINET LIGHT
- ⊙ FLOOD LIGHT
- ⊙ SWITCH
- ⊙ 3-WAY SWITCH
- ⊙ 4-WAY SWITCH
- ⊙ DIMMER SWITCH
- ⊙ TELEPHONE
- ⊙ TV CONNECTION
- ⊙ CONDUIT FOR COMPONENT WIRING
- ⊙ SPEAKER
- ⊙ DOORBELL CHIME
- ⊙ 120 V SMOKE DETECTOR
- ⊙ EXHAUST FAN
- ⊙ LOW VOLTAGE PANEL



TH



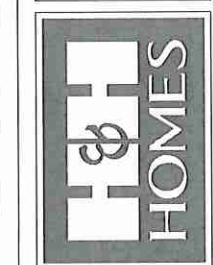
RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENHIST CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RRDCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, ELEVATIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE CHANGES ARE FOR THE PURPOSE OF COVERING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY ASSUMES ITS CONSTRUCTION RESPONSIBILITY AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON ENGINEERING, INC.
100 WADE AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO. C1173



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOORPLANS, ELEVATIONS, DESIGN, CONSTRUCTION, ACTUAL POSITION OF HOUSE ON LOT, CONSTRUCTION, ACTUAL POSITION OF HOUSE ON LOT, FLOOR PLANS AND ELEVATIONS ARE THE PROPERTY OF H&H HOMES, INC. ANY USE, REPRODUCTION, ADAPTATION, OR DISSEMINATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF H&H HOMES, INC. IS STRICTLY PROHIBITED. COPYRIGHT © 2019 H&H HOMES

NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 6 @ 16" O.C. (UNO). 2 x 4 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 6 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

LINTEL SCHEDULE FOR BRICK/NATURAL STONE SUPPORT

| LENGTH (FT.) | SIZE OF LINTEL |
|---------------|------------------------|
| UP TO 4 FT. | L 3 1/2 x 3 1/2 x 1/4 |
| 4-8 | L 5 x 3 1/2 x 5/16 LLV |
| 8 AND GREATER | L 6 x 4 x 5/16 LLV |

- BRICK SUPPORT NOTES:**
- LINTEL SCHEDULE APPLIES TO ALL OPENINGS IN BRICK VENEER (UNO). SEE ARCH. DETAILS FOR SIZE AND LOCATION OF OPENINGS.
 - (LLV) = LONG LEG VERTICAL
 - LENGTH + CLEAR OPENING
 - EMBED ALL ANGLE IRONS MIN. 4" EACH SIDE INTO VENEER TO PROVIDE BEARING.
 - FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, ATTACH STEEL ANGLE TO HEADER W/ 1/2" LAG SCREWS @ 12" O.C. STAGGERED.
 - FOR ALL BRICK SUPPORT @ ROOF LINES, FASTEN (2) 2 x 10 BLOCKING BETWEEN STUDS W/ (4) 8d NAILS PER PLY, FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING W/ (2) 1/2" LAG SCREWS @ 12" O.C. STAGGERED. SEE SECTION R103.B2) OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATIONAL.
 - PRECAST REINFORCED CONCRETE LINTELS ENGINEERED BY OTHERS MAY BE USED IN LIEU OF STEEL LINTELS.

TABLE R6-07.15
MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

| HEADER SPAN (FEET) | MAXIMUM STUD SPACING (INCHES) (PER TABLE R6-07.15) | 24 | 16 |
|--------------------|--|----|----|
| UP TO 3' | 16 | 2 | 1 |
| 4' | 12 | 3 | 2 |
| 6' | 8 | 5 | 3 |
| 8' | 6 | 6 | 4 |

- STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE 5/8" (UNO). ALL TREATED LUMBER TO BE 5/8" (UNO).
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 10 (UNO).
 - INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
 - WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO). SEE TABLE R6-07.15 FOR ADDITIONAL KING STUD REQUIREMENTS.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO).
 - FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
 - FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE GILL PLATES THEIR FULL DEPTH.
 - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS W/ 8d BUSHING ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO).
 - FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLABS W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

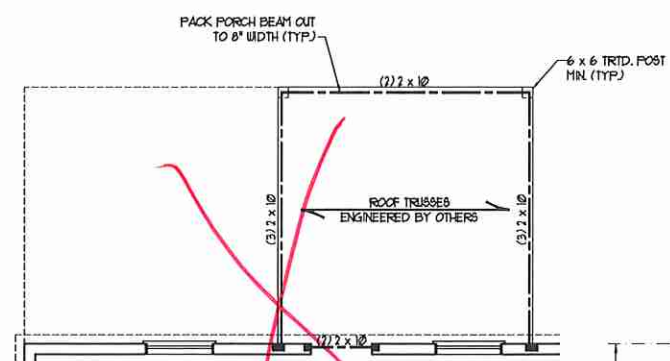
D&P - DOUBLE STUD POCKET



H&H HOMES, INC.
HATTERS

DATE: JANUARY 15, 2019
REV.:
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

SECOND FLOOR FRAMING PLAN
S-2



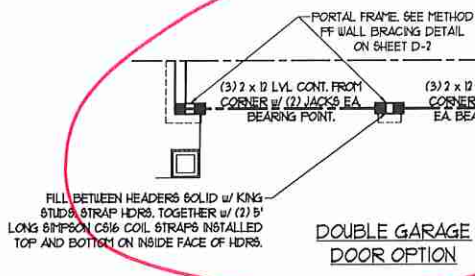
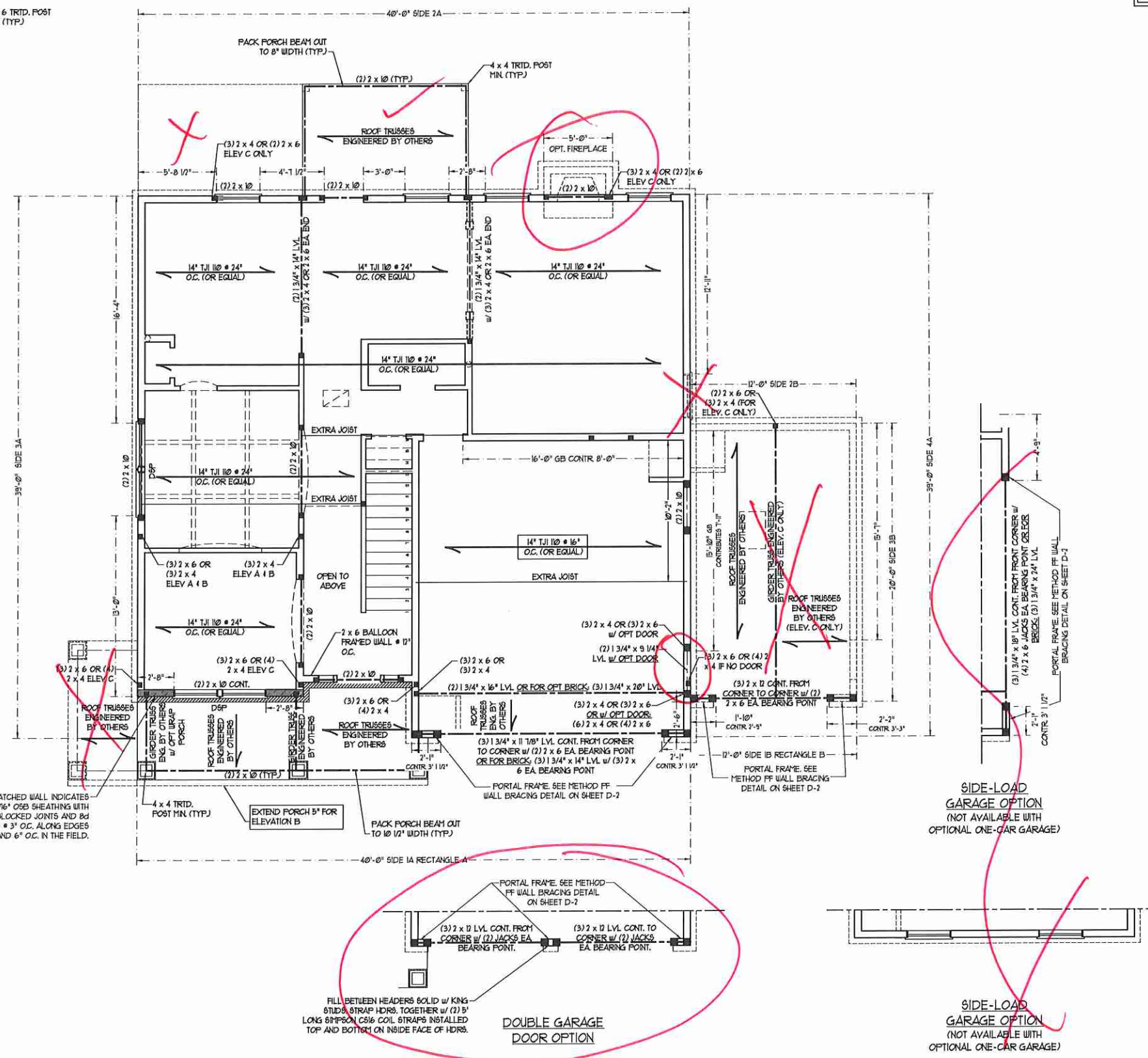
OPTIONAL 12'-0" DEEP REAR PORCH

- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R6-07.10 OF THE NRC 2018 EDITION.
 - CS-USP REFERS TO 'CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS'. CONTRACTOR IS TO INSTALL 1/2" OSB ON ALL EXTERIOR WALLS ATTACHED W/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.
 - 'GB' REFERS TO 'GYPSUM BOARD'. CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
 - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

BRACED WALL DESIGN

| RECTANGLE A | | RECTANGLE B | |
|-------------------------------|-------------------------------|-------------------------------|-------------------------------|
| SIDE 1A (FRONT LOAD) | SIDE 1B | SIDE 1B | SIDE 1B |
| METHOD: CS-USP/GB/FF | METHOD: CS-USP/FF | METHOD: CS-USP/FF | METHOD: CS-USP/FF |
| TOTAL REQUIRED LENGTH: 16.2' | TOTAL REQUIRED LENGTH: 4.56' | TOTAL REQUIRED LENGTH: 4.56' | TOTAL REQUIRED LENGTH: 4.56' |
| TOTAL PROVIDED LENGTH: 19.58' | TOTAL PROVIDED LENGTH: 6' | TOTAL PROVIDED LENGTH: 6' | TOTAL PROVIDED LENGTH: 6' |
| SIDE 2A | SIDE 2B | SIDE 2B | SIDE 2B |
| METHOD: CS-USP/GB | METHOD: CS-USP | METHOD: CS-USP | METHOD: CS-USP |
| TOTAL REQUIRED LENGTH: 16.2' | TOTAL REQUIRED LENGTH: 4.56' | TOTAL REQUIRED LENGTH: 4.56' | TOTAL REQUIRED LENGTH: 4.56' |
| TOTAL PROVIDED LENGTH: 21' | TOTAL PROVIDED LENGTH: 12' | TOTAL PROVIDED LENGTH: 12' | TOTAL PROVIDED LENGTH: 12' |
| SIDE 3A | SIDE 3B | SIDE 3B | SIDE 3B |
| METHOD: CS-USP | METHOD: CS-USP | METHOD: CS-USP | METHOD: CS-USP |
| TOTAL REQUIRED LENGTH: 16.6' | TOTAL REQUIRED LENGTH: 3.19' | TOTAL REQUIRED LENGTH: 3.19' | TOTAL REQUIRED LENGTH: 3.19' |
| TOTAL PROVIDED LENGTH: 23.33' | TOTAL PROVIDED LENGTH: 15.58' | TOTAL PROVIDED LENGTH: 15.58' | TOTAL PROVIDED LENGTH: 15.58' |
| SIDE 4A (SIDE LOAD) | SIDE 4B/A SQUARED | SIDE 4B/A SQUARED | SIDE 4B/A SQUARED |
| METHOD: CS-USP/FF | METHOD: CS-USP/GB | METHOD: CS-USP/GB | METHOD: CS-USP/GB |
| TOTAL REQUIRED LENGTH: 16.6' | TOTAL REQUIRED LENGTH: 19.79' | TOTAL REQUIRED LENGTH: 19.79' | TOTAL REQUIRED LENGTH: 19.79' |
| TOTAL PROVIDED LENGTH: 20.18' | TOTAL PROVIDED LENGTH: 23.33' | TOTAL PROVIDED LENGTH: 23.33' | TOTAL PROVIDED LENGTH: 23.33' |

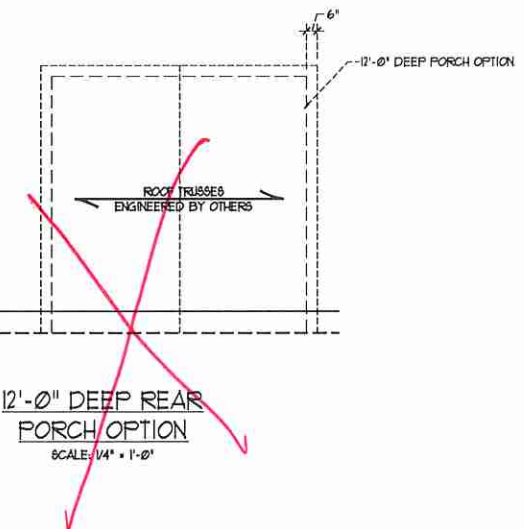
HATCHED WALL INDICATES 1/2" OSB SHEATHING WITH BLOCKED JOINTS AND 8d NAILS @ 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.



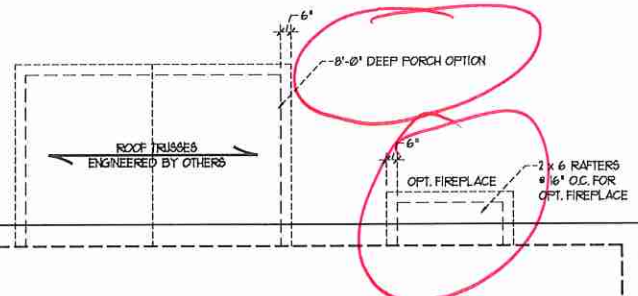
SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

SIDE-LOAD GARAGE OPTION (NOT AVAILABLE WITH OPTIONAL ONE-CAR GARAGE)

ATTIC VENT CALCULATION:
163 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 1.1 SQ. FT. OF NET FREE VENTILATING AREA (MIN).



ATTIC VENT CALCULATION:
11 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 0.1 SQ. FT. OF NET FREE VENTILATING AREA (MIN).

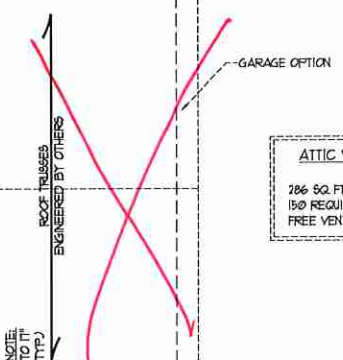


ATTIC VENT CALCULATION:
1185 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 11.9 SQ. FT. OF NET FREE VENTILATING AREA (MIN).

- STRUCTURAL NOTES:**
1. ALL FRAMING LUMBER TO BE #2 SPP (INO).
 2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
 3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
 4. HIP SPICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS # 16" O.C. (TYP.)
 5. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS # 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
 6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2BA HURRICANE TIES # 3/4" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
 7. REFER TO SECTION R802.1 OF THE 2018 NRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
 8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

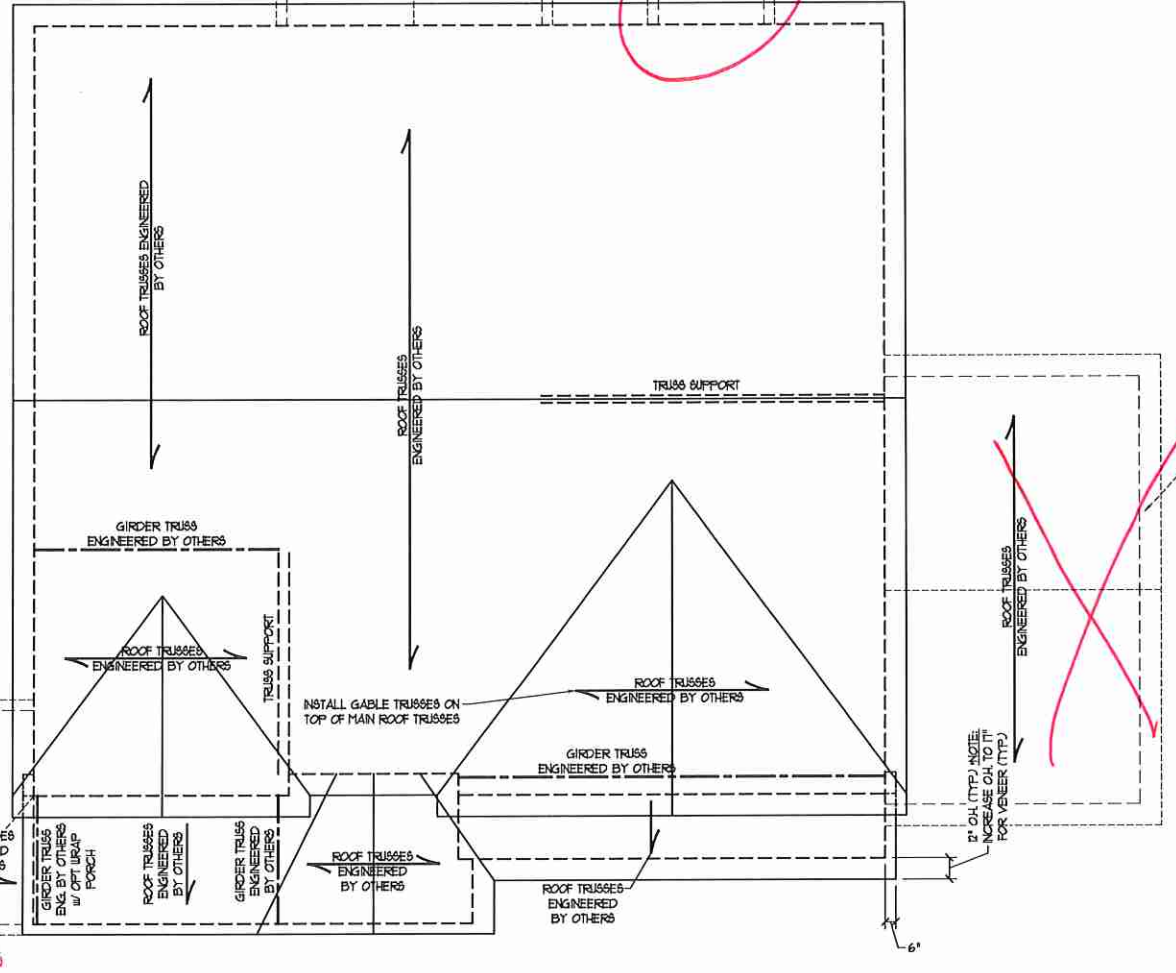
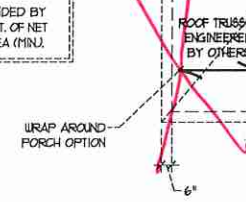
12'-0" DEEP REAR PORCH OPTION
SCALE: 1/4" = 1'-0"

ATTIC VENT CALCULATION:
286 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 1.9 SQ. FT. OF NET FREE VENTILATING AREA (MIN).

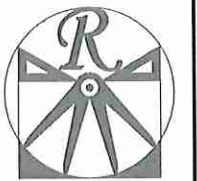


- BRICK SUPPORT NOTE:**
1. FASTEN (2) 2 x 10 BLOCKING BETWEEN WALL STUDS w/ (4) 12d NAILS PER FLY. FASTEN A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING w/ (2) 1/2" LAG SCREWS # 1" O.C. STAGGERED. SEE SECTION R103.B.21 OF THE 2018 NRC FOR ADDITIONAL BRICK SUPPORT INFORMATION.
 2. WHERE ROOF SLOPES EXCEED 1:12, INSTALL 3" x 3" x 1/4" STEEL PLATE STOPS AT 24" O.C. PER SECTION R103.B.21 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.

ATTIC VENT CALCULATION:
61 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 0.4 SQ. FT. OF NET FREE VENTILATING AREA (MIN).



ELEVATION A & B



RENAISSANCE
RESIDENTIAL DESIGN, INC.
4810 GLENNIST CT., 1 RALEIGH, NC 27612
(919) 649-4128
WWW.RRD-CAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NO PART OF THESE PLANS IS TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
1406 WAIN AVE., SUITE 104
RALEIGH, NC 27605
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO. C1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS, AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND LOT PLAN. THESE PLANS AND DRAWINGS ARE THE PROPERTY OF H&H HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. H&H HOMES, INC. IS AN EQUAL OPPORTUNITY HOME BUILDER. COPYRIGHT © 2018 H&H HOMES

H&H HOMES, INC.
HATTERAS

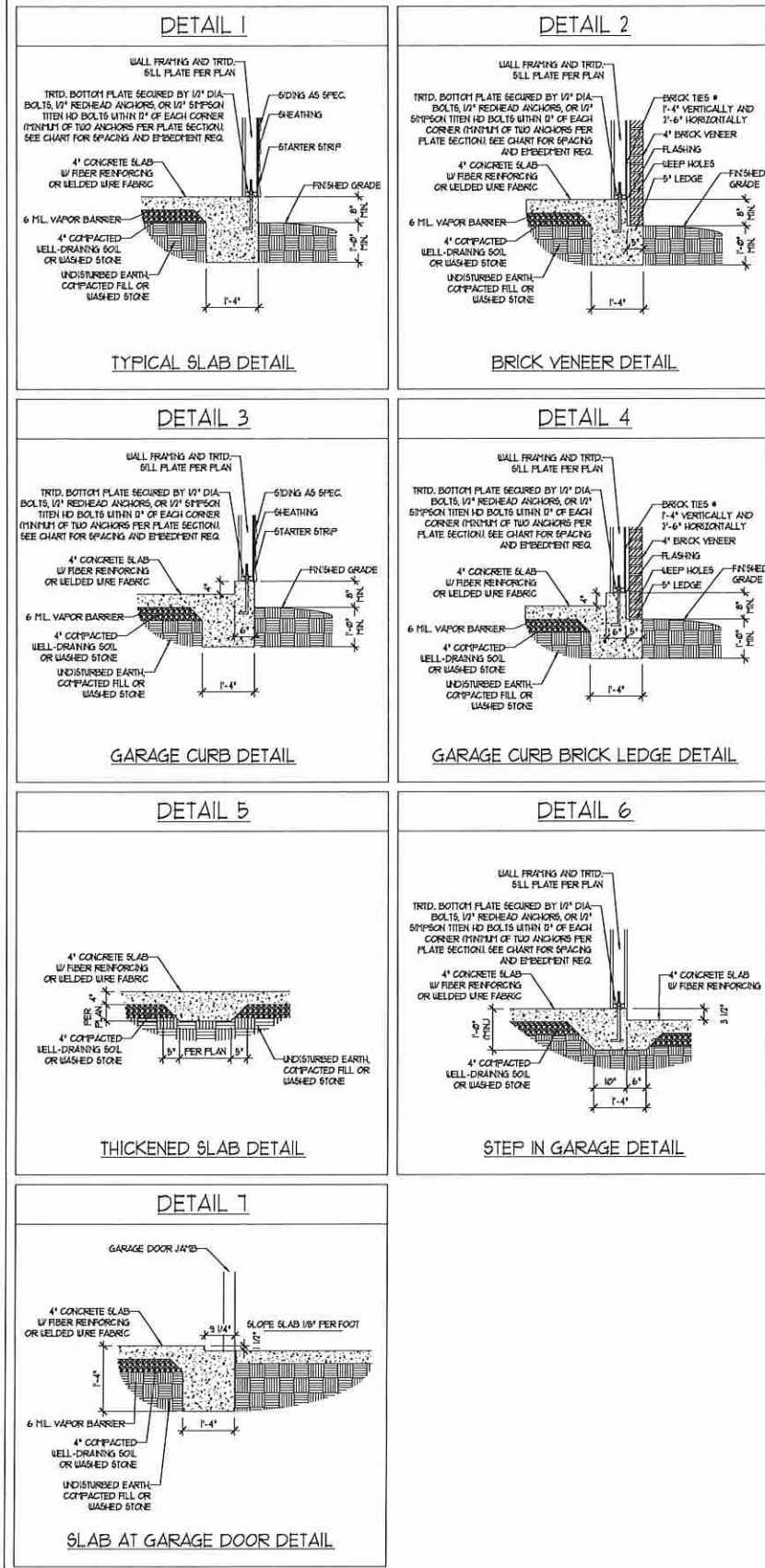
DATE: JANUARY 15, 2019
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY: WLF
REVIEWED BY: JES

ROOF PLAN
ELEVATIONS
A & B

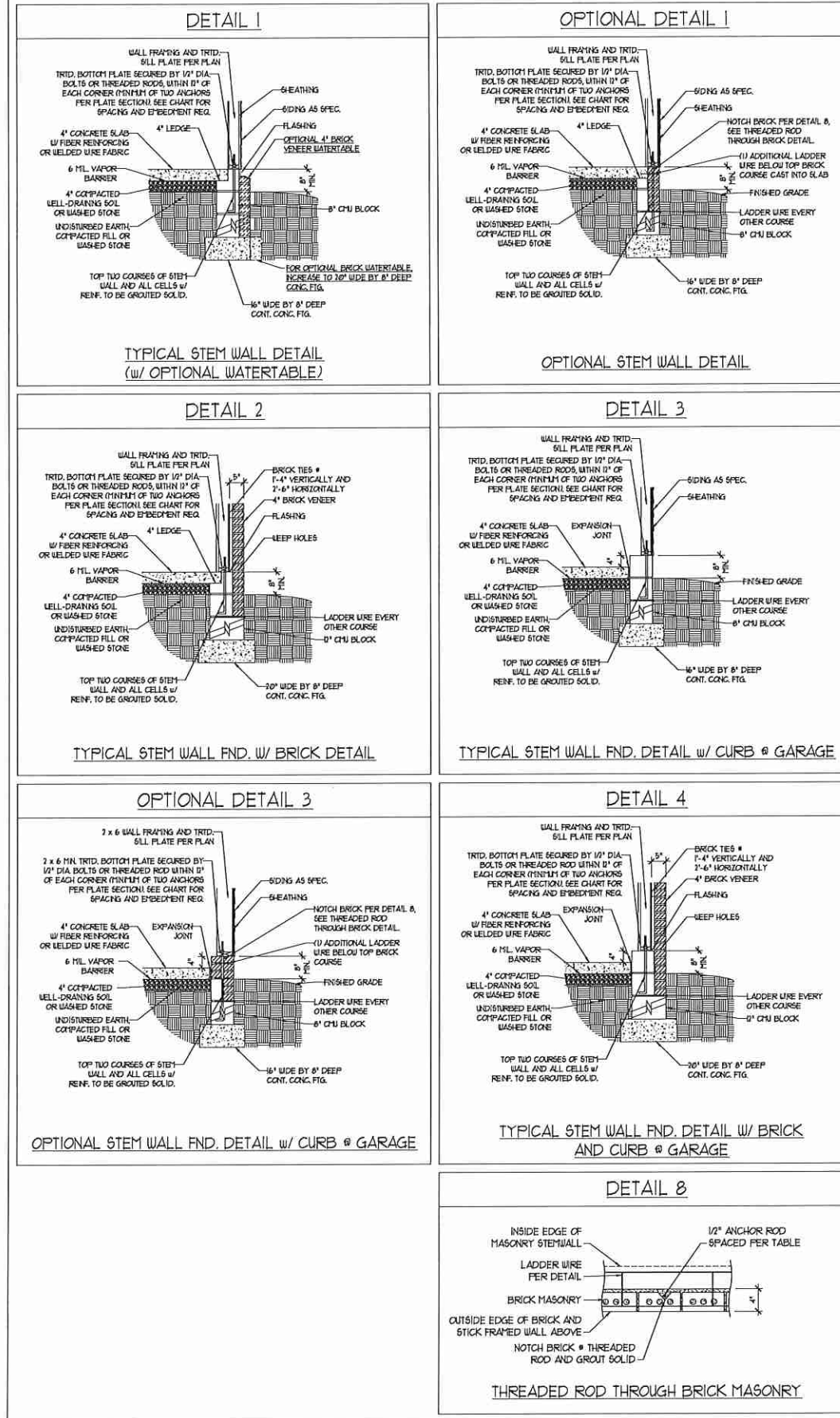
S-4



MONOLITHIC SLAB DETAILS



STEMWALL DETAILS



MASONRY STEMWALL SPECIFICATIONS

| WALL HEIGHT (FEET) | MASONRY WALL TYPE | | | |
|--------------------|--|------------------------------------|------------------------------------|------------------------------------|
| | 8" CMU | 4" BRICK AND 4" CMU | 4" BRICK AND 8" CMU | 12" CMU |
| 2 AND BELOW | UNGROUTED | GROUT SOLID | UNGROUTED | UNGROUTED |
| 3 | UNGROUTED | GROUT SOLID | UNGROUTED | UNGROUTED |
| 4 | GROUT SOLID | GROUT SOLID w/ #4 REBAR @ 48" O.C. | GROUT SOLID | GROUT SOLID w/ #4 REBAR @ 64" O.C. |
| 5 | GROUT SOLID w/ #4 REBAR @ 36" O.C. | NOT APPLICABLE | GROUT SOLID w/ #4 REBAR @ 36" O.C. | GROUT SOLID w/ #4 REBAR @ 64" O.C. |
| 6 | GROUT SOLID w/ #4 REBAR @ 24" O.C. | NOT APPLICABLE | GROUT SOLID w/ #4 REBAR @ 24" O.C. | GROUT SOLID w/ #4 REBAR @ 64" O.C. |
| 1 AND GREATER | ENGINEERED DESIGN BASED ON SITE CONDITIONS | | | |

STRUCTURAL NOTES:

1. WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
2. TIE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY, CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE.
4. BACKFILL OF CLEAN #57 / #61 WASHED STONE IS ALLOWABLE.
5. BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 PSF FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.
6. PREP SLAB PER R506.2.1 AND R506.2.2 BASE OF THE 2018 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 24" LAP SPLICE LENGTH.
7. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
8. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.

ANCHOR SPACING AND EMBEDMENT

| WIND ZONE | 120 MPH | 130 MPH |
|-----------|------------|--------------------------------------|
| SPACING | 6'-0" O.C. | 4'-0" O.C. |
| EMBEDMENT | 1' | 15" INTO MASONRY 1" INTO CONCRETE |

J.S. THOMPSON ENGINEERING, INC.
606 WADE AVE., SUITE 104 RALEIGH, NC 27605
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C11733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
FOUNDATION DETAILS

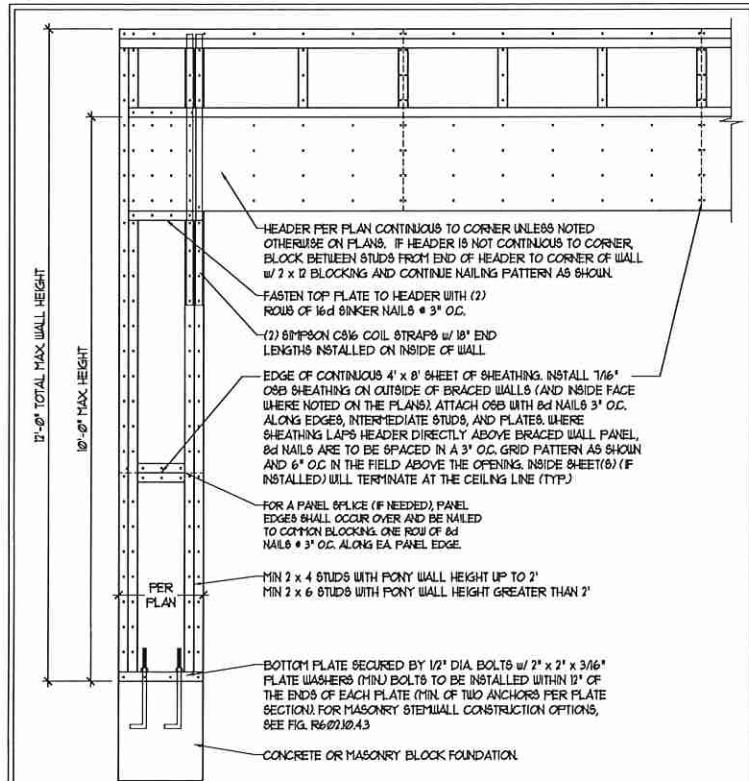
DATE: NOVEMBER 14, 2018
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JES



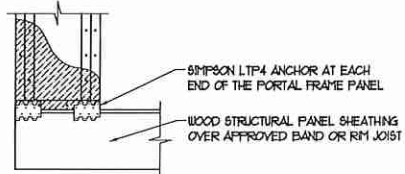
D-1
FOUNDATION DETAILS

GENERAL WALL BRACING NOTES:

1. WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NRC.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
3. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS, DIMENSIONS, HOLD DOWN TYPE AND LOCATIONS, BRACED WALL LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
4. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH C5-WSF IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R102.3.5, METHOD GB TO BE FASTENED PER TABLE R602.10.1.
6. C5-WSF REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 1/6" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.131" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
7. GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL. FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 1" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UNO). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R102.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). EXTERIOR GB TO BE INSTALLED VERTICALLY.
8. REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD C5-WSF CONTRIBUTES ITS ACTUAL LENGTH, METHOD GB CONTRIBUTES 5/8 ITS ACTUAL LENGTH, AND METHOD FF CONTRIBUTES 15 TIMES ITS ACTUAL LENGTH.

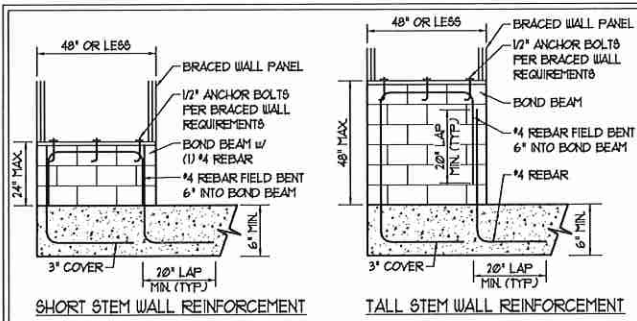


OVER CONCRETE OR MASONRY BLOCK FOUNDATION



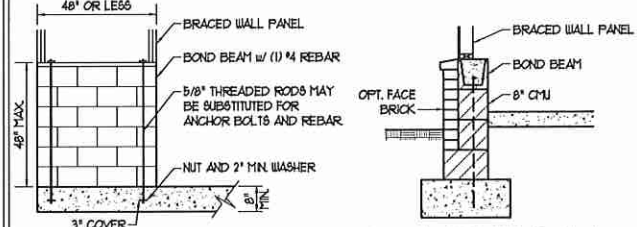
OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION
 * APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRAWL SPACE AND ABOVE FRAMED BASEMENT WALLS *

METHOD FF-PORTAL FRAME DETAIL ①



SHORT STEM WALL REINFORCEMENT

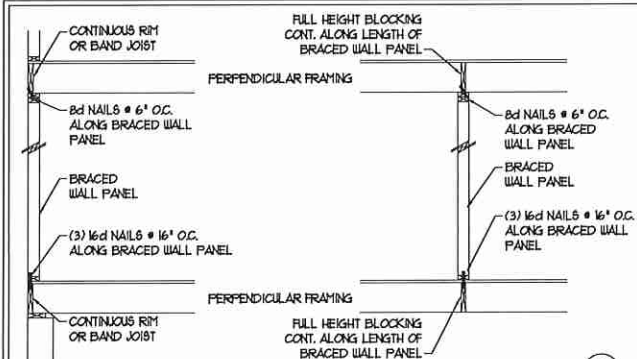
TALL STEM WALL REINFORCEMENT



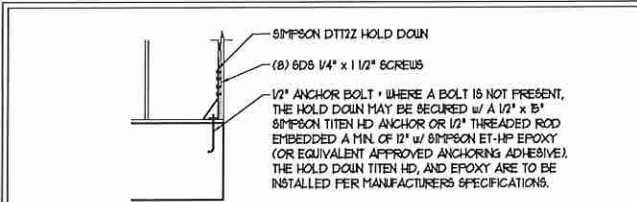
OPTIONAL STEM WALL REINFORCEMENT

TYPICAL STEM WALL SECTION

NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS
MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS ②
 PER FIGURE R602.10.4.3

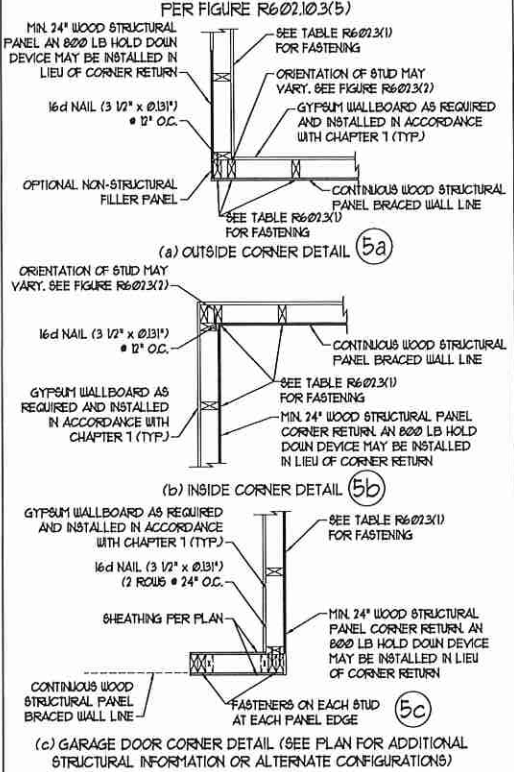


BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING ③
 PER FIGURE R602.10.4.4(1)

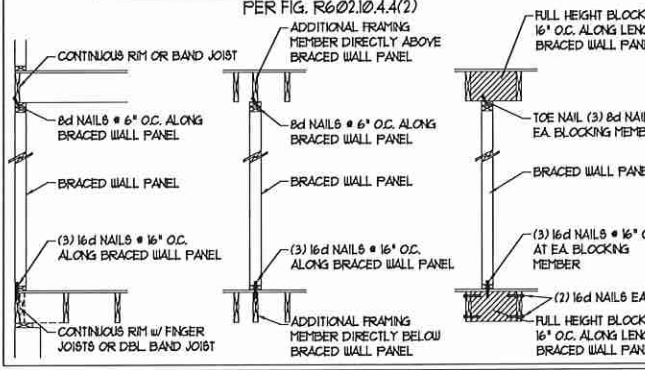


HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④
 * APPLICABLE ONLY WHERE SPECIFIED ON PLAN *

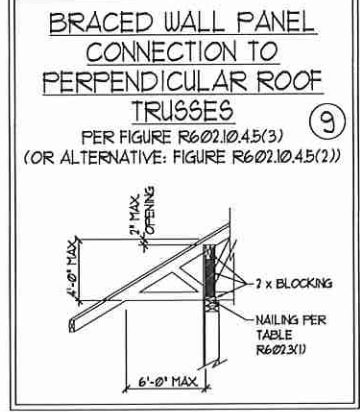
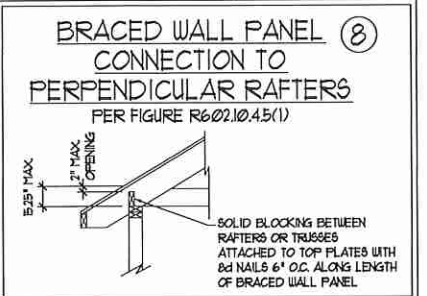
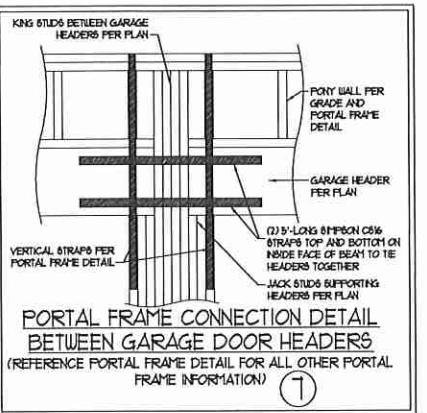
TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING ⑤



BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑥



This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23



J.S. THOMPSON ENGINEERING, INC.
 606 WADE AVE., SUITE 104 RALEIGH, NC 27605
 PHONE: (919) 789-9919 FAX: (919) 789-9921
 N.C. LICENSE NO.: C-1713

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
 WALL BRACING NOTES AND DETAILS

DATE: NOVEMBER 14, 2018
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JST
 ENGINEERED BY: JST

D-2
 BRACED WALL NOTES AND DETAILS AND FF DETAIL



GENERAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRC, 2018 EDITION (R301.4 - R301.7)

| DESIGN CRITERIA: | LIVE LOAD (PSF) | DEAD LOAD (PSF) | DEFLECTION (IN) |
|--------------------------------|--|-----------------|-----------------------------------|
| ATTIC WITH LIMITED STORAGE | 20 | 10 | L/740 (L/360 w/ BRITTLE FINISHES) |
| ATTIC WITHOUT STORAGE | 10 | 10 | L/360 |
| DECKS | 40 | 10 | L/360 |
| EXTERIOR BALCONIES | 40 | 10 | L/360 |
| FIRE ESCAPES | 40 | 10 | L/360 |
| HANDRAILS/GUARDRAILS | 700 LB OR 50 (FLP) | 10 | L/360 |
| PASSENGER VEHICLE GARAGE | 50 | 10 | L/360 |
| ROOMS OTHER THAN SLEEPING ROOM | 40 | 10 | L/360 |
| SLEEPING ROOMS | 30 | 10 | L/360 |
| STAIRS | 40 | 10 | L/360 |
| WIND LOAD | (BASED ON TABLE R301.4) WIND ZONE AND EXPOSURE | | |
| GROUND SNOW LOAD, Pg | 20 (PSF) | | |

 - I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
 - FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- FOR 15 AND 20 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.6 OF THE NRC, 2018 EDITION. FOR 30 MPH, 40 MPH, AND 50 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRC, 2018 EDITION.
- ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405J OF THE NRC, 2018 EDITION.
- PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - 1" DEEP CONTROL JOINTS ARE TO BE SAUED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60, WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR 5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR 6 BARS OR LARGER.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C710.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NCHA TR68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1X(1), R404.1X(2), R404.1X(3), OR R404.1X(4) OF THE NRC, 2018 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1X(5) OF THE NRC, 2018 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16' O.C. WHERE GRADE PERMITS (UNO).

This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23

FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE 12 8FT MINIMUM (Fb = 815 PSI, Fv = 375 PSI, E = 16,000,000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE 12 8FT MINIMUM (Fb = 515 PSI, Fv = 115 PSI, E = 16,000,000 PSI) UNLESS NOTED OTHERWISE (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 16,000 PSI, Fv = 285 PSI, E = 1,800,000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2315 PSI, Fv = 310 PSI, E = 1,800,000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 1,800,000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2300 PSI, E = 2,000,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

| | |
|--------------------------------|--------------------------------|
| A. W AND WT SHAPES: | ASTM A992 |
| B. CHANNELS AND ANGLES: | ASTM A36 |
| C. FLATES AND BARS: | ASTM A36 |
| D. HOLLOW STRUCTURAL SECTIONS: | ASTM A500 GRADE B |
| E. STEEL PIPE: | ASTM A53, GRADE B, TYPE E OR S |
- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2' AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARINGS FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):

| | |
|----------------------------|---|
| A. WOOD FRAMING | (1) 1/2" DIA x 4" LONG LAG SCREWS |
| B. CONCRETE | (2) 1/2" DIA x 4" WEDGE ANCHORS |
| C. MASONRY (FULLY GROUTED) | (2) 1/2" DIA x 4" LONG SIMPSON TITEN HD ANCHORS |

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF 6ELF TAPPING SCREWS # 16' O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS # 16' O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 3/16" DIAMETER HOLES # 16' O.C.
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.1(1) AND R602.1(2) OF THE NRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER. ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.15 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
- ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANUFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UNO). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 10d NAILS EA. FLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R103.2(2) OF THE NRC, 2018 EDITION.
- FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 10d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
- ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED USING ONE SIMPSON L6 OR L705 UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE 16' SECTION OF SIMPSON C916 COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TRUSS STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

J.S. THOMPSON ENGINEERING, INC
 606 WADE AVE., SUITE 104 RALEIGH, NC 27605
 PHONE: (919) 789-9919 FAX: (919) 789-9921
 N.C. LICENSE NO.: C-1733

120 MPH - 130 MPH ULTIMATE DESIGN WIND SPEED
 STANDARD STRUCTURAL NOTES

DATE: NOVEMBER 14, 2018
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JES
 ENGINEERED BY: JST



S.O.
 STRUCTURAL
 NOTES