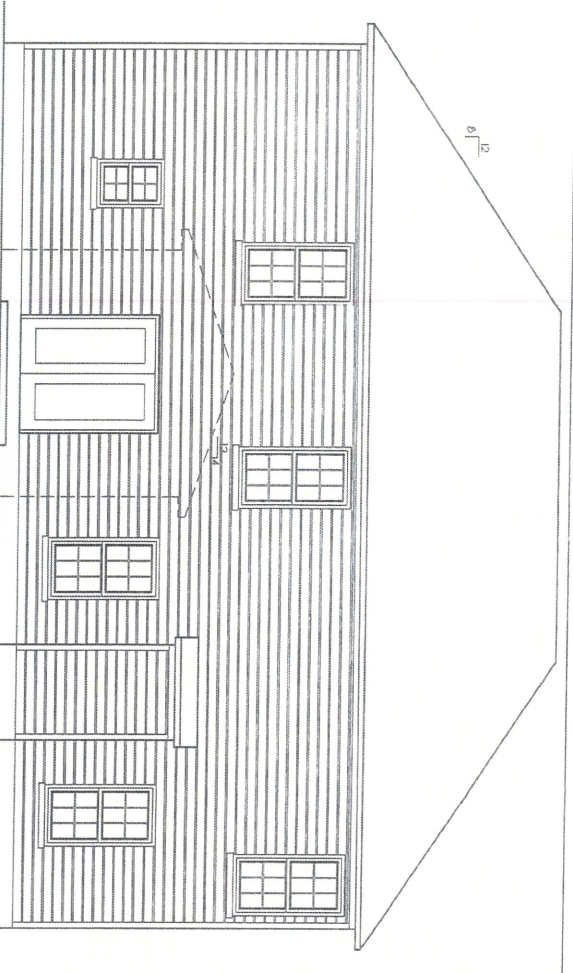
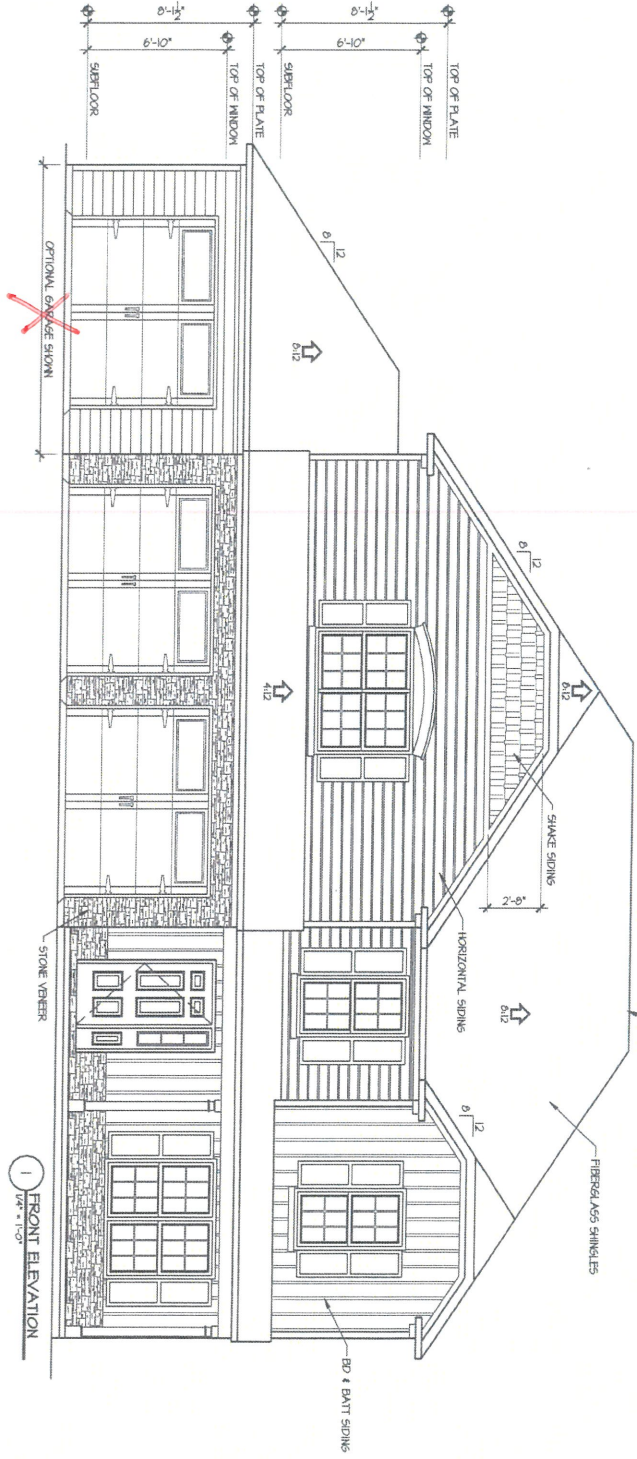


NOTICE TO CONTRACTOR
 All construction shall comply with current NC Building Codes and all applicable local ordinances and regulations.

APPROVED
 Limited liability with review.
 Permit holder responsible for full compliance with the code.

09/09/2020




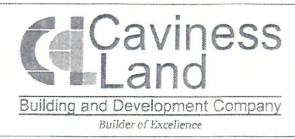


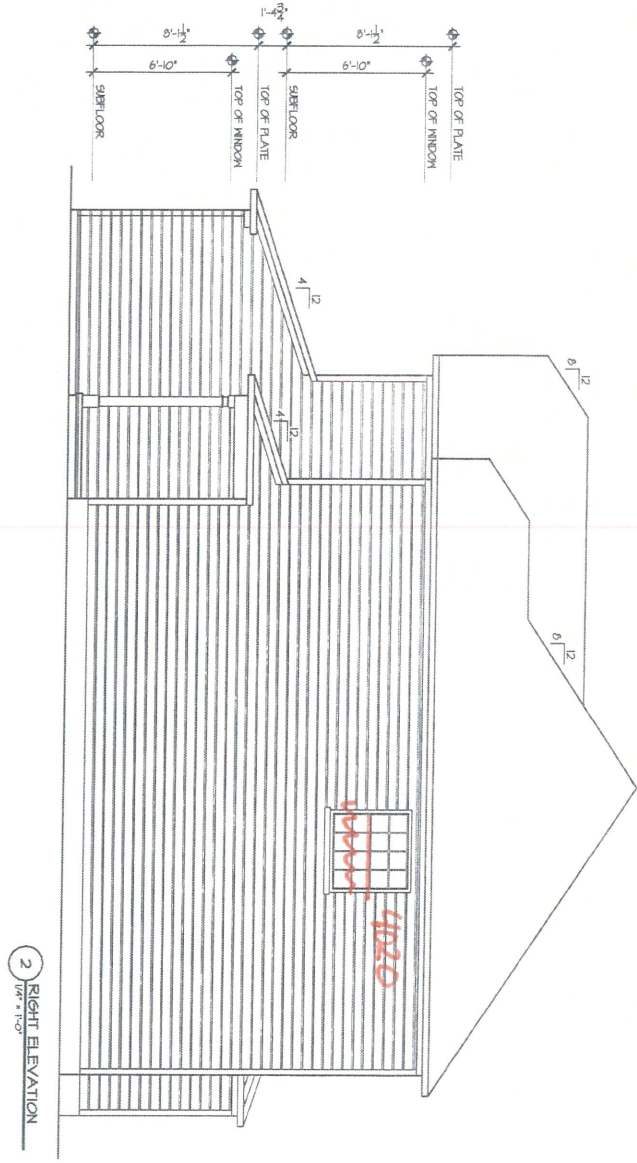
ATTIC VENT CALC'S.

ATTIC AREA	1288 SF	N/A
6" GABLE VENTS		
6" RIDGE VENTS	35 L.F. / 5 SF. (99#)	
SOFFIT VENT	130 L.F. / 8 SF. (64#)	
RATIO:	$\frac{132}{1288} = \frac{100}{1000}$	

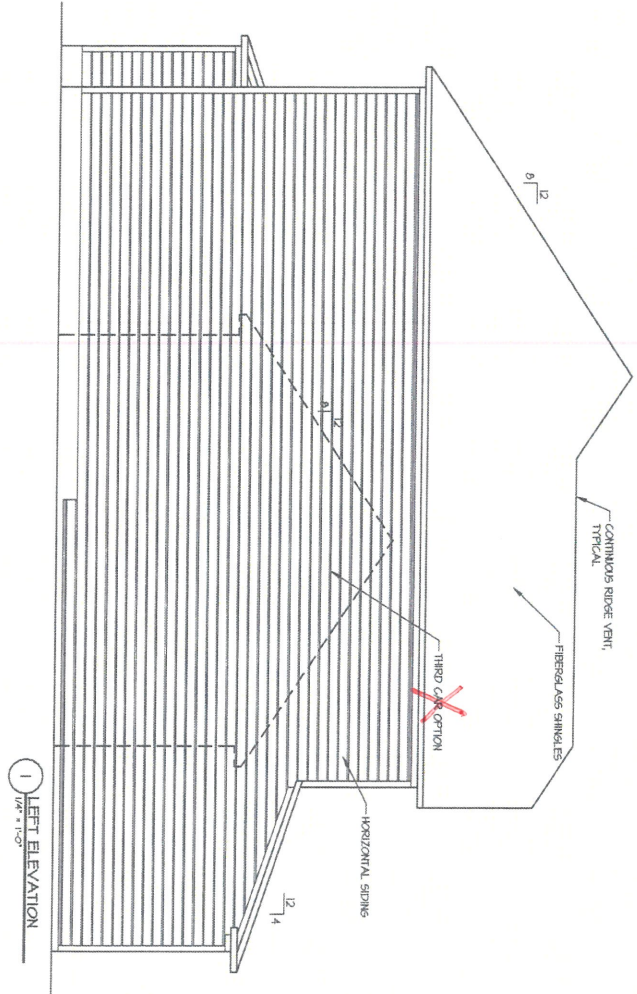
SPACE DATA

FIRST FLOOR, HEATED	1022 SF
SECOND FLOOR, HEATED	1298 SF
FRONT PORCH	102 SF
OPTIONAL REAR PORCH	144 SF
GARAGE	504 SF
THIRD CAR GARAGE	200 SF

<p>SHEET NO.</p> <p>1</p>	<p>DATE:</p> <p>NOVEMBER 2012</p>	<p>PLAN NAME/NUMBER:</p> <p>CL2310-4</p>	<p>TODD TUCKER, 34-156 FORTFIELD-WISE™ PROFESSIONAL 910-824-1474</p> 	<p>10418 Roberson Street Fayetteville, NC 28305 Office: 910-339-6330 Fax: 910-339-6333</p>	<p>@ 2018 Caviness Land</p>	 <p>Building and Development Company Builder of Excellence</p>
	<p>REVISIONS:</p> <p>10/16/12 BATH / REAR DOOR</p>	<p>SHEET TITLE:</p> <p>ELEVATIONS</p>				



2 RIGHT ELEVATION
1/4" = 1'-0"

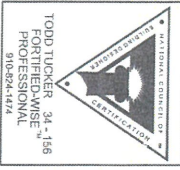


1 LEFT ELEVATION
1/4" = 1'-0"



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PLAN NAME/NUMBER:
CL2310-4

DATE:
NOVEMBER 2012

SHEET TITLE:
ELEVATIONS

REVISIONS:
1/01/10 1/22 BATH / REAR DOOR

SHEET NO.
2

● Plumbing drop

GENERAL NOTE:
ALL 2x4 WALLS DRAWN AS 3 1/2"
ALL 2x6 WALLS DRAWN AS 5 1/2"

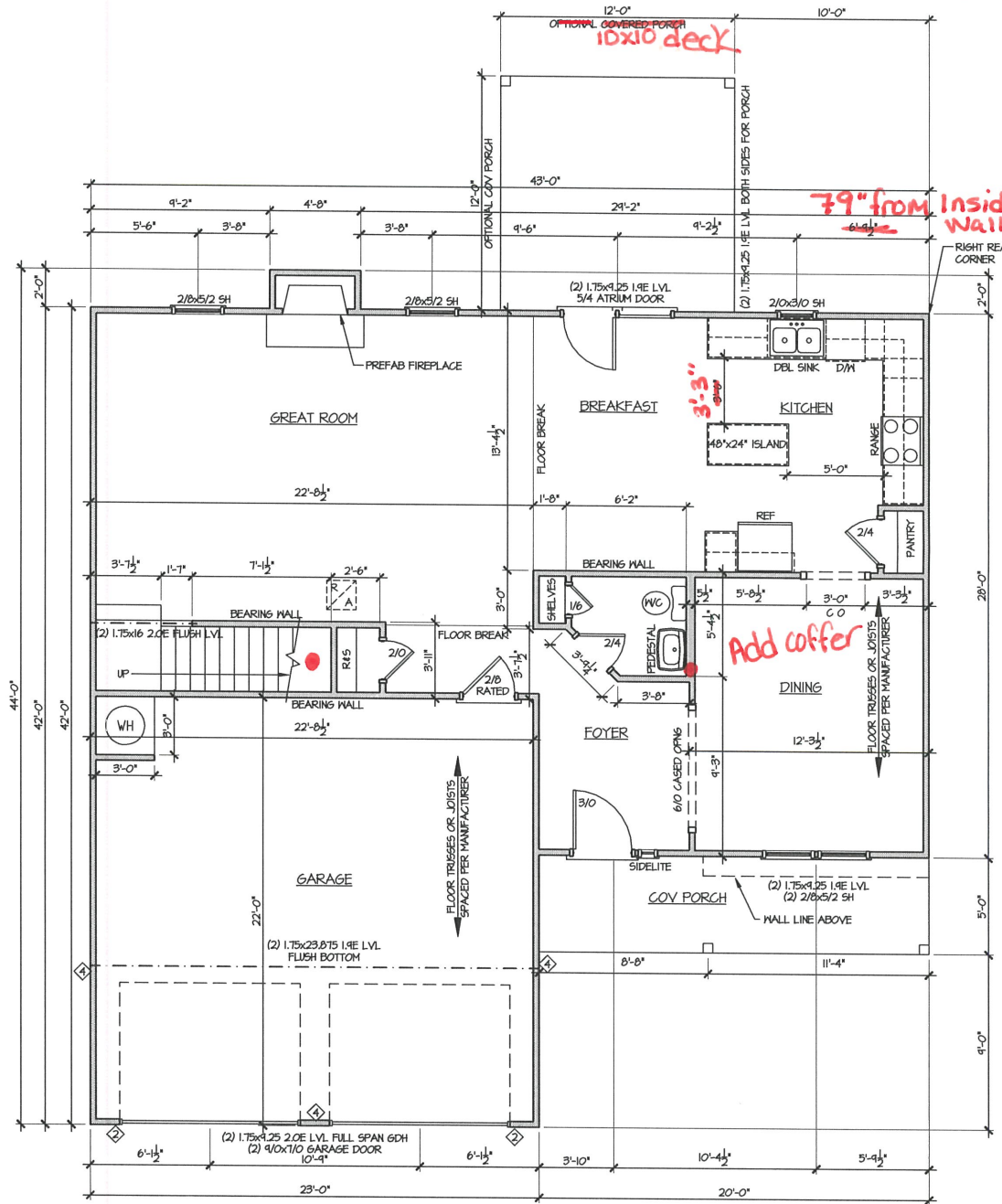
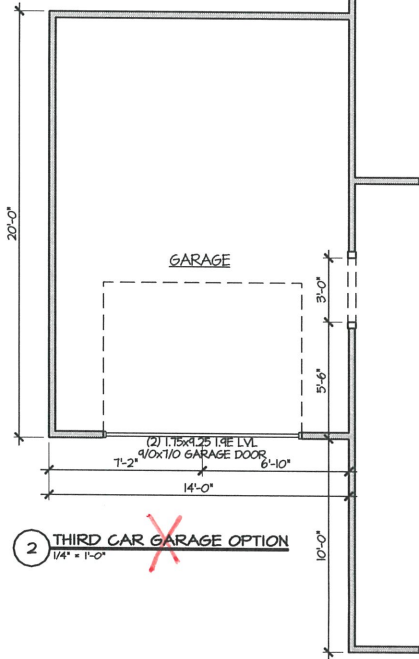
ALL EXTERIOR DIMENSIONS INCLUDE
WALL SHEATHING

ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS:
ALL OPENINGS, WINDOW & DOOR HEADERS TO BE
(2) 2x10 SPF #2 & (2) STUDS ON EACH SIDE
UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE

ARROW INDICATES SPAN DIRECTION



1 FIRST FLOOR
1/4" = 1'-0"



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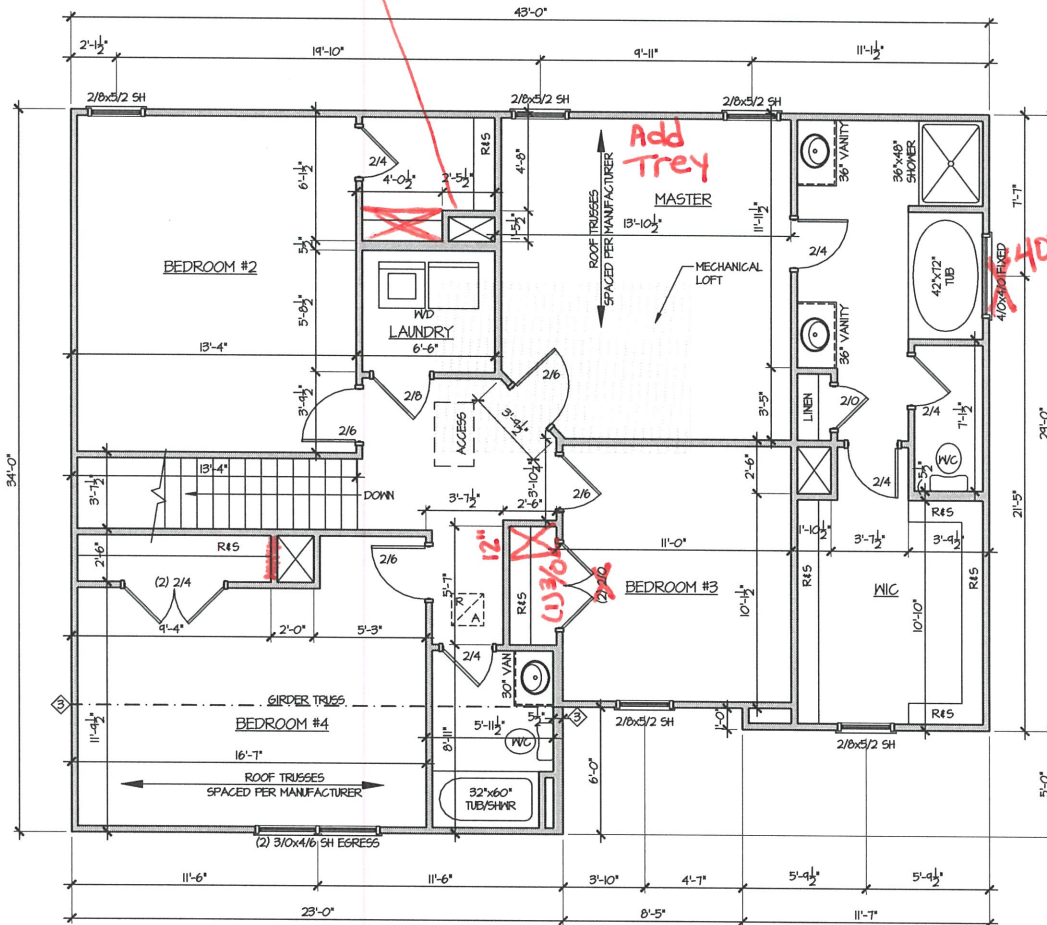
PLAN NUMBER: **CL2310-4**
SHEET TITLE: **FIRST FLOOR PLAN**

DATE: **NOVEMBER 2012**

REVISIONS:
10/11/12 1/2 BATH / REAR DOOR
8/1/11 36"x48" SHOWER

SHEET NO:

4



1 SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTE:
ALL 2x4 WALLS DRAWN AS 3 1/2"
ALL 2x6 WALLS DRAWN AS 5 1/2"

ALL EXTERIOR DIMENSIONS INCLUDE
WALL SHEATHING
ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS:
ALL OPENINGS, WINDOW & DOOR HEADERS TO BE
(2) 2x8 SFF #2 & (2) STUDS ON EACH SIDE
UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE
ARROW INDICATES SPAN DIRECTION



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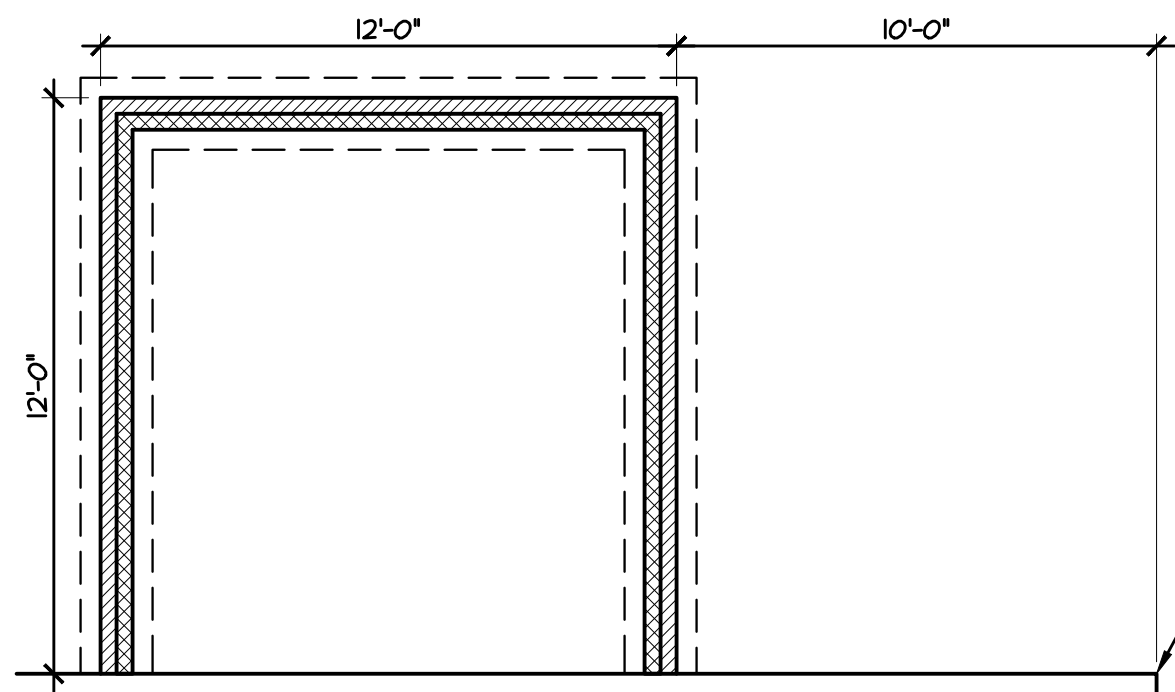
PLAN NUMBER: **CL2310-4**
SHEET TITLE: **SECOND FLOOR PLAN**

DATE:
NOVEMBER 2012

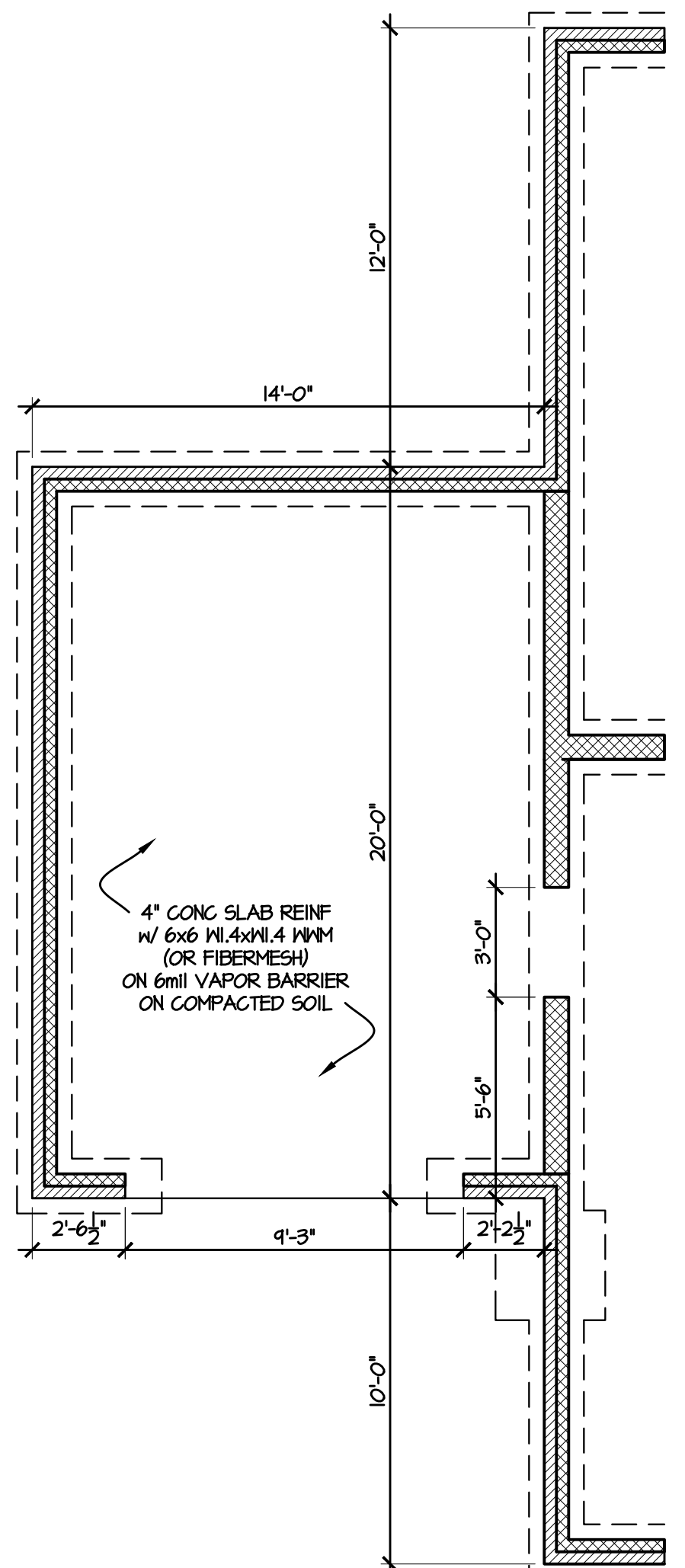
REVISIONS:
10/11/10 1/2 BATH / REAR DOOR
8/7/19 36"x48" SHOWER

SHEET NO:
5

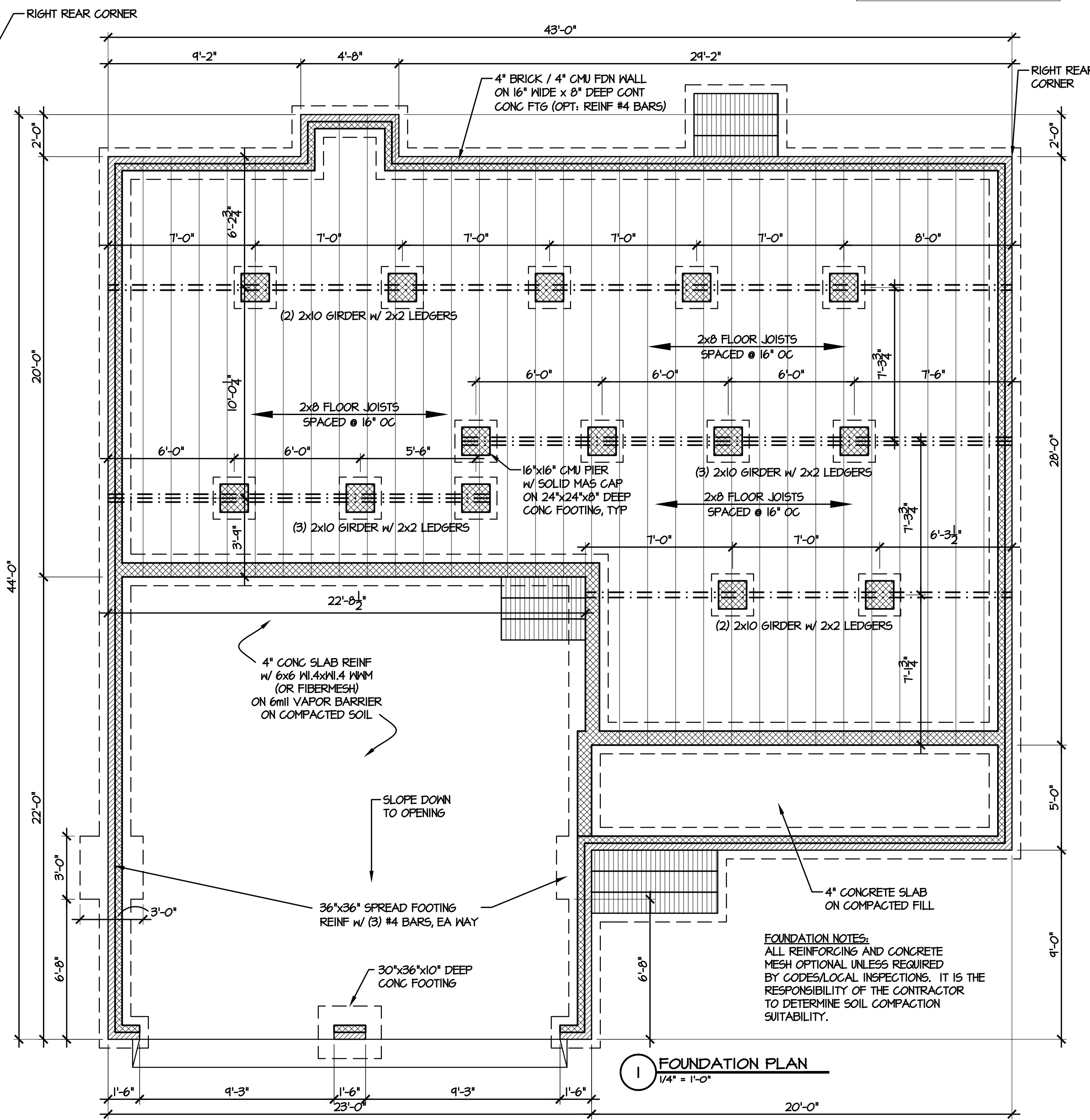
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3 OPTIONAL COV PORCH
1/4" = 1'-0"



2 THIRD CAR GARAGE OPTION
1/4" = 1'-0"



VENTILATION NOTES:
 CRAWL SPACE AREA: 281 SF.
 1500 S.F. PER 1 S.F. VENTS = 0.6 S.F.
 REQUIRED VENTS W/ V.B. + ONE VENT WITHIN 3' OF EA. CORNER = 3 VENT

FOUNDATION PLAN NOTES:
 1. DOUBLE JOISTS UNDER ALL PARTITIONS
 2. SILL TO BE P.T. WOOD 2x6
 3. MAINTAIN MIN 12" BELOW GIRDERS & 18" BELOW JOISTS TO GRADE OR AS REQUIRED FOR MECHANICAL EQUIPMENT
 4. PROVIDE VAPOR BARRIER AT CRAWL SPACE
 5. FOUNDATION VENTS TO BE 8"HT. x 16"WD. W/ 50 SQ. IN. MIN. FREE VENT AREA
 6. CRAWL SPACE ACCESS TO BE 22"x36" MIN CLEAR OPENING (FIELD LOCATE)
 7. GIRDERS TO BE FLUSH FRAMED (SIZE AS NOTED ON PLAN)
 8. ANCHOR BOLTS @ 6'-0" O.C. AND 1'-0" FROM EACH CORNER (EMBED 8" MIN. IN SOLID GROUT)
 9. GC TO REVIEW TRUSS SHOP DRAWINGS & NOTIFY DESIGNER IF REQUIRED POINT LOAD PIERS OR BEARING WALLS ARE ADDED TO FOUNDATION PLAN
 10. FRAMING SPANS BASED ON #2 SFF

1 FOUNDATION PLAN
1/4" = 1'-0"



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PLAN NAME/NUMBER: CL2310-4
 SHEET TITLE: FOUNDATION PLAN

DATE: NOVEMBER 2012

REVISIONS:
 10/11/18 1/2 BATH / REAR DOOR
 8/7/19 36"x48" SHOWER

SHEET NO:
 3

FOUNDATION NOTES:
 ALL REINFORCING AND CONCRETE MESH OPTIONAL UNLESS REQUIRED BY CODES/LOCAL INSPECTIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SOIL COMPACTION SUITABILITY.

