Harnett County Department of Public Health

A building permit cannot be issued with only an Improvement Permit

Site Improvements required prior to Construction Authorization Issuance:		OPERTY LOCATION: 217 Mineral Spring Ln. (Chalybeate Road) LOT # 74
spee of Structure: 27x45 sfd. 3 beds 2.5 baths GPD		
Construction and insulanan requirement of Roles 1550, 1552, 1554, 1555, 1556, 1557, 1558 and 1559 are inceptated by a contraction and insulanan requirement of Roles 1550, 3 beds 2.5 batl New Expansion Required for Supply local New Permit valid for: Free years New Permit va	Type of (tructure: 27x45 sfd, 3 beds 2.5 baths	the improvements required prior to construction Authorization issuance.
uniforced Daily Flow. 360 GPD uniforced Deberdrooms; 30 Number of Occupants; 6 max attented less No humber of Occupants; 6 max attented Sylves No humber of Sylves No humber of Occupants; 6 max attented Sylves No humber of Sylves No humber of Occupants; 6 max attented Sylves No humber of Occupants; 6 max attented Sylves No humber of Sylves No humber of Occupants; 6 max attented Sylves No humber of Sylves No humber of Occupants; 6 max attented Sylves No humber of trenches 3 by Comparison No humber of trenches 3 construction Authorization (Required for Building Permit) (Required for Buildi		
Number of Occupants: 6 max		
ascenent est		
ump Required Yes No May be required based on final location and elevations of facilities Permit valid for: Five years Five		•
Permit valid for: Permit valid for valid v		ion and elevations of facilities
Construction Authorization (Required for Building Permit) problem at inchestation and intaliation requirements of Rules 1950, 1952, 1954, 1955, 1956, 1957, 1958, and 1959 are incorporated by references into this permit as subject to compliance with the provisions of the street Inchestation in the permit subject to compliance with the provisions of the street Inchestation in the permit subject to to compliance with the provisions of the street Inchestation in the street Inchestation in the street Inchestation in the permit subject to compliance with the provisions of the street Inchestation in the permit subject to compliance with the provisions of the street Inchestation in the street Inchestation in the permit and shall be installed in accordance the accordance the street Inchestation in the permit and shall be met System shall be installed in accordance the street Inchestation in the permit and shall be met System shall be installed in accordance t	· · · · · · · · · · · · · · · · · · ·	from well NA feet Permit valid for: 🗵 Five years
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Required for Building Permit	The issuance of this permit by the Health Department in no way guarantees the issuance of other per	mits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This
e construction and installation requirements of Rules 1950, 1957, 1954, 1955, 1956, 1957, 1958, and 1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance in the attached system bayout. SUED TO: LGI Homes-NC, LLC PROPERTY LOCATION: 217 Mineral Spring Ln. (Chalybeate Roa SUBDIVISION Avery Pond LOT # 74 ascenent? Yes No Basement Fixtures? Yes No GPD Yes Yes Yes No GPD Yes Yes Yes Yes Yes Yes Yes Ye	Construc	tion Authorization
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SUBDIVISION Avery Pond LOT # 74		
acility Type: 27x45 sfd, 3 beds 2.5 batl New Expansion Repair assement? Yes No Basement Fixtures? Yes No Type of Wastewater System** 25% Reduction System 25% Reduction System (Initial) Wastewater Flow: 360 GPD 25% Reduction System (Repair)	ISSUED TO: LGI Homes-NC, LLC	
asement? Yes No Basement Fixtures? Yes No Pope of Wastewater System** 25% Reduction System 25% Reduction System (Repair) Stallation Requirements/Conditions Pump Tank Size 1000	Table Town 27v45 efd 3 hode 2.5 hot 177 Nove 1	
ree note below, if applicable	· · · · <u>_</u>	The State of the Control of the Cont
25% Reduction System (Repair) Stallation Requirements/Conditions Number of trenches 3 Iptic Tank Size 1000 gallons Irenches shall be installed on contour at a Maximum Trench Depth of: 24 inches (Trench bottoms shall be level to +/-1/4" 36" above the trench bottom) Imp Requirements: ft. TDH vsGPM Inditions: Gravity to D-Box; Proposal by Adams Soil Consulting [Repair] (Repair) (Auximum Soil Cover: 12inches (Maximum soil cover shall not exceed (Maximum soil cover sh		100 VS 20 VS 20 VS 500 VS 20 VS 500 VS 5000 VS 500 VS 5000
Stallation Requirements/Conditions Number of trenches 3		(Initial) Wastewater Flow: 360 GPD
Number of trenches 3 ptic Tank Size 1000 gallons Imp Tank Size Trench Spacing: 9 Imp Tank Spacing: 9 Imp		
ptic Tank Size 1000 gallons Exact length of each trench 80 feet Irench Spacing: 9 Feet on Center army Tank Size gallons Trenches shall be installed on contour at a Maximum Trench Depth of: 24 inches (Maximum soil cover shall not exceed (Trench bottoms shall be level to +/-1/4" 36" above the trench bottom) Trenches shall be installed on contour at a inches (Maximum soil cover shall not exceed 36" above the trench bottom) Trench Spacing: 9 Feet on Center Soil Cover: 12 inches 36" above the trench bottom) Trench Spacing: 9 Feet on Center Soil Cover: 12 inches 36" above the trench bottom) Trenches shall be installed on contour at a soil Cover: 12 inches 36" above the trench bottom) Trench Spacing: 9 Feet on Center Soil Cover: 12 inches 36" above the trench bottom)		
Trenches shall be installed on contour at a Maximum Trench Depth of: 24 inches (Maximum soil cover shall not exceed (Trench bottoms shall be level to +/-1/4" 36" above the trench bottom) Imp Requirements: ft. TDH vsGPM Aggregate Depth: NA inches above pipe inches above pipe inches above pipe inches total		
Maximum Trench Depth of: 24inches (Trench bottoms shall be level to +/-1/4" 36" above the trench bottom) in all directions) Imp Requirements:ft. TDH vsGPM Aggregate Depth: NAinches above pipe inches above pipe inches above pipe inches total	Septic Tank Size 1000 gallons Exact length of each	trench 80 feet Trench Spacing: 9 Feet on Center
(Trench bottoms shall be level to +/-1/4" 36" above the trench bottom) in all directions) Imp Requirements:ft. TDH vsGPM Aggregate Depth: NAinches above pipe inches above pipe inches above pipe inches total	Pump Tank Sizegallons Trenches shall be ins	stalled on contour at a Soil Cover: 12inches
in all directions) Imp Requirements:ft. TDH vsGPM Aggregate Depth: NAinches below pipe inches above pipe inches above pipe inches total	Maximum Trench De	pth of: 24inches (Maximum soil cover shall not exceed
Imp Requirements:ft. TDH vsGPM	(Trench bottoms sha	If be level to $\pm 1/4$ " 36" above the trench bottom)
Imp Requirements:ft. TDH vsGPM	in all directions)	,
Aggregate Depth: NA inches above pipe anditions: Gravity to D-Box; Proposal by Adams Soil Consulting NA inches total		NA inches below pipe
onditions: Gravity to D-Box; Proposal by Adams Soil Consulting NA inches total		*1.*
	Conditions: Gravity to D-Box; Proposal by Adams S	
ATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.		
The transfer of the state of th	WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY	PART OF SEPTIC SYSTEM OR REPAIR ARFA
	NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.	
If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.	**If applicable: 1 understand the system type specified is different from the	type specified on the application. I accept the specifications of this permit.
	Owner/Legal Representative Signature:	
s Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This		
nstruction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH	construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewag	ge treatment and Disposal and to the conditions of this permit.
		3
	Authorized State Agent:	
ANDREW COMO Construction Authorization Expiration Date: 39/17/2025	ANDREW CURIO CONSTRUCT	ion Authorization Expiration Date: 9/17/2025

Harnett County Department of Public Health Site Sketch

Property Location: 217 Mineral Spring Ln. (Chalybeate Road - SR 1429)

Issued To: LGI Homes-NC, LLC Subdivision Avery Pond Lot # 74

Date: 69/17/2020 Authorized State Agent: __

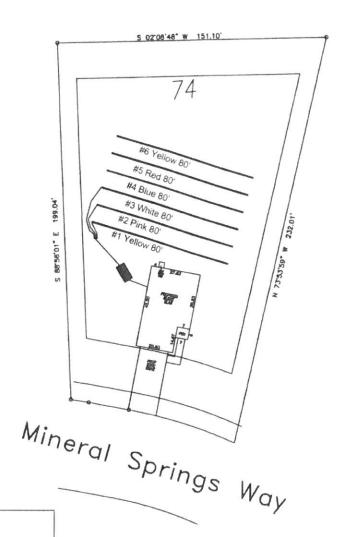
157 281 300 SID 37.91 DIN

*GRAVITY TO D-BOX EGUAL DISTRIBUTION * PROPOSAL BT ADAMS SOIL CONSULTING

This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.

MINIETAR SCAINE

Avery Pond 3-Bedroom Septic Proposal Lot #74



System: Gravity to D-Box Lines: 1-3 (240') 0.375 LTAR 24" Trench Bottom Accepted Status System Repair: Gravity to D-Box Lines: 4-6 (240') 0.375 LTAR 24" Trench Bottom Accepted Status System

Adams Soil Consulting 919-414-6761 Job #708

Avery Pond
Lot #74
3-Bedroom Home (360 gal./day)

3-Dedicion Home (500 gar./day)									
LINE#	COLOR	<u>BS</u>	HI	<u>FS</u>	ELEVATION	LINE LENGTH	Design Length		
TBM		2.0		100.0		in field	installation		
INST. 1		1	102.0						
1	Yellow			3.7	98.3	90	80		
2	Pink			3.9	98.1	95	80		
3	White			4.2	97.8	100	80		
4	Blue			4.4	97.6	105	80		
5	Red			4.6	97.4	110	80		
6	Yellow			4.9	97.1	115	80		
			System			Repair			
			Lines 1-3			Lines 4-6			
System Type			Accepted Status System			Accepted Status System			
		_							
Suggested Soil LTAR		.R	0.375			0.375			
Total Line Length			240			240			
10	otal Line Length	1		240		240			
Square Footage			720			720			
Proposed Trench Bottom		ttom	24"			24"			
				avity to D-		0 1 1 5 5			
Dist	tribution Metho	od	Во	X		Gravity to D-Box			