


Harnett County Department of Public Health Improvement Permit

A building permit cannot be issued with only an Improvement Permit

ISSUED TO: LGI Homes-NC, LLC PROPERTY LOCATION: 217 Mineral Spring Ln. (Chalybeate Road)
 SUBDIVISION Avery Pond LOT # 74

NEW REPAIR EXPANSION Site Improvements required prior to Construction Authorization Issuance:
 Type of Structure: 27x45 sfd, 3 beds 2.5 baths
 Proposed Wastewater System Type: 25% Reduction Sys.
 Projected Daily Flow: 360 GPD
 Number of bedrooms: 3 Number of Occupants: 6 max
 Basement Yes No
 Pump Required: Yes No May be required based on final location and elevations of facilities
 Type of Water Supply: Community Public Well Distance from well NA feet Permit valid for: Five years
 Permit conditions: _____ No expiration

Authorized State Agent:  Date: 09/17/2020 SEE ATTACHED SITE SKETCH
 The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules 1950, 1952, 1954, 1955, 1956, 1957, 1958 and 1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: LGI Homes-NC, LLC PROPERTY LOCATION: 217 Mineral Spring Ln. (Chalybeate Road)
 SUBDIVISION Avery Pond LOT # 74

Facility Type: 27x45 sfd, 3 beds 2.5 bath New Expansion Repair
 Basement? Yes No Basement Fixtures? Yes No
 Type of Wastewater System** 25% Reduction System (Initial) Wastewater Flow: 360 GPD
 (See note below, if applicable
25% Reduction System (Repair)

Installation Requirements/Conditions

Septic Tank Size <u>1000</u> gallons	Number of trenches <u>3</u>	Exact length of each trench <u>80</u> feet	Trench Spacing: <u>9</u> Feet on Center
Pump Tank Size _____ gallons	Trenches shall be installed on contour at a	Maximum Trench Depth of: <u>24</u> inches	Soil Cover: <u>12</u> inches
	(Trench bottoms shall be level to +/-1/4" in all directions)	(Maximum soil cover shall not exceed 36" above the trench bottom)	


Pump Requirements: _____ ft. TDH vs. _____ GPM Aggregate Depth: NA inches below pipe
NA inches above pipe
 Conditions: Gravity to D-Box; Proposal by Adams Soil Consulting NA inches total

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.
 NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

**If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.

Owner/Legal Representative Signature: _____ Date: _____

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH

Authorized State Agent:  Date: 09/17/2020
ANDREW CURRAN Construction Authorization Expiration Date: 09/17/2025

Application # SFD2009-0003

Harnett County Department of Public Health Site Sketch

Property Location: 217 Mineral Spring Ln. (Chalybeate Road - SR 1429)

Issued To: LGI Homes-NC, LLC

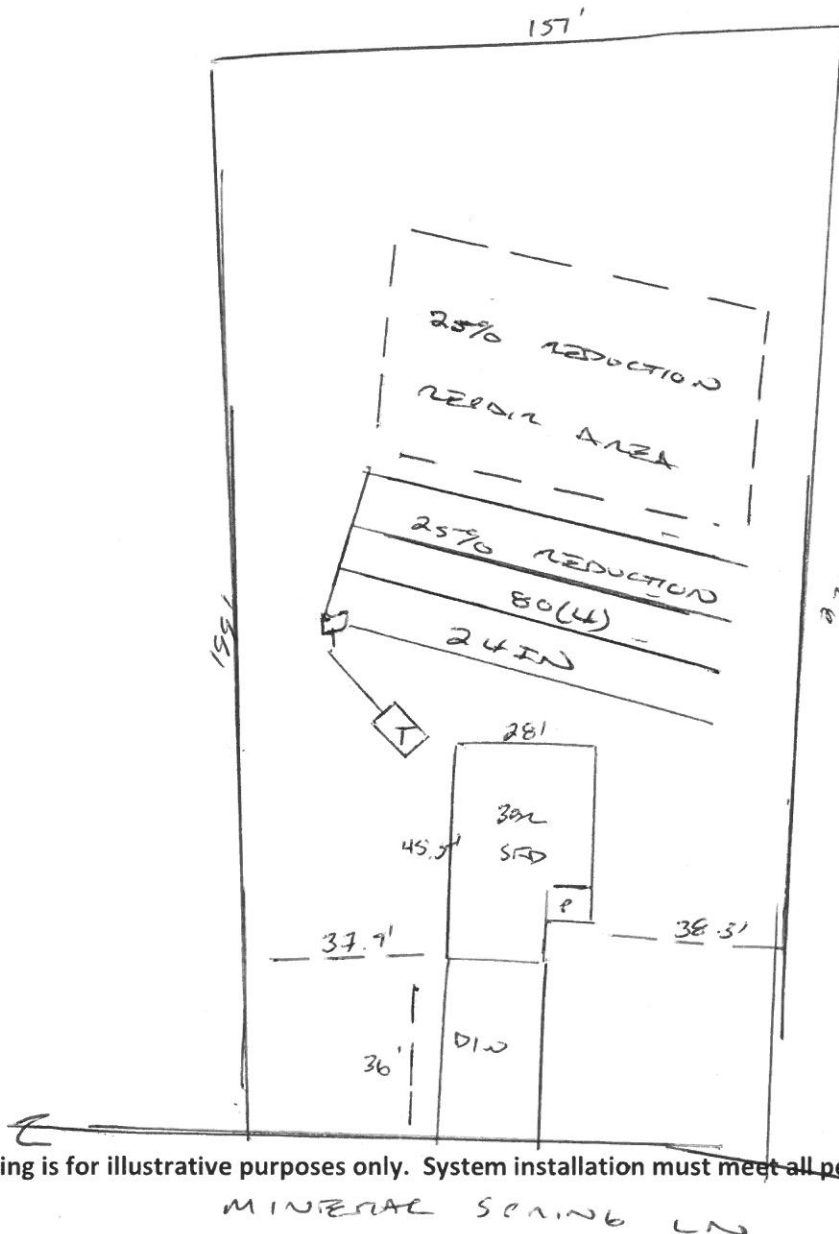
Subdivision Avery Pond

Lot # 74

Authorized State Agent: _____

Andrew Loran
ANDREW LORAN

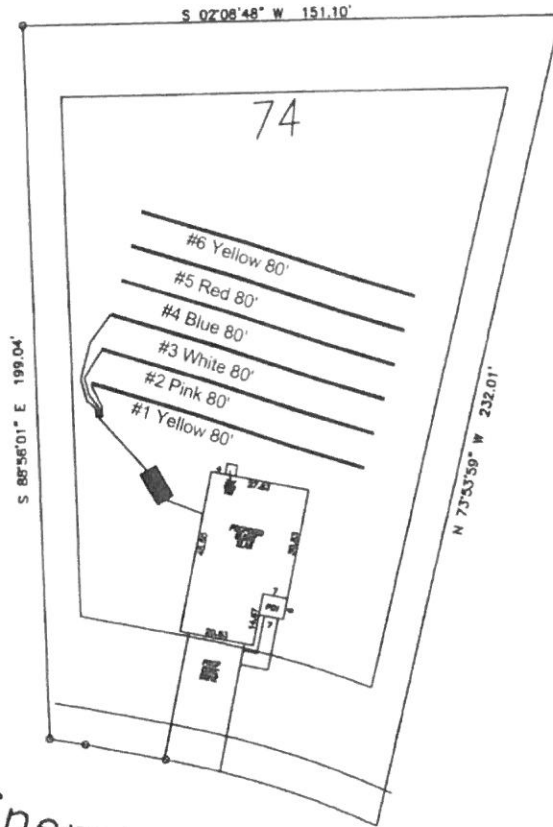
Date: 09/17/2020



- * GRAVITY TO D-BOX
EQUAL DISTRIBUTION
- * PROPOSAL BY ADAMS
SOIL CONSULTING

This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.

Avery Pond 3-Bedroom Septic Proposal Lot #74



Mineral Springs Way

System: Gravity to D-Box
 Lines: 1-3 (240')
 0.375 LTAR
 24" Trench Bottom
 Accepted Status System
 Repair: Gravity to D-Box
 Lines: 4-6 (240')
 0.375 LTAR
 24" Trench Bottom
 Accepted Status System

GRAPHIC SCALE
 1" = 50'



Adams
 Soil Consulting
 919-414-6761
 Job #708

Avery Pond
Lot #74

3-Bedroom Home (360 gal./day)

<u>LINE #</u>	<u>COLOR</u>	<u>BS</u>	<u>HI</u>	<u>FS</u>	<u>ELEVATION</u>	<u>LINE LENGTH</u>	<u>Design Length</u>
TBM		2.0		100.0		<u>in field</u>	<u>installation</u>
INST. 1			102.0				
1	<i>Yellow</i>			3.7	98.3	90	80
2	<i>Pink</i>			3.9	98.1	95	80
3	<i>White</i>			4.2	97.8	100	80
4	<i>Blue</i>			4.4	97.6	105	80
5	<i>Red</i>			4.6	97.4	110	80
6	<i>Yellow</i>			4.9	97.1	115	80

	<u>System</u>	<u>Repair</u>
	Lines 1-3	Lines 4-6
System Type	Accepted Status System	Accepted Status System
Suggested Soil LTAR	0.375	0.375
Total Line Length	240	240
Square Footage	720	720
Proposed Trench Bottom	24"	24"
Distribution Method	Gravity to D-Box	Gravity to D-Box