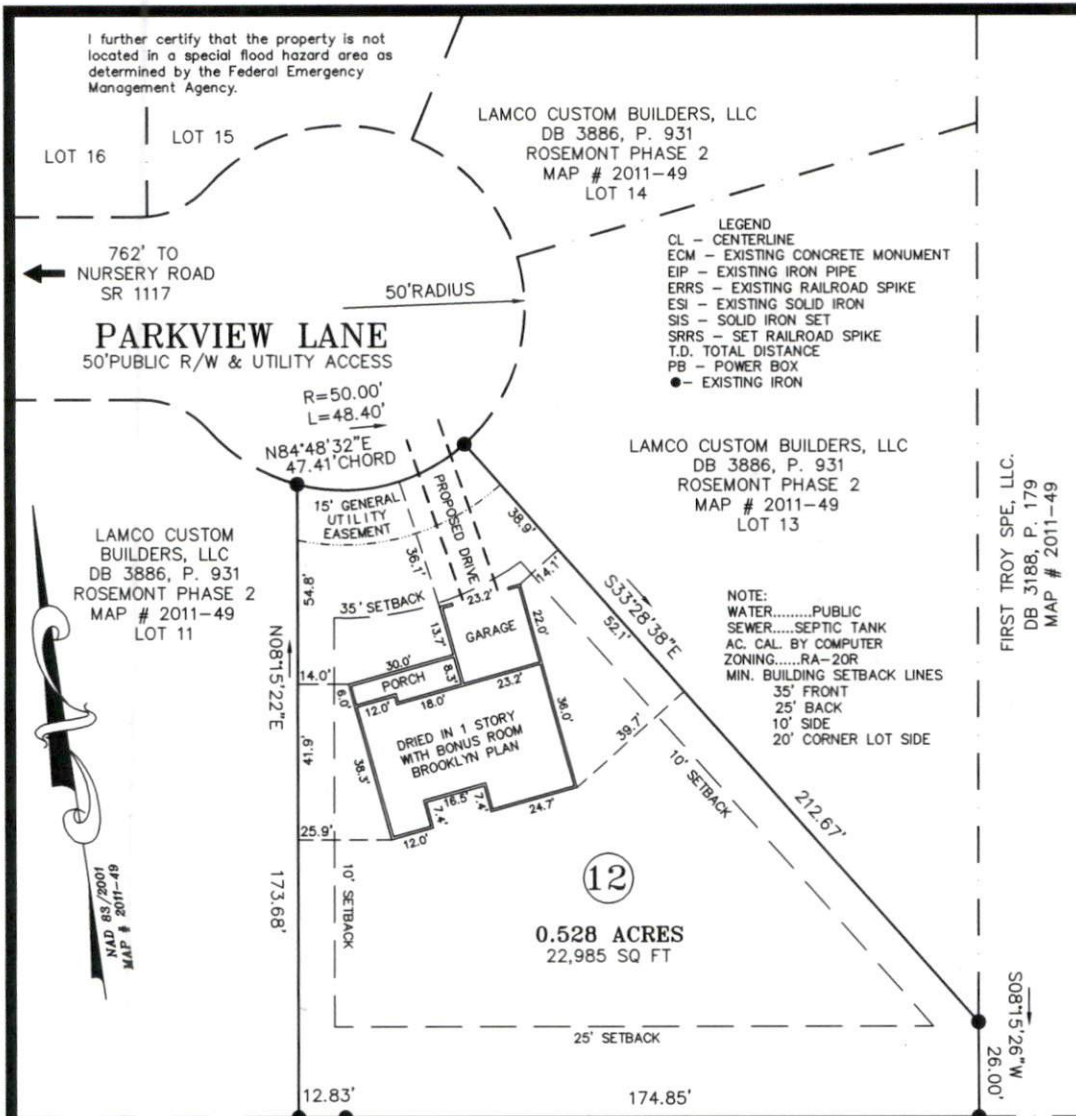


I further certify that the property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.



- LEGEND**
- CL - CENTERLINE
 - ECM - EXISTING CONCRETE MONUMENT
 - EIP - EXISTING IRON PIPE
 - ERRS - EXISTING RAILROAD SPIKE
 - ESI - EXISTING SOLID IRON
 - SIS - SOLID IRON SET
 - SRRS - SET RAILROAD SPIKE
 - T.D. TOTAL DISTANCE
 - PB - POWER BOX
 - - EXISTING IRON

NOTE:
 WATER.....PUBLIC
 SEWER.....SEPTIC TANK
 AC. CAL. BY COMPUTER
 ZONING.....RA-20R
 MIN. BUILDING SETBACK LINES
 35' FRONT
 25' BACK
 10' SIDE
 20' CORNER LOT SIDE

LAMCO CUSTOM BUILDERS, LLC
 DB 3886, P. 931
 ROSEMONT PHASE 2
 MAP # 2011-49
 LOT 11

LAMCO CUSTOM BUILDERS, LLC
 DB 3886, P. 931
 ROSEMONT PHASE 2
 MAP # 2011-49
 LOT 13

FIRST TROY SPE, LLC.
 DB 3188, P. 179
 MAP # 2011-49

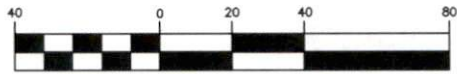
NAD 83/2001
 MAP # 2011-49

0.528 ACRES
 22,985 SQ FT

COUNTY OF HARNETT
 DB 3334, P. 574

COUNTY OF HARNETT
 DB 3334, P. 574

GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.

NOTE:
 THIS IS A PHYSICAL SURVEY ONLY:
 DOES NOT MEET GS47-30, NOT FOR RECORDATION.

NOTE:
 THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS.

NOTE:
 THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS,
 RIGHT OF WAYS, AND AGREEMENTS OF RECORD PRIOR TO THIS PLAT.

OWNER:
 LAMCO CUSTOM BUILDERS, LLC
 7424 CHAPEL HILL ROAD
 SUITE 203
 RALEIGH, NC 27607

REFERENCE:
 LAMCO CUSTOM BUILDERS, LLC
 DB 3886, P. 931
 ROSEMONT SUBDIVISION PHASE 2
 MAP # 2011-49
 LOT 12

I, Thomas J. Matthews, a Professional Land Surveyor in the State of North Carolina, certify that this plat was drawn from an actual survey made under my supervision. (E:10,000 L-1255) Plat prepared in accordance with standards of "Practice for Land Surveying in North Carolina".



Thomas J. Matthews
 Thomas J. Matthews
 03-17-2021
 Date

FOUNDATION SURVEY:		TOWNSHIP:	COUNTY:
LAMCO CUSTOM BUILDERS, LLC.		ANDERSON CREEK	HARNETT
148 PARKVIEW LANE		STATE:	DATE COMPLETED:
THOMAS J. MATTHEWS		NORTH CAROLINA	03-17-2021
PROFESSIONAL LAND SURVEYOR		SCALE:	REVISIONS:
226 E. TRADE STREET		1" = 40'	JOB #
SUITE 2		PARCEL:	3967A LOT 12
SANFORD, N.C. 27332		PID 01053607 0028 05	
(919) 778-3400		PH 0517-22-0338.000	
matthewssurveying@yahoo.com		ZONE:	TAX MAP:
		RA-20R	0517