



**SOUTH
DESIGNS**
(O) 919-556-2226
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www.southdesigns.com

LAMCO

HOMES

1820 Brooklyn - RH ELEVATION 'A'



ARCHITECTURAL DRAWINGS			
Sheet No.	Sheet Description	Sheet No.	Sheet Description
0.0	Cover Sheet	4.0	Building Sections
0.1	General Notes Sheet	4.1	Interior Details
1.0	Mono Slab Foundation	5.0	Unfin Walkout Basement Electrical
1.0.1	Mono Slab Options	5.0.1	Unfin In-Ground Basement Electrical
1.1	Stem Wall Foundation	5.0.2	Finished Walkout Basement Electrical
1.1.1	Stem Wall Options	5.0.3	Finished In-Ground Basement Electrical
1.2	Crawl Space Foundation	5.1	First Floor Electrical
1.2.1	Crawl Space Options	5.1.1	First Floor Options Electrical
1.3	In-Ground Basement Foundation	5.2	Second Floor Electrical
1.3.1	In-Ground Basement Options	5.2.1	Second Floor Options Electrical
1.4	Walkout Basement Foundation	5.3	Third Floor Electrical
1.4.1	Walkout Basement Options	5.3.1	Third Floor Options Electrical
2.0	Unfinished Walkout Basement	6.0	Finished Walkout Basement Plumbing
2.0.1	Unfinished In-Ground Basement	6.0.1	Finished In-Ground Basement Plumbing
2.0.2	Finished Walkout Basement	6.1	First Floor Plumbing
2.0.3	Finished In-Ground Basement	6.1.1	First Floor Options Plumbing
2.1	First Floor Plan	6.2	Second Floor Plumbing
2.1.1	First Floor Options		
2.1.2	Fireplace Options		

SQUARE FOOTAGE		
	ELEVATION 'A'	
	UNHEATED	HEATED
FIRST FLOOR	0	1820
SECOND FLOOR	0	0
REAR COV. PORCH	121	0
FRONT PORCH	222	0
2-CAR GARAGE	511	0
SUBTOTALS	854	1820
TOTAL UNDER ROOF		2674

OPTIONS		
	UNHEATED S.F.	HEATED S.F.
OPT. REAR DECK	172	0

DESIGN CRITERIA:

- THIS PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH THE 2012 NORTH CAROLINA RESIDENTIAL CODE
- ASSUMED SOIL BEARING CAPACITY: 2000 PSF
- ASSUMED SOIL TYPE: CL,ML,MH,CH
- LIVING SPACE TOTAL FLR LOAD: 50 PSF
- SLEEPING SPACE TOTAL FLR LOAD: 40 PSF
- ROOF LOAD W/CEILING: 30 PSF
- ROOF LOAD W/O CEILING: 20 PSF
- DECK LOAD: 50 PSF
- ROOF SNOW LOAD: 20 PSF
- WIND EXPOSURE: B
- WIND SPEED: 100 MPH
- WEATHERING: MODERATE
- FROST DEPTH: 12"
- SUBJECT TO TERMITE DAMAGE MODERATE-SEVERE

REVISION LOG				
Rev	Description	Drawn By	Date	Engineering Required
1	----	SDI	----	YES
2	----		----	
3	----		----	
4	----		----	
5	----		----	
6	----		----	
7	----		----	
8	----		----	

DATE	DESCRIPTION	REV.#
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1820 - Brooklyn - RH
SIGNATURE COLLECTION
Cover Sheet

DRAWN BY:
South Designs
ISSUE DATE:
05/15/2018
CURRENT REVISION DATE:

SCALE:
1/8" = 1'-0"
SHEET
0.0a

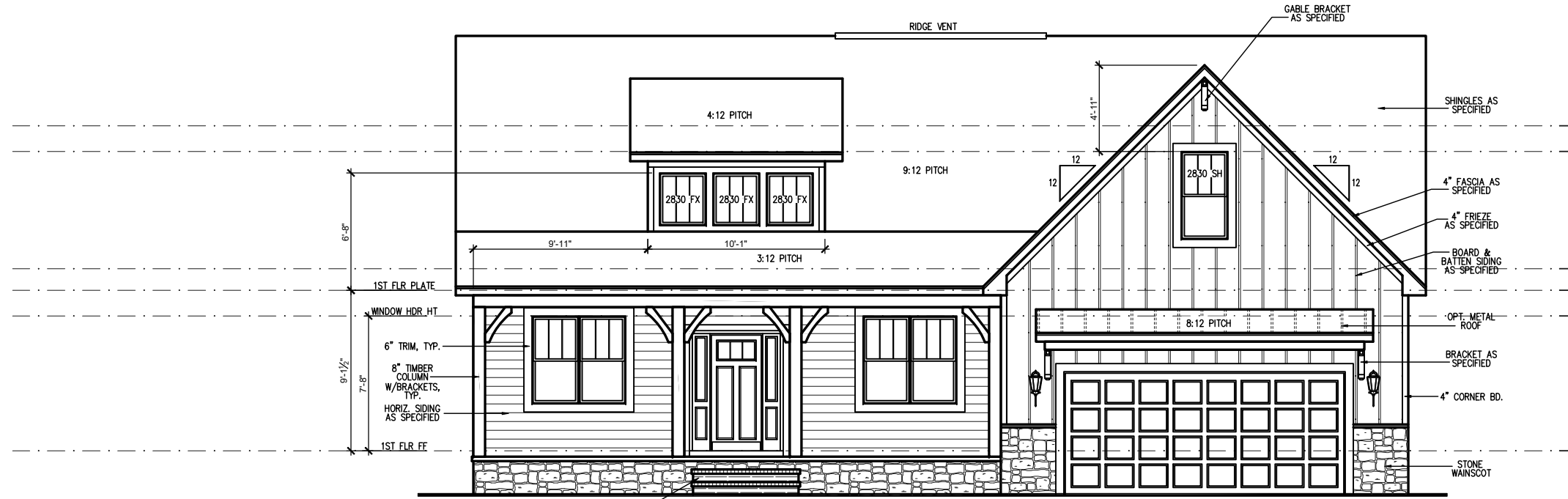
General Elevation Notes

General Elevation Notes shall apply unless noted otherwise on plan.

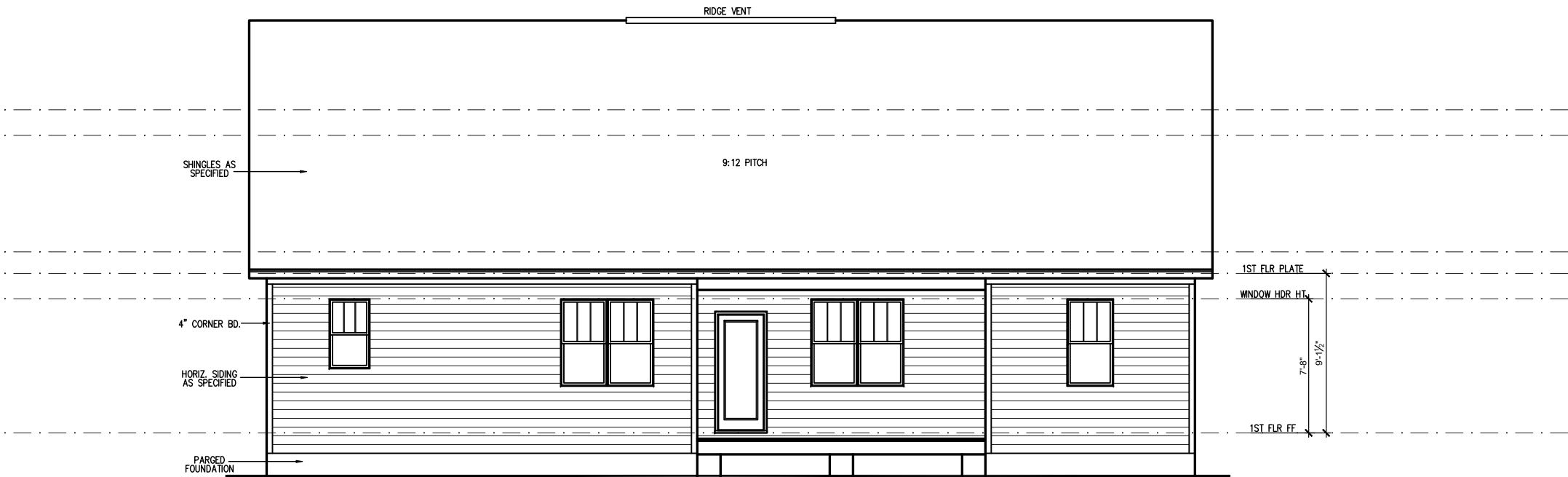
1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
2. Metal Roof finish is used as an accent material and may be optional, consult community specifications. NOTE: Metal roof is required on any roof slope of 3:12 regardless of Community Standard.
3. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
4. Soffit Vent shall be continuous soffit vent, consult community specifications for material.
5. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations. "Zip" system sheathing may substitute for House Wrap.
6. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
7. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
8. Finish Wall Material shall be as noted on elevation drawings. Consult community specifications for material make-up of siding, shown as generic on drawing.
9. Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
10. Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to L/600.

Masonry Opening Lintel Schedule

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x
5/16"	4" x 3-1/2" x 5/16"
LLV	5" x 3-1/2" x 5/16"
LLV	6" x 3-1/2" x 5/16"
LLV	7" x 4" x 3/8" LLV



FRONT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



REAR ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



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LAMCO HOMES

REV.#	DESCRIPTION	DATE
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2		
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SIGNATURE COLLECTION
Front & Rear Elevations 'A'

DRAWN BY:
South Designs
ISSUE DATE:
05/15/2018
CURRENT REVISION DATE:
.....

SCALE:
1/8" = 1'-0"

SHEET
3.1a

General Elevation Notes

General Elevation Notes shall apply unless noted otherwise on plan.

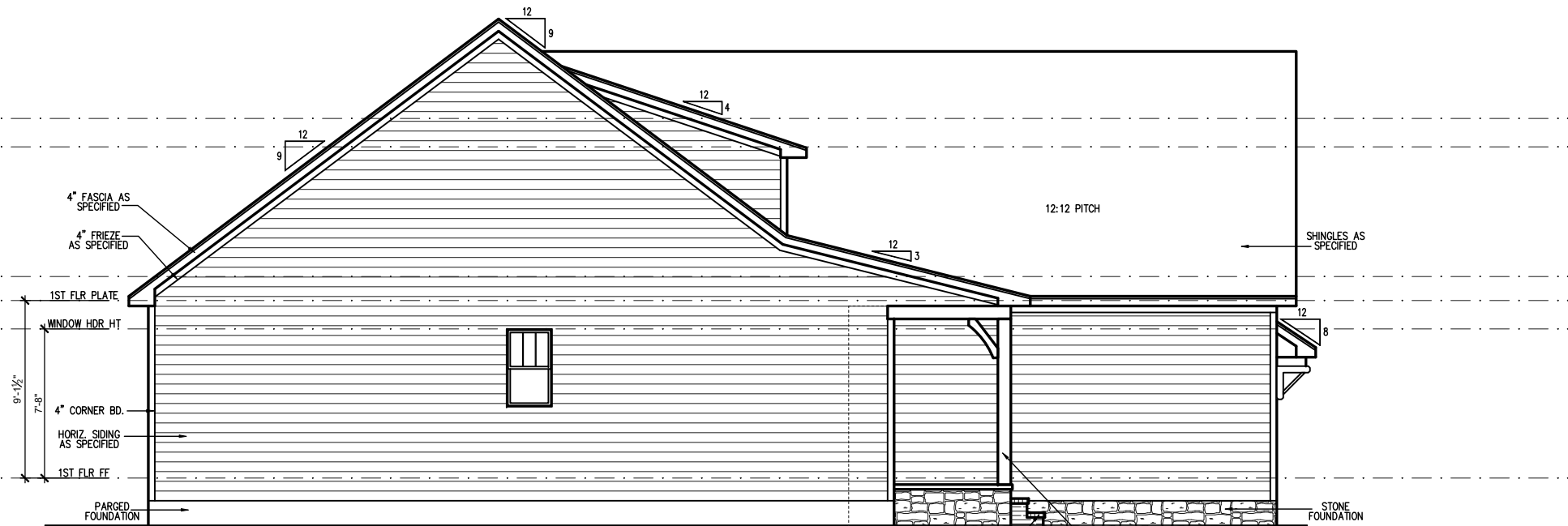
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2. Metal Roof finish is used as an accent material and may be optional, consult community specifications. NOTE: Metal roof is required on any roof slope of 3:12 regardless of Community Standard.
3. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
4. Soffit Vent shall be continuous soffit vent, consult community specifications for material.
5. House Wrap, "tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations. "Zip" system sheathing may substitute for House Wrap.
6. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
7. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
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Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x
5/16" 4'-1" to 5'-6"	4" x 3-1/2" x 5/16"
LLV 5'-7" to 6'-6"	5" x 3-1/2" x 5/16"
LLV 6'-7" to 8'-4"	6" x 3-1/2" x 5/16"
LLV 8'-5" to 16'-4"	7" x 4" x 3/8" LLV



RIGHT SIDE ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



LEFT SIDE ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



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LAMCO HOMES

REV.#	DESCRIPTION	DATE
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2		
3		
4		
5		
6		
7		
8		

1820 -Brooklyn - RH
SIGNATURE COLLECTION
Side Elevations 'A'

DRAWN BY: South Designs
ISSUE DATE: 05/15/2018
CURRENT REVISION DATE:
SCALE: 1/8" = 1'-0"
SHEET 3.2a

FOUNDATION NOTES:

- FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2012 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
- STRUCTURAL CONCRETE TO BE $F_c = 3000$ PSI, PREPARED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318.
- FOOTINGS TO BE PLACED ON UNDISTURBED EARTH, BEARING A MINIMUM OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE CODE ENFORCEMENT OFFICIAL.
- FOOTING SIZES BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE ELEMENTS. PROVIDE 2" MINIMUM FOOTING PROJECTION FROM THE FACE OF MASONRY.
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN SECTION R402.1 OF THE 2012 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- FILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.
- PROVIDE FOUNDATION WATERPROOFING, AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
- PROVIDED PERIMETER INSULATION FOR ALL FOUNDATIONS PER 2012 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- CORREL FOUNDATION WALL AS REQUIRED TO ACCOMMODATE BRICK VENEERS.
- CRAWL SPACE TO BE GRADED LEVEL, AND CLEARED OF ALL DEBRIS.
- FOUNDATION ANCHORAGE SHALL BE A MIN. OF 1/2" DIA. ANCHOR BOLTS AND SHALL EXTEND A MIN. OF 1" INTO MASONRY OR CONCRETE. BOLTS SHALL BE 6'-0" O.C. AND WITH 12" OF ALL PLATE SPICES. MIN. (2) ANCHOR BOLTS PER PLATE SECTION. ABBREVIATIONS:

TS = TIMBER STRAND	DJ = DOUBLE JOIST
SC = STUD COLUMN	DR = DOUBLE RAFTER
EE = EACH END	TR = TRIPLE RAFTER
TJ = TRIPLE JOIST	OC = ON CENTER
CL = CENTER LINE	FL = POINT LOAD

- ALL PIERS TO BE 16"x16" MASONRY AND ALL PILASTERS TO BE 8"x16" MASONRY, TYPICAL. (INO)
- WALL FOOTINGS TO BE CONTINUOUS CONCRETE, SIZES PER STRUCTURAL PLAN.
- A FOUNDATION EXCAVATION OBSERVATION SHOULD BE CONDUCTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER, OR HIS QUALIFIED REPRESENTATIVE IF ISOLATED AREAS OF YIELDING MATERIALS AND/OR POTENTIALLY EXPANSIVE SOILS ARE OBSERVED IN THE FOOTING EXCAVATIONS AT THE TIME OF CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. MUST BE PROVIDED THE OPPORTUNITY TO REVIEW THE FOOTING DESIGN PRIOR TO CONCRETE PLACEMENT.
- ALL FOOTINGS & SLABS ARE TO BEAR ON UNDISTURBED SOIL OR 95% COMPACTED FILL, VERIFIED BY ENGINEER OR CODE OFFICIAL.

REFER TO BRACED WALL PLAN FOR PANEL LOCATIONS AND ANY REQUIRED HOLD-DOWNS. ADDITIONAL INFORMATION PER SECTION R602.10.3 AND FIGURES R602.10.6.5, R602.10.1, R602.10.2(1) AND R602.10.2(2) OF THE 2012 IRC.

NOTE: ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO FRAMING AND NOT BRICK VENEER, UNO

NOTE: A 4" CRUSHED STONE BASE COURSE IS NOT REQUIRED WHEN SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1 PER TABLE R402.1

REINFORCE GARAGE PORTAL WALLS PER DETAIL 2/D2? OR FIGURE R602.10.3 OF THE 2012 IRC.

BEAM POCKETS MAY BE SUBSTITUTED FOR MASONRY PILASTERS AT GIRDER ENDS. BEAM POCKETS SHALL HAVE A MINIMUM 4" SOLID MASONRY BEARING.

NOTE: REDUCE JOIST SPACING UNDER TILE FLOORS, GRANITE COUNTERTOPS AND/OR ISLANDS.

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY SOUTH DESIGNS COMPLETED/REVISED ON 05/15/2018. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

STRUCTURAL MEMBERS ONLY

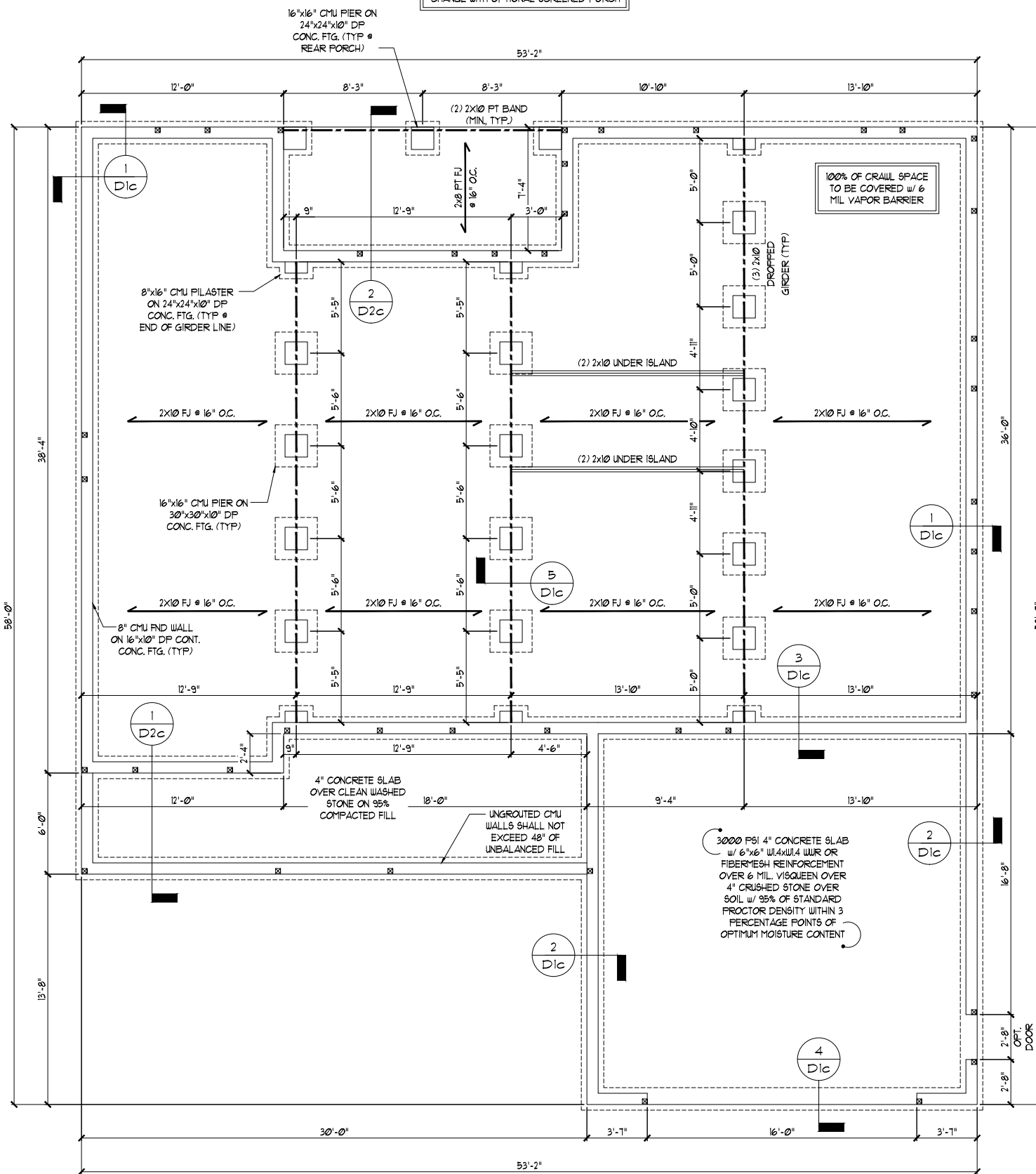
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STRUCTURAL ANALYSIS BASED ON 2012 NCR. C.

CRAWL SPACE FOUNDATION PLAN

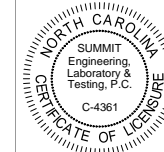
SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 18"x11"

NOTE: FOUNDATION PLAN DOES NOT CHANGE WITH OPTIONAL SCREENED PORCH



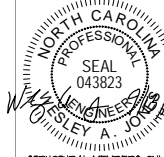
ELEVATION A

18"x24" MIN. CRAWL SPACE ACCESS DOOR TO BE LOCATED IN FIELD PER BUILDER. PROVIDE MIN. (2) 2x10 HEADER OVER DOOR w/ MIN. 4" BEARING EACH END. AVOID SHOWN POINT LOADS.



CLIENT: South Designs c/o Lanco Homes
PO Box 688
Wilkes Forest, NC 27658

PROJECT: Crawl Space Foundation



STRUCTURAL MEMBERS ONLY

DRAWING DATE: 09/15/2018
SCALE: 22x34 1/4"=1'-0" / 18x11 1/8"=1'-0"
PROJECT: 5562501
DRAWN BY: EFB
CHECKED BY: WAJ

ORIGINAL INFORMATION
PROJECT: 5562501
DATE: 09/15/2018

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

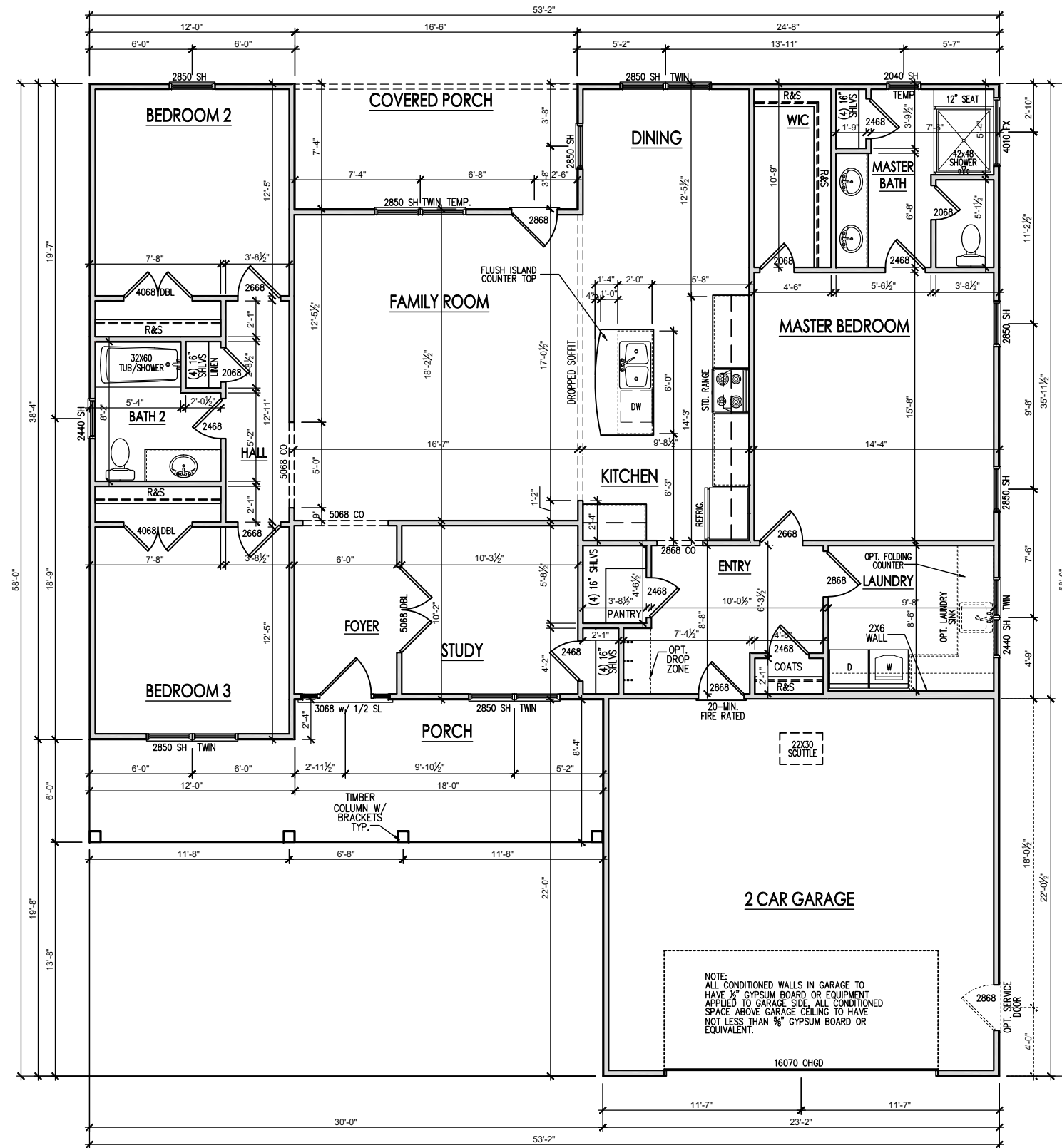
SHEET

51.0c

General Floor Plan Notes

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1-1/2" at first floor and second floor, and 8'-1-1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 4" at exterior walls, 3-1/2" at interior. 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Header height shall be 7'-8" AFF at First Floor, and 6'-10" AFF at Second Floor unless noted otherwise.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4'-1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf, open wire. Closets for linen shall have 5 open wire shelves. Closets for pantries shall have 5 wood shelves, painted.
9. Stair treads shall be 10" deep, risers shall be a maximum of 7'-3/4", unless noted otherwise.
10. Handrails and Guards at stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall and not less than 5/8" gypsum board or equivalent for all conditioned space above garage ceiling



FIRST FLOOR PLAN 'A'
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



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LAMCO HOMES

REV.#	DATE	DESCRIPTION
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1820 -Brooklyn - RH
SIGNATURE COLLECTION
First Floor Plan 'A'

DRAWN BY:
 South Designs
 ISSUE DATE:
 05/15/2018
 CURRENT REVISION DATE:
 ...
 SCALE:
 1/8" = 1'-0"

SHEET
2.1a

MAX. GIRDER TRUSS REACTION (LBS)

NO TBE, 5YP #2 TOP PLATE		
# OF PLYS	2x4 WALL	2x6 WALL
2	5134	1013
3	1102	10519
4	10269	14075
WITH TBE, 5YP #2 TOP PLATE		
2	1045	8933
3	9622	12439
4	12189	15945

GIRDER TRUSS PLYS SHOWN ARE FOR ILLUSTRATION ONLY. PLEASE REFER TO TRUSS LAYOUT DRAWINGS PROVIDED BY TRUSS MANUF. FOR ACTUAL NUMBER OF PLYS REQ'D.

TRUSS UPLIFT CONNECTOR SCHEDULE

MODEL #	MAX. UPLIFT (LBS)
H1	585
H2A	515
H2BT	545
H4	360
H10A*	1140
H16*	1470
HT520*	1450

USE BELOW ONLY FOR 2-PLY OR GREATER GIRDER TRUSSES THAT EXCEEDS THE UPLIFT REQUIREMENTS ABOVE.

MODEL #	MAX. UPLIFT (LBS)	FLY #
LGT2*	2050	2
LGT3-SD53*	3605	3
LGT4-SD53*	4060	4
HGT-2*	1090	2
HGT-3*	1050	3
HGT-4*	9250	4

1. SST PRODUCTS SHOWN. EQUIV. PRODUCTS MAY BE USED PROVIDING UPLIFT REQUIREMENTS ARE MET.
2. VALUES SHOWN ARE FOR A SINGLE ANCHOR. DBL ANCHORS MAY BE USED TO DBL THE UPLIFT CAPACITY SHOWN ABOVE, ONLY IF THE MEMBER IS A MIN. THICKNESS OF 2-1/2".
3. UPLIFT VALUES ARE FOR 5YP #2 WOOD SPECIES. PLEASE CONTACT ENGINEER OR TRUSS MANUFACTURER IF USING DIFFERENT SPECIES OR GRADE.
4. GIRDER TRUSS-GIRDER TRUSS CONNECTIONS ARE TO BE SPECIFIED AND SUPPLIED BY THE TRUSS COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR THESE CONNECTIONS.
5. ITEMS DENOTED WITH "*" MAY NOT BE DOUBLED TO INCREASE LOAD CAPACITY.

NOTE: 1ST PLY OF ALL SHOWN GIRDER TRUSSES TO ALIGN WITH INSIDE FACE OF WALL (TYP. UNO)

NOTE: ROOF TRUSSES SHALL BE SPACED TO SUPPORT FALSE FRAMED DORMER WALLS (TYP. UNO)

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY SOUTH DESIGNS COMPLETED/REVISED ON 02/15/2018. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

NOTE: REFER TO DETAIL 5/D31 FOR EYEBROW, RETURN OR SHED ROOF FRAMING REQUIREMENTS. (TYP. FOR ROOFS PROTRUDING MAX. 2'-0" FROM STRUCTURE)

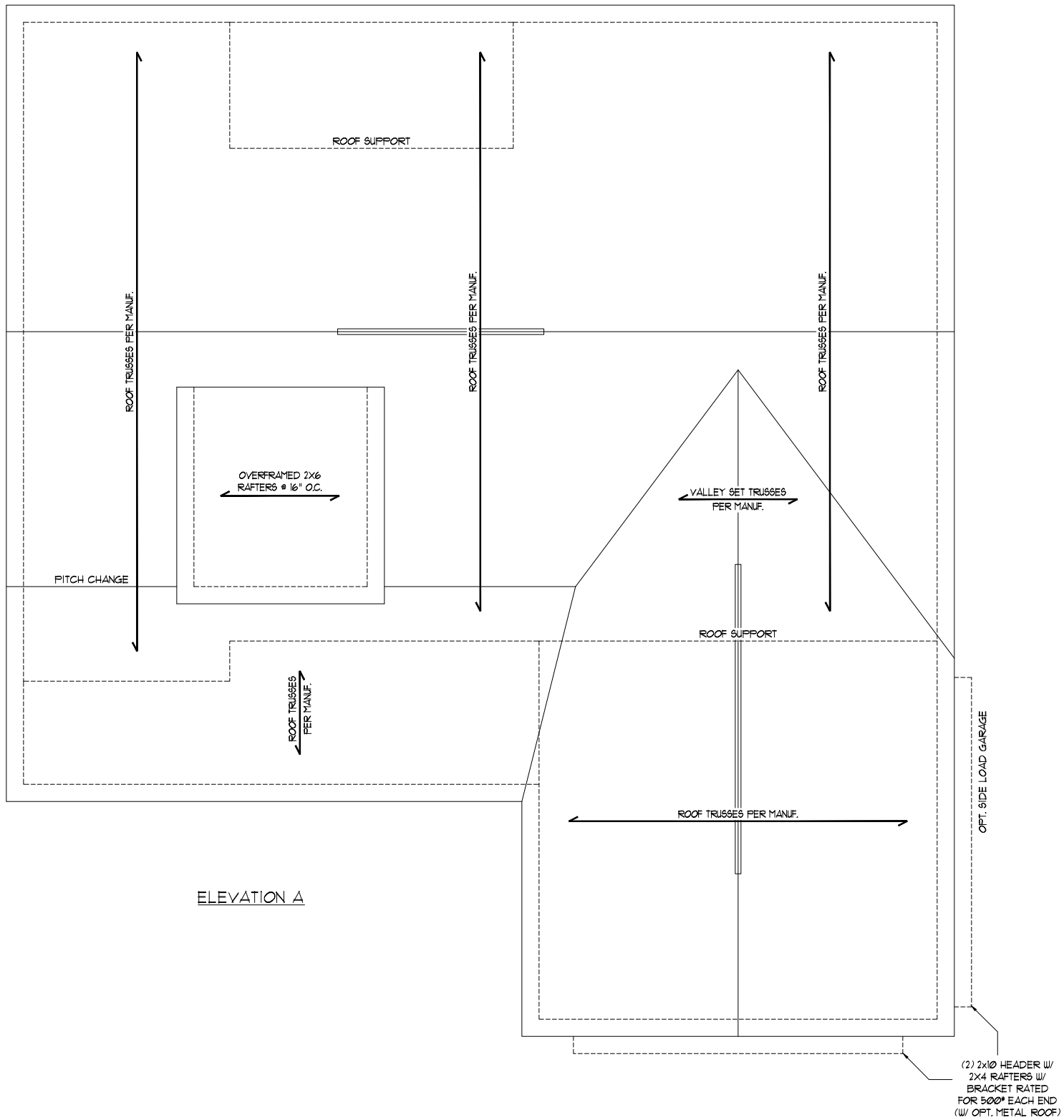
STRUCTURAL MEMBERS ONLY

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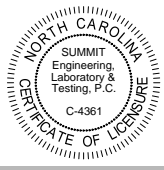
STRUCTURAL ANALYSIS BASED ON 2012 NCR. C.

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x11"



ELEVATION A



CLIENT: South Designs c/o Lanco Homes
PO Box 688
Wilkes Forest, NC 27688

PROJECT: Roof Framing Plan



STRUCTURAL MEMBERS ONLY
DRAWING DATE: 09/15/2018
SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x11"
PROJECT # 5562501
DRAWN BY: EPB
CHECKED BY: WAJ

ORIGINAL INFORMATION
PROJECT # 5562501 DATE 09/15/2018
REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

ELECTRICAL SYMBOL KEY

LIGHT FIXTURES	
	CEILING SURFACE MOUNT LIGHT
	RECESSED CAN LIGHT
	RECESSED CAN LIGHT WATERPROOF
	RECESSED CAN - EYEBALL
	PENDANT LIGHTING
	WALL SCONCE
	WALL MOUNT LIGHT
	FLOOD LIGHT
OUTLETS	
	DUPLEX OUTLET
	GFI OUTLET
	WATERPROOF GFI OUTLET
	SWITCHED 1/2 HOT DUPLEX OUTLET
	220V OUTLET
	TELEPHONE OUTLET
	CATV (TELEVISION) OUTLET
	UNDER-COUNTER OR CONCEALED OUTLETS
	CEILING MOUNTED DUP. OUTLET
	FLOOR MOUNTED DUP. OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	ELECTRICAL DISCONNECT
MISC FIXTURES	
	EXHAUST FAN
	JUNCTION BOX
	JUNCTION BOX 220V
	CARBON MONOXIDE DETECTOR OR SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
	ELECTRIC METER
	ELECTRICAL PANEL
	DOOR BELL CHIME
	DOOR BELL PUSH BUTTON
	CEILING FAN PREWIRE
	FLUORESCENT LIGHT

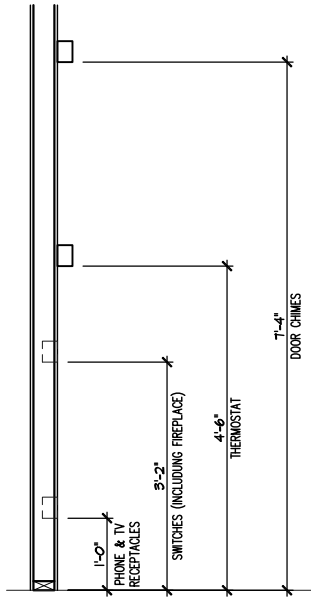
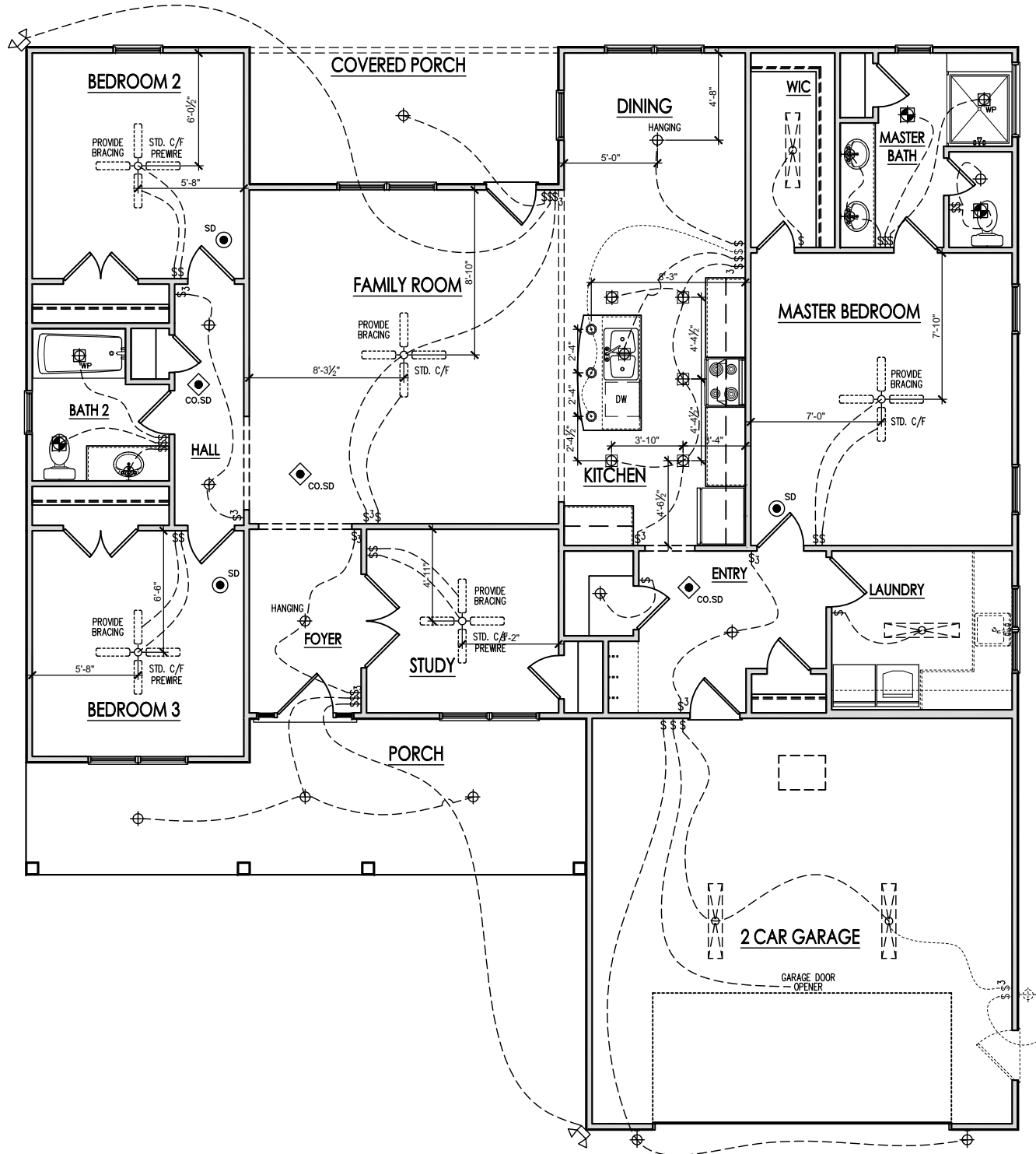
General Power and Lighting:

General Power and Lighting Notes shall apply unless noted otherwise on plans.

All work shall be installed per the 2012 NC Residential Building Code, and the National Electric Code. Alarm devices shall meet NFPA 72.

- Smoke Alarms - Shall be provided as a minimum of (1) per floor, including basements (if applicable), (1) in each sleep room, and (1) outside each sleeping area, within the immediate vicinity of sleeping rooms. When more than one alarm is required, the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms. Smoke alarms shall be hard wired to permanent power and shall have batter back-ups.
- Switches - For lighting, fans, etc. shall be installed at heights illustrated on this page and shall be located a minimum of 4 1/2" from door openings to allow for the proper installation of door casings. Switches, thermostats, security pads, and other similar devices shall be grouped together and installed thoughtfully for convenience of use and to avoid placement within centers of wall areas.

Note:
This plan is a diagram showing approximate locations of convenience outlets based on requirements found in the NC Residential Code and N.E.C. Actual positions may vary from what is shown on plan.



ELECTRICAL BOX HEIGHTS

FIRST FLOOR ELECTRICAL PLAN 'A'

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



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LAMCO HOMES

REV.#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

1820 · Brooklyn- RH
SIGNATURE COLLECTION
First Floor Electrical 'A'

DRAWN BY:
South Designs
ISSUE DATE:
05/15/2018
CURRENT REVISION DATE:
.....

SCALE:
1/8" = 1'-0"

SHEET
5.1a

